



ALTERATIONS, BASEMENT FINISHES, REMODEL, OR REPAIRS CHECKLIST

- Copy of the general contractor's license
- List of sub-contractors
- Demolition Permit obtained (if applicable)
- Permits for all new windows being installed - The window U value is .32. For all new window openings, a remodel application is required.
- Septic improvements may be required for the addition of any bedrooms to ensure compliance with the Minnesota Septic Code.

BASEMENT FINISH

- Two sets of detailed plans. The plans shall include the following:
 - All plans shall be to scale
 - All rooms labeled
 - Illustrate the basement before and after the alteration
 - Room dimensions are required.
 - Smoke and carbon monoxide detector locations.
- Structural Engineering of new beams for removal of load bearing walls.
- Indicate on the plan if the area under the stair will be enclosed with a door.
- Place all Plumbing and HVAC changes on the plans.

ALTERATION OR REMODEL/REPAIR

- All plans shall be to scale
- Separate permits are required for window/door replacement within existing openings, HVAC or heating, plumbing and electrical installations.
- Illustrate the area to be re-modeled
 - Label each room
 - Room dimension are required.
 - A structural engineer's signature is required for new beams when a bearing wall is demolished.
 - Smoke and carbon monoxide detector locations.
- Place all Plumbing and HVAC changes on the plans.
- Fill out the New Construction Energy Code Worksheet.

HVAC

- Draw all return air locations.
- Illustrate all heat locations.
- A separate HVAC (Heating) permit is required.

PLUMBING

- Describe the work being completed in the basement.
- A separate plumbing permit is required. Place all information on plumbing permit.

The construction on this site will follow normal industry and City accepted construction methods. Specific items of concern will be addressed separately during the building and zoning review process.

Job site address: _____

Signature of contractor or authorized agent: _____ Date: _____

Signature of owner (if owner builder): _____ Date: _____

WHEN APPLYING FOR AN ALTERATION PERMIT

Alterations are general remodeling without adding to the building's footprint.

1. Permit application completed and signed.
2. Two sets of detailed building plans or blueprints.
3. Other information may be required by the Building Inspector.
4. Check septic system for number of bedrooms.

ADDITIONAL INFORMATION

SMOKE ALARMS: When alterations, repairs or additions to the interior of a house requiring a permit, or when one or more sleeping rooms are added or created in existing dwellings, the dwelling shall be equipped with smoke alarms located as required for new dwellings; the smoke alarms shall be interconnected and hard wired, if the room is already finished, the wires shall go through the attic, crawl space or basement. If the entire room is finished and there is no attic, crawl space, basement or other unfinished room to run wires to the smoke alarms, than battery operated smoke alarms would be permitted.

CARBON MONOXIDE ALARMS: All homes must have an approved and operational carbon monoxide alarm installed within ten (10) feet of each sleeping room.

SEPTIC SYSTEMS: Septic systems may need to be upgraded before a permit is issued. If you have any questions, please contact the Building Department.



2241 221st Ave. NE • East Bethel, MN 55011
Phone: (763) 367-7844 • Fax: (763) 434-9578

PERMIT APPLICATION FOR ALTERATION, BASEMENT FINISH, REMODEL, OR REPAIR

JOB ADDRESS: _____

Owner's Name: _____ Phone: _____

Email: _____

General Contractor (If being used): _____ Phone: _____

Contractor Address: _____

E-mail: _____ Contractors Lic. #: _____

Contractor's lead certification number for pre 1978 structures: _____

SELECT TYPE OF WORK: Alteration Basement Finish Remodel Repair

SELECT AREA(S) OF WORK: Basement Main Floor Upper Floor
 Garage Other: _____

Total Sq. Ft. in each area of work: _____ Existing number of bedrooms: _____

Description of work being done: _____

Is a gut rehab required for repair work: No Yes

Are you adding any bedrooms: No Yes: how many: _____

Valuation of Work* \$ _____

**Based on cost of material and labor as if you were to hire a contractor.*

TOTAL \$ _____

** Permit Cost will be calculated based on Valuation of project per 1997 UBC Table 1-A. You will be contacted with total due once project has been approved.*

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING AND A/C, FIREPLACE, AND FIRE SPRINKLERS. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED. I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

SIGNATURE OF CONTRACTOR _____ DATE _____

SIGNATURE OF OWNER (IF OWNER BUILDER) _____ DATE _____

BUILDING APPROVAL _____ DATE _____

ZONING APPROVAL _____ DATE _____



East Bethel City Hall

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Sub-Contractor List

Job Address: _____

Owner: _____ Phone: _____

General Contractor: _____ Phone: _____

****Any lines left blank below will leave the general contractor liable for that work.**

The following contractors will be covered under the new construction building permit.

Excavating Contractor _____ Phone # _____

Masonry Contractor _____ Phone # _____

Insulation Contractor _____ Phone # _____

Driveway Contractor _____ Phone # _____

Roofing Contractor _____ Phone # _____

Siding/Stucco Contractor _____ Phone # _____

The contractors below are required to apply for a separate permit.

Plumbing Contractor _____ License # _____ Phone # _____

HVAC Contractor _____ License # _____ Phone # _____

***HVAC permits do not cover fireplaces. A separate permit is required.*

Fireplace Contractor _____ License # _____ Phone # _____

Septic Contractor _____ License # _____ Phone # _____

Electrical Contractor _____ License # _____ Phone # _____

Swimming Pool Contractor _____ License # _____ Phone # _____

Sewer/Water Contractor _____ License # _____ Phone # _____

Fire Sprinkler Contractor _____ License # _____ Phone # _____

Basement Finish

Required Permits for Finishing a Residential

Basement Building:

Additions, alterations, finishing or remodeling

Plumbing:

Adding or relocating any plumbing fixtures or plumbing pipes, including water heaters

Mechanical:

Adding, replacing or relocating a furnace, gas piping, heating piping or heat ducts and bathroom ventilation

Electrical:

Electrical fixtures added, relocated or removed

Fireplaces:

Installing fireplaces

Septic Requirements for Basement Finishing:

Before a permit will be issued to add another bedroom, the septic system size must be verified to make sure that it is capable of handling additional sewage. If the septic system is not sized for an additional bedroom, then the septic will need to be altered/enlarged by an MPCA licensed septic installer.

These are some of the Building Code requirements for Basement Finishes:

1. Bottom wall plates shall be green treated.
2. If a door encloses the area under the stairs a layer of 1/2 inch gypsum will be required under the stairs and also under the landing.
3. All bedrooms need egress windows.
4. Egress windows below grade require a window well. The minimum size window well for an egress window is 9 square feet. An attached permanent ladder is required and must be provided if the egress well measures over 44 inches from the bottom of the well to the top of the well and located so the window can open without hitting the ladder and must be adhered to the well with galvanized screws or equivalent. Windows cannot be installed over 44 inches in height from the floor.
5. Smoke detectors are required in all bedrooms at or near the ceiling, and also in the hallways directly outside of the bedrooms. Smoke detectors must be hardwired, but can be battery operated if approved by the Building Inspector.
6. Carbon monoxide detectors are required within 10 feet of all bedrooms, new and existing.
7. Fire blocking is required in soffits, above fireplaces and in wall framing forming concealed spaces at wall to ceiling intersections. Fire blocking material includes 2-inch nominal lumber, 3/4 inch plywood or particleboard, 1/2 -inch gypsum board (sheetrock). Fire blocking is required at framing inspection.

8. If foam insulation is used, it must be covered with 1/2-inch gypsum board unless the product is approved for use without it.

9. All electrical, plumbing and mechanical installations located in the wood top plates shall be caulked with non-combustible caulk.

These are some of the Mechanical Code requirements. Each room must be capable of maintaining a minimum of 68 degrees Fahrenheit at a point 3 feet above any floor and 2 feet from exterior walls in all habitable rooms. R303.9

1. When enclosing a furnace or water heater, additional combustion air may be needed if there is not enough combustion air within the room.
2. A door must be large enough to allow the removal of the largest appliance. IMC 306.2 Exception.
3. Ducts: All joints, seams and connections in metal and non-metallic ducts, must be securely fastened and sealed with mastic or UL 181 pressure tape. IMC 603.6
4. Protect pipes against physical damage. In concealed locations, where piping within 1.5 inches of framing members shall be protected by 16 gauge shield plates. IMC 305.5.
5. Flexible air connectors cannot pass through walls, floor or ceiling and are limited to 14 feet and must be installed per manufacturer's installation directions. IMC 603.6-603.6.4
6. Building framing cavities cannot be used as ducts or plenums. R403.2.3
7. Location of exhaust outlets must be per the manufacture installation instruction.
8. Fireplaces must be and approved and listed appliance labeled by a nationally recognized testing agency. The installation booklet must be on the jobsite. M301.7

These are some of the Plumbing Code requirements.

1. No water closet shall be closer than 15 inches from its center to a sidewall or obstruction nor closer than 30 inches center to center to a similar fixture. Clear space in front of a water closet is 24 inches. 402.5
2. For a typical bathroom with one or two sinks, one tub or shower and one toilet, 3/4" water supply piping is supplied to the bathroom group. In addition, 1/2" supply lines are supplied to the individual units. No more than two units can be supplied with 1/2" supply. Table 610.3
3. Shower compartments shall have a minimum finished area of 1024 square inches and shall be capable of encompassing a 30-inch circle. The area and dimensions shall be maintained to a point of not less than 70 inches above the shower drain. 408.6

4. Bathtubs and whirlpools bathtubs must be installed in accordance with the manufacturer's installation directions. This includes placing a factory installed tile flange when a bathtub is installed against a wall. 409.6

5. Anti-scalding or mixing valves. Shower and tub-shower combination mixing valves shall be provided with individual control valves of the pressure balance, thermostatic or combination pressure balance thermostatic mixing valve type that provide scald and thermal shock protection. 408.3

6. Hand-held shower wands shall have integral backflow protection. With the many different variations of bath/showers, it is important that the water supply does not get contaminated. Therefore, an integral backflow device is required for shower wands that reach below the tub faucet or lay in the shower water. 417.3

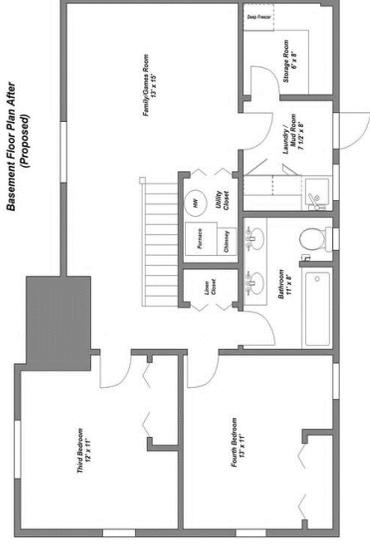
7. Securing fixtures. When a fixture meets a wall or floor the joint must be sealed water-tight. An example would be a water closet attached to a toilet flange. The joint between the water closet and the floor must be sealed with waterproof caulking. 402.2, 402.3

8. Traps and water shutoffs. All tub traps and water shutoffs are to remain accessible. Note: All holes in the floor must be concreted if you have a radon vent. Water shutoffs would include shutoffs for the outside hose bibs. 606.6

9. Steel nail plates. All pipes passing through framing members and are located within 1" of exposed framing shall be protected. The penetration of plastic or copper pipes by nails, screws or staples is a common problem. These protections will ensure the pipe is not penetrated during construction or later. 312.9

Basement Floor Plan

A floor plan is required. Please identify the areas on the plan to be completed. Each bedroom must measure 70 square feet or greater. Bedrooms cannot be less than seven feet in any horizontal dimension. The ceiling height of each room must be placed on the plan and the measurements of each room is also required.



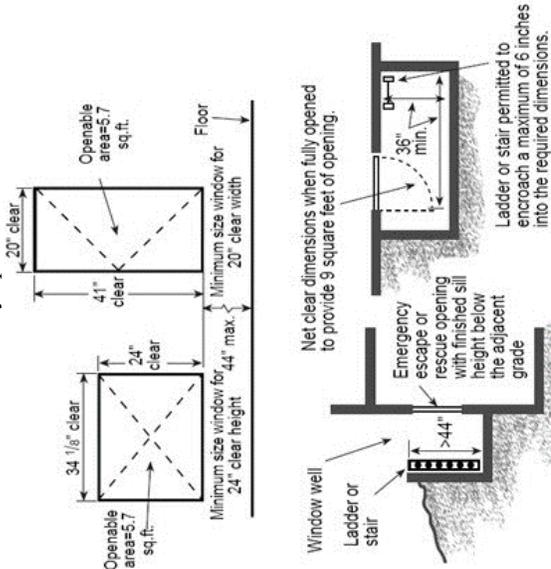
Rooms under stairs

The area under the stairs must be protected with 1/2 inch drywall in case of a fire.



Egress Window for a Bedroom

All bedrooms need at least one egress window. Egress window size is 5.7 square feet. If an egress well is installed outside of the window it must measure 9 square feet (3' x 3'). If it is deeper than 44 inches a secured ladder must be affixed to the well so a person can climb out of the well. When placing the ladder in the well remember to position it so the window can be fully opened.



Fire Blocking and Fire Stopping Soffits Enclosing Ductwork

Minimum ceiling height for existing buildings is 6 feet 4 inches including beams, girders, ducts or other obstructions. When remodeling or finishing a basement, if the height in the basement does not meet the height requirement contact the Building Department. All soffits must have fire blocking or fire stopping when finishing a basement. Fire stopping is required throughout the soffits so a fire does not spread throughout the floor/ceiling. Drywall or fiberglass insulation can be used as a fire stop. Contact the building department if you have any questions.



Fireplace

The installation manual for the fireplace must be on site for the building inspector. Each fireplace must also have fire blocking/stopping installed. Drywall is installed at the ceiling above the fireplace and maybe required to be installed on the sides and back of the fireplace. In this picture you can see the fire caulking placed between the gas line and a hole in the ceiling. Fill any gaps or openings with a non-combustible caulk.

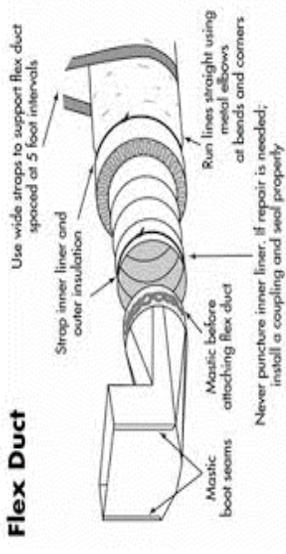


Placement of Cold Air Returns

Using the void between sheetrock and wall studs as a plenum cannot be used any longer. As you can see in this picture, return air ducts are now required. Note; according to the energy code, mastic or UL 181 tape must be used on all duct joints.



Example of Flexible Air Ducts



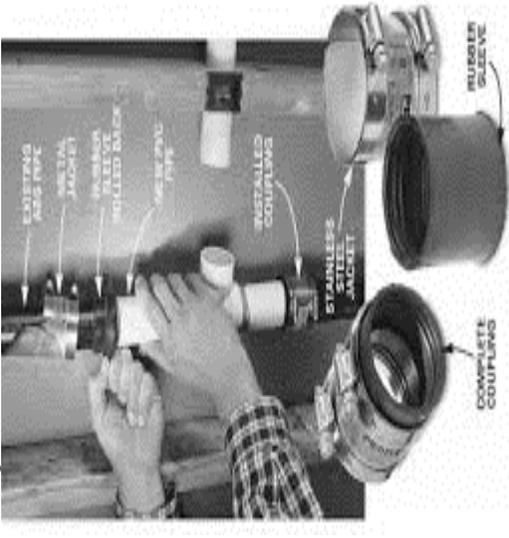
Duct Connector Example

Duct connectors connecting cold air returns have a maximum length of 14 feet.



Plumbing Pipe Transitional Couplings

Before buying transitional couplings, be sure you buy the correct coupling. The label will show which type of pipe it is designed for.



Steel Nail Plates

An example where plates must be used for plumbing.



Insulation around hot water pipes

R-3 insulation must be installed around all new hot water pipes.

