



2241 221<sup>st</sup> Ave. NE • East Bethel, MN 55011  
Phone: (763) 367-7844 • Fax: (763) 434-9578

### RESIDENTIAL DECK AND PORCH PERMIT APPLICATION

JOB ADDRESS: \_\_\_\_\_

Owner's Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

General Contractor (if being used): \_\_\_\_\_ Phone: \_\_\_\_\_

E-mail: \_\_\_\_\_ Contractors Lic. #: \_\_\_\_\_

Contractor's lead certification number for pre 1978 structures: \_\_\_\_\_

Zoning: \_\_\_\_\_ Acres: \_\_\_\_\_ Shoreland Overlay District:  YES  NO

SELECT AREA OF WORK:  Deck  Covered Deck  Screened Porch  
 Three Season Porch (4 season porches must use the Addition application)

Will the deck/porch be attached to the home:  Yes  No

Total Sq. Ft. of each area of work: \_\_\_\_\_

Height from ground to top of deck/porch floor: \_\_\_\_\_

Is this a new deck or are you repairing an existing deck:  New  Repair (a project description must be submitted)

Valuation of Work\* \$ \_\_\_\_\_

\*Based on cost of material and labor as if you were to hire a contractor.

#### DECK WORKSHEET IS REQUIRED TO BE COMPLETELY FILLED OUT (SEE ATTACHED).

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING AND A/C, FIREPLACE, AND FIRE SPRINKLERS. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HERIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

<b>DECK: \$152</b>
<b>DECK REPAIR: \$ _____</b>
(must be approved by bldg official and have a total valuation of less than \$500)
Total cost of permit will be available after building review. An estimate can be provided.
<b>COVERED DECKS, SCREENED PORCHES, 3 SEASON PORCHES: TOTAL \$ _____</b>
Total cost of permit will be available after building review. An estimate can be provided.

SIGNATURE OF CONTRACTOR \_\_\_\_\_ DATE \_\_\_\_\_

SIGNATURE OF OWNER (IF OWNER BUILDER) \_\_\_\_\_ DATE \_\_\_\_\_

BUILDING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

ZONING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

## **INFORMATION NECESSARY WHEN APPLYING FOR A DECK OR PORCH PERMIT**

### **DECKS**

- Permit application must be completed and signed.
- Two sets of detailed building plans:
  - Plans are required to show all sizes and locations for footing, post, beam, header and joist sizes and type of treated wood. Other information may be required.
  - Deck worksheet shall be completed.
- Two copies of a site plan: original certificate of survey, an aerial photo may be acceptable if there is no question about distances to the property lines. A survey may be requested. If a survey has never been completed a new one is required.
  - Location of the septic tanks
  - Location of the septic drainfield
  - Location of where the septic plumbing leaves the house
  - Location of the well
  - Distances to property lines, wetlands, rivers, lakes and easements
  - Location of the proposed deck
- Builders license (unless the homeowner is the general contractor).
- Septic systems may need to be upgraded before a permit can be issued. If you have any questions, please contact the Building Department.

### **Three Seasons**

- Permit application must be completed and signed.
- Two sets of detailed building plans.
  - Plan must be 11x17 or larger in size and cannot be sent over the computer.
  - Side view of the addition
  - Detailed floor and roof construction. Plans are required to show all sizes and locations for footing, post, beam, header and joist sizes and type of treated wood. Other information may be required.
  - Braced wall method used and the location of braced wall panels their height and length.
- Two copies of a site plan: original certificate of survey, an aerial photo may be acceptable if there is no question about distances to the property lines. A survey may be requested. If a survey has never been completed a new one is required.
  - Location of the septic tanks
  - Location of the septic drainfield
  - Location of where the septic plumbing leaves the house
  - Location of the well
  - Location of the proposed deck
  - Distances to property lines, wetlands, rivers, lakes and easements.
- Builders license (unless the homeowner is the general contractor).
- Permit fees for covered decks, porches and additions are based off the valuation of the work, and the fee will be different.
- Septic systems may need to be upgraded before a permit is issued. If you have any questions, please contact the Building Department.



*East Bethel Community Development*

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# Deck Worksheet

**Required with all deck/porch applications**

Job Address: \_\_\_\_\_

Type of lumber (example: treated)	
Size of footings	
Depth of footings	
Size and type of floor joists (example: 2x10 treated)	
Size of post(s) and spacing	
Size and type of beams (example: 2x10 treated) (Note: All splices must be located above posts)	
Type and size of floor boards (Example: plastic decking)	
Type and size of screws supporting ledger board (joist less than 6 feet – minimum 3/8 inch. Joist over 6 feet in length require minimum of 1/2" screws and shall penetrate 1 1/2" into rim or wall stud)	
Height of power lines above proposed deck	
Height of deck from the ground	
Design and height of guardrail (example: 2x6 balusters, less than 4" apart)	
Stair design and connection to deck (example: stair stringers are required at 12" intervals. Note: plastic decking MAY require stringer to be installed closer together)	
Size of deck	
Are deck tension ties required?	
Deck ledger on canted area of home	
Are egress windows installed beneath deck?	



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### SHORELAND OVERLAY DISTRICT - IMPERVIOUS SURFACE CALCULATIONS

These calculations are **REQUIRED** per East Bethel Code of Ordinances  
Appendix A - Zoning, Section 57 if your property is in the Shoreland Overlay District.

**Impervious surface Definition per East Bethel Ordinance:** The area of a lot (above the ordinary high water level) covered with buildings including all appurtenances, driveways and sidewalks, and similar impervious materials. For the purpose of this section, driveways that have a gravel base shall be considered impervious. Decks that allow drainage through the decking and that do not have a plastic weed barrier or some other material that would impede drainage into the ground and swimming pool water surface area shall not be considered impervious.

Job Address or PID: _____	
Impervious Surface Calculations completed by: (name) _____	
who is the following: <input type="checkbox"/> Homeowner <input type="checkbox"/> Contractor <input type="checkbox"/> Land Surveyor <input type="checkbox"/> Other: _____	
Date these calculations were completed: _____	
<b><u>PROPERTY OWNER:</u></b>	<b><u>APPLICANT/CONTRACTOR:</u></b>
NAME: _____	<input type="checkbox"/> SAME AS PROPERTY OWNER
PHONE: _____	NAME: _____
EMAIL: _____	PHONE: _____
	EMAIL: _____

What lake(s) is applying the Shoreland Overlay (select all that apply):

- |  |   |                                      |
|--|---|--------------------------------------|
| <input type="checkbox"/> Anderson Lake     | <input type="checkbox"/> Deer Lake      | <input type="checkbox"/> Minard Lake |
| <input type="checkbox"/> Booster Pond Lake | <input type="checkbox"/> Devil Lake     | <input type="checkbox"/> Mud Lake    |
| <input type="checkbox"/> Cedar Creek Lake  | <input type="checkbox"/> Fish Lake      | <input type="checkbox"/> Ned's Lake  |
| <input type="checkbox"/> Cooper's Lake     | <input type="checkbox"/> Goose Lake     | <input type="checkbox"/> Rice Lake   |
| <input type="checkbox"/> Coon Lake         | <input type="checkbox"/> Lone Pine Lake |                                      |

Ordinary High Water (OHW) level: \_\_\_\_\_ elevation

Total square footage of lot **above** the Ordinary High Water level: \_\_\_\_\_ sq. ft.

Total square footage of **existing** impervious surfaces on lot: \_\_\_\_\_ sq. ft.

Total percentage of **existing** impervious surface: \_\_\_\_\_ %

Total square footage of **proposed** impervious surface: \_\_\_\_\_ sq. ft.

Total percentage of **proposed** impervious surface: \_\_\_\_\_ % (maximum 25%)

Signature of person completing calculations: \_\_\_\_\_ Date: \_\_\_\_\_

The site plan must include the Ordinary High Water level elevation and all measurements and calculations. If the calculations indicate that the impervious surface encroaches the maximum percentage, then a Certificate of Survey will be required with this information printed on the survey.

# Zoning Setbacks

Zoning	Front Yard Setback on City Road	Side Yard Setback	Side Yard Setback on a City Road	Rear Yard Setback	Setback from County Road	2nd Driveway Allowed	Primary Structure Setbacks	Septic setbacks	Well setbacks	Wetland Setbacks
R1*	30 ft	10 ft	25 ft	10 ft	100 ft	No	10 ft	Bldg must be 20 ft from drainfield and 10 ft from tanks  Septics can be 10ft from a property line	3 ft from any bldg overhang	See Wetland or Shoreland Ord.
R2*	30 ft	10 ft	25 ft	10 ft		No	10 ft			
RR*	40 ft	25 ft	40 ft	25 ft		With permit	25 ft			
Whispering Aspen	28 ft	10 ft	25 ft	10 ft	NA	No	10 ft			
Viking Preserve	25 ft	7 ft	25 ft	25 ft	50 ft	No	10 ft			25 ft

\*Check to see if you are in the Shoreland Overlay District as the setbacks may be different.

**Shoreland Overlay** Please check with staff for your setbacks as they will be different than above. 25% Impervious Surface rule applies, meaning only 25% of the property's surface can have an impervious surface where water cannot drain through it. To find out your zoning or if you are in the Shoreland Overlay District: either use the GIS map on the city website or call 763-367-7844 between M-F 8am-4pm.

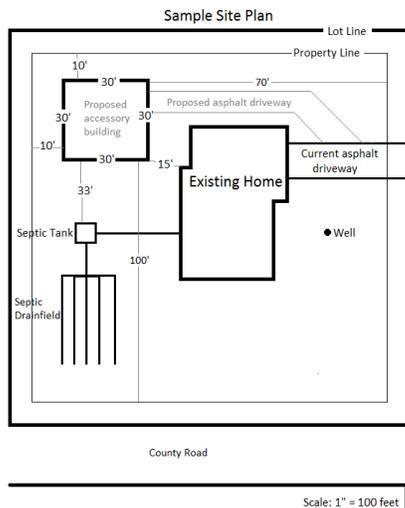
# Wetland Setbacks

Water Body Type	Permanent Buffer Average Width	Minimum Building and septic system setback from delineated wetland edge
Wetlands adjacent to Significant Natural Environmental Areas (SNEA) or *highly susceptible wetlands	25 ft	50 ft
Cedar Creek or wetlands adjacent to	25 ft	Structures: 100 ft Septic systems: 75 ft
All other remaining wetlands including *slightly and moderately susceptible wetlands	15 ft	25 ft
Storm water ponds and *least susceptible wetlands	Top of slope	25 ft
Lakes	15 ft	Refer to Shoreland Overlay District ord.

\*Wetland susceptibility as defined in city's water management plan

# Shoreland Setbacks

Classes of Public Waters	Structures in Sewered Districts	Structures in Unsewered Districts	Sewage Treatment Systems
<b>Lake – Natural Environment</b> <i>Anderson Lake, Booster Pond, Cooper's Lake, Deer Lake, Devil Lake, Fish Lake, Goose Lake, Lone Pine Lake, Mud Lake, Ned's Lake, Rice Lake</i>	150 ft	150 ft	150 ft
<b>Lake – Recreational Dvlp</b> <i>Minard Lake</i>	75 ft	100 ft	75 ft
<b>Lake – General Dvlp</b> <i>Coon Lake</i>	50 ft	75 ft	50 ft
<b>Creeks and Streams</b>	100 ft	100 ft	75 ft



**Required to be on site plan:**

1. Septic system location and distances
2. Well location and distances
3. Property line location and distances
4. Wetland location and distances
5. Drainage Easements locations
6. Other structures locations and distances
7. Proposed structure location and size/measurements

**Additional site plan material required for Shoreland Overlay District:**

8. The Ordinary High Water (OHW) level must be provided
9. The Impervious Surface Calculations must be provided
10. A Certificate of Survey may be required

# DECKS Guidelines for Planning Deck Construction

## PERMITS

Building permits are required for all decks that are attached to the home or are 30 inches or more above grade. Decks and platforms not more than 30 inches above adjacent grade and not attached to a structure do not require a building permit.

All decks and platforms are required to meet the land use requirements of East Bethel's zoning code. Zoning questions should be directed to the local Planning/Building Departments. This is an important first step in the planning of any deck project.

## PERMIT FEES

Deck fees are \$150.00. The plan review is done by the building inspector in order to spot potential problems or pitfalls that may arise. The inspector may make notes on the plan for your use. The plan review and inspections are done to provide a reasonable degree of review and observation so the project will be successful, safe, and long-lasting. The building inspector will need a number of items. This includes:

- an application for permit,
- site plan or survey (with specific setback information),
- and deck plan with all applicable detailed plans.

Examples of these are provided in the rest of this brochure. The inspector may inform you of potential problems or make suggestions. Safety will receive the greatest priority.

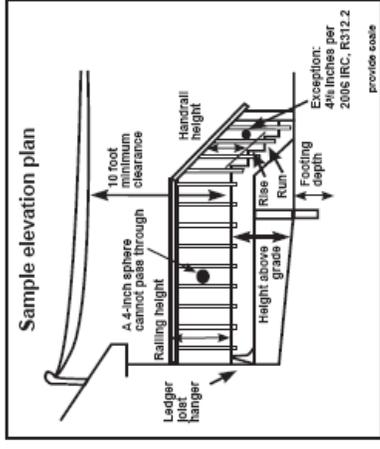
1. **Footings:** After the holes are dug, but **PRIOR TO THE POURING OF CONCRETE!**

**CITY OF EAST BETHEL** Phone: 763-367-7844  
**2241 221ST AVE NE** Fax: 763-434-9578  
**EAST BETHEL MN** www.ci.east-bethel.mn.us

S:\Building Dept New\Permit Handouts\Deck Handout  
 Revised 8/21/2017

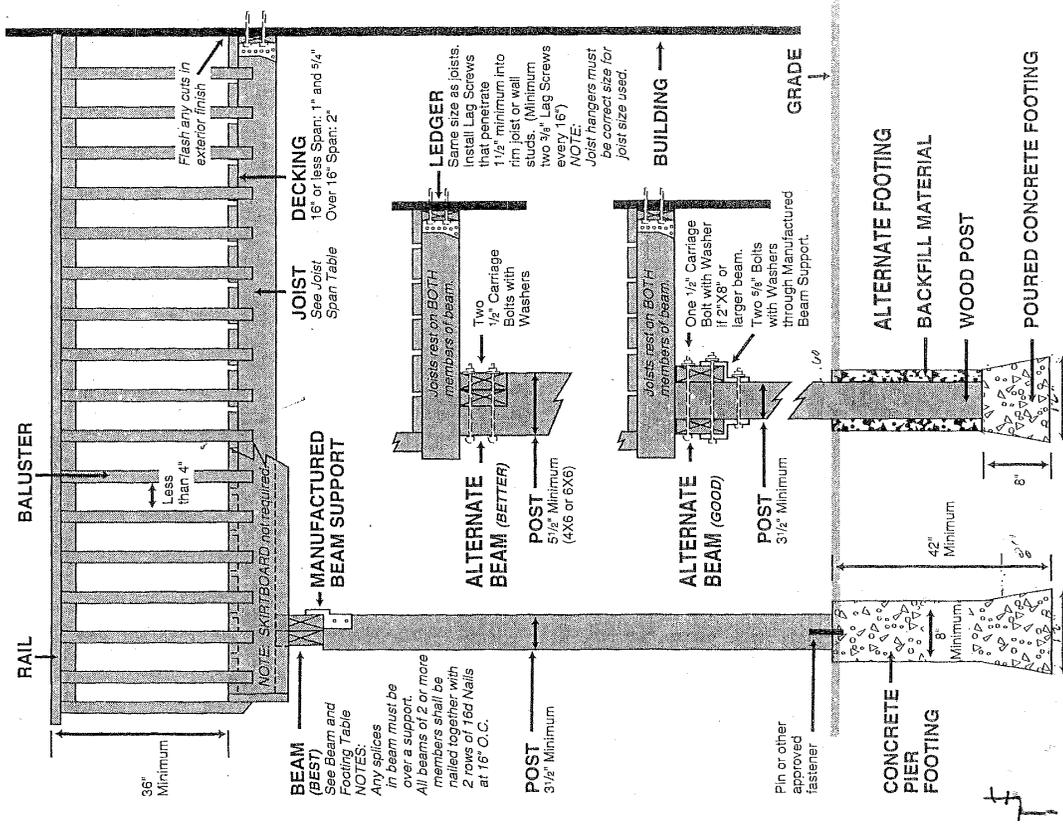
## DECK FINAL INSPECTION CHECKLIST

1. Is deck ledger board bolted to house with a minimum 1/2" lag bolts and washers (or equivalent) in each joist space?
2. Are all joist hangers fully nailed with GALVANIZED JOIST HANGER nails in every hole?
3. If deck surface is over 30" above grade, is your guardrail at least 36" high? (Open guardrails shall have intermediate rails or an ornamental pattern such that a sphere 4" in diameter cannot pass through.)
4. If the deck surface is over 30" above grade, are all openings LESS than 4"?
5. Is the top of your stairway handrail between 34" and 38" high measured at stair nosings?
6. If your stairway has 4 or more risers, do you have a handrail on at least one side? (The handrail must be grippable, shall not be less than 1 1/4" nor more than 2" and have a smooth surface with no sharp corners.)
7. A stairway more than 30" above grade requires 36" guardrails on BOTH sides, with spacings LESS than 4 3/8".
8. Are all stair risers the same height, and not more than 7 3/4"?
9. Are all stair treads at least 10"?
10. Is the deck ledger board properly flashed where it meets the house?
11. Are all of the nails, screws, fasteners, and hardware approved for use with lumber?
12. Is all lumber either treated or of a species resistant to decay (i.e. redwood, cedar, etc.)?
13. Are cantilevers a maximum of 24" overhang?
14. Are all joists, beams, posts, and footings as per the approved plan?



## ELEVATION PLAN

1. Height of structure of grade.
2. Size and depth of footings.
3. Guard height and spacing.
4. Stairway rise/run and handrail height (if any).
5. Clearance of over-head wires (if applicable).



## REQUIRED INSPECTIONS

**BEFORE YOU DIG:** Call Gopher State One Call (800) 252-1166 or (651) 454-0002 to locate any utilities such as phone lines, data communication cables, invisible dog fences, underground sprinkler systems, septic systems, etc.

- 1. Footings:** After the holes are dug, but PRIOR TO THE POURING OF CONCRETE!
- 2. Framing:** To be made after all framing, blocking, and bracing are in place and prior to covering the construction so it is accessible for inspection.
- 3. Final:** To be made upon completion of the deck, lighting requirements, and finish grading.
- 4. Other inspections:** In addition to the three inspections above, the inspector may make site visits upon requests to assist you with questions or concerns during the construction process.

## SETBACKS

Setbacks from property lines vary depending on the zoning district your home is located in. Verify setback requirements with the Building/Planning Departments if you have questions.

## GENERAL BUILDING CODE REQUIREMENTS

- Footings must extend to frost depth which is 42 inches.
- Decks need to be designed for a 40 pound per square foot live load and balconies to a 60 pound per square foot live load. Decks exposed to the weather must be constructed of approved wood with natural resistance to decay such as redwood, cedar or treated wood, or other material (composite plastics, etc.) with prior approval of the Building Safety Department.
- Pressure-Treated Wood  
Recent changes have been made in the chemicals used in the manufacture of pressure-treated wood. Chromated copper arsenate, also known as CCA, is being phased out and the most common new treatments approved for outdoor use are Alkaline Copper Quaternary

known as CCA, is being phased out and the most common new treatments approved for outdoor use are Alkaline Copper (ACQ) and Copper Azole. According to the lumber and fastener industry, the newer chemicals being used to treat the wood approved for outdoor use are considerably more corrosive than those previously treated with CCA and therefore require special fasteners, hangers, and greater care in the selection of materials that may come in contact with the wood. The fastener industry has indicated that some of the hangers and fasteners currently on the market may not perform with some of the new treatments.

Designers, builders, and home owners will need to pay particular attention to the grade marks on the lumber, and verify that proper hardware (hangers, nails, brackets) are appropriate with the particular treatment of the lumber. This not only applies to decks utilizing these products but sill plates and posts as well. The code references the American Wood Preservers Association (AWPA), which has published information on this issue. Particular attention should also be made to the manufacturer's installation instructions for the hardware. Questions should be directed to your wood and fastener supplier.

- Columns and posts in contact with the ground or embedded in concrete, earth, or masonry must be of special pressure treated wood approved for ground contact.
- Cedar or redwood posts need an 8 inch separation from the ground.
- All decks, balconies or porches, open sides of landings, and stairs which are more than 30 inches above grade or a floor below must be protected by a guard not less than 36 inches in height. Open guard and stair railings require intermediate rails of an ornamental pattern such that a sphere 4 inches in diameter cannot pass through.  
If a stairway is to be provided, it must be not less than 36 inches in width. Stairways may be constructed having a 7/4 inch maximum rise (height) and a 10-inch minimum run (length). The largest tread rise and tread run may not exceed the smallest corresponding tread rise or run by more than 3/8 inch. Stairway

constructed having a 7 3/4 inch maximum rise (height) and a 10 inch minimum run (length). The largest tread rise and tread run may not exceed the smallest corresponding tread rise or run by more than 3/8 inch. Stairway illumination is required by the code. Open risers are permitted provided the opening between the treads does not permit the passage of a 4" sphere.

- Handrails are required on all stairways having 4 or more risers. Handrails may not be less than 1 1/4" nor more than 2 5/8" in cross sectional area. Top of handrail must be not less than 34 inches nor more than 38 inches above the nosing (front edge) of treads and they must be returned to a wall or post.
- The electrical code requires overhead power lines to be located a minimum 10 feet above decks and platforms. Existing lines may need to be raised if a new deck is to be installed beneath them.
- When locating a deck, care must be given to the location of existing gas and electric meters, wells, and septic systems. These may need to be relocated to allow for construction of the deck. Septic systems and wells may be difficult to relocate, requiring an alternative location for the deck, or alternative construction methods prior to placement of any deck that will interfere with these devices, contact the Building Department.

## PLANS: SITE, FLOOR, AND ELEVATION

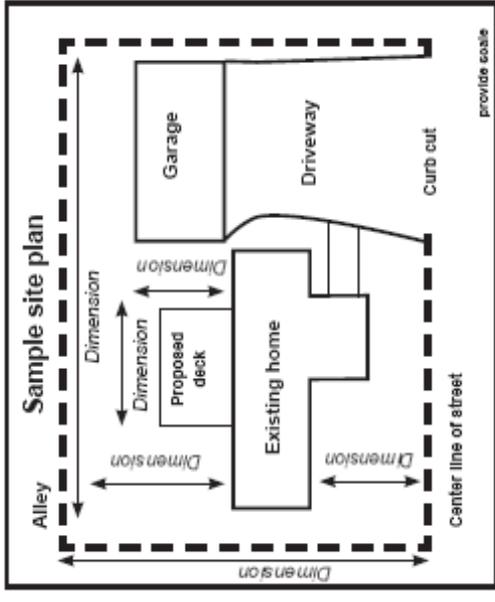
The following text and sample drawings show the minimum detail expected so the permit process can proceed smoothly. **TWO sets of each plan are required.** Plans do not need to be professionally drawn. Plans should include all of the information requested. The application for permit can be filled out at the time you drop off your plans.

**Certificate of Survey or Site Plan** drawn to scale indicating the lot dimensions, the location and size of the existing structure(s), and the location and size of the proposed structure. Indicate the setbacks from property lines of the existing and proposed structure (s), including septic system area and wells if applicable.

## FLOOR PLAN

- Proposed deck size.
- Size and spacing of floor joists.

**PLEASE NOTE: Design requirements may change with the addition of a 3-season porch.**



3. Size and type of decking material.
4. Size, type, location and spacing of posts.
5. Size and type of beams.
6. Fastening and hanger details.

