



2241 221<sup>st</sup> Ave. NE • East Bethel, MN 55011  
Phone: (763) 367-7844 • Fax: (763) 434-9578

### PERMIT APPLICATION FOR RESIDENTIAL ACCESSORY STRUCTURE

Job Address: \_\_\_\_\_

Owner's Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

General Contractor (If being used): \_\_\_\_\_ Phone: \_\_\_\_\_

E-mail: \_\_\_\_\_ Contractor's Lic. #: \_\_\_\_\_

Do you intend on running a home occupation from the structure (circle one): YES NO

Please circle type of work: **Shed** **Garage** **Pole Building** or **Other:** \_\_\_\_\_

Total Sq. Ft.: \* \_\_\_\_\_ Sidewall Height (14ft max): \_\_\_\_\_ Bldg Height: \_\_\_\_\_

\*If over 2,000 sq ft, than the building plans need to be approved by a structural engineer.

Zoning: \_\_\_\_\_ Acres: \_\_\_\_\_ Shoreland Overlay District:  YES  NO

New building driveway plans: \_\_\_\_\_

Two Architectural features on front facade: \_\_\_\_\_

Color of the siding (must be similar to the color of the Primary Structure): \_\_\_\_\_

**Valuation of Work\*:** \$ \_\_\_\_\_

\*Based on cost of material and labor as if you were to hire a contractor.

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING AND A/C, FIREPLACE, AND FIRE SPRINKLERS. THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HERIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

TOTAL AMOUNT DUE (Price based on valuation) \$ \_\_\_\_\_  
Total cost of permit will be available after building review. An estimate can be provided.

Signature of Contractor or Authorized Agent: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Owner (if owner builder): \_\_\_\_\_ Date: \_\_\_\_\_

Building Inspector: \_\_\_\_\_ Date: \_\_\_\_\_

## **INFORMATION NECESSARY WHEN APPLYING FOR A RESIDENTIAL ACCESSORY BUILDING PERMIT**

1. Permit application completed and signed.
2. Two sets of detailed building plans or blueprints. Pole buildings over 2,000 square feet require engineered signed plans.
3. Two copies of the residential survey or site plan indicating the following: Distances from the property lines, buildings on the same property, driveway location, septic system and well locations, lot size and any wetlands, rivers, lakes or easements. Site plan must be approved by the Building Inspector. If the property lines cannot be determined, a survey will be required.
4. The building location must be staked for the site inspection/footing inspection.
5. Any additional driveways from a city, county, or state road will need a permit. For all driveways on State or County road; you will need to contact the State of Minnesota or Anoka County and receive a driveway permit before applying for a building permit.
6. Structures shall not be located in drainage and utility easements.
7. Detached Accessory structures shall comply with the following:
  - a. Shall incorporate a finished design and color scheme that is coordinated and compatible with the color and design of the principal structure;
  - b. Shall include complete eave and corner trim elements;
  - c. Shall include a minimum of two different architectural features on the front façade; architectural features may include items such as windows, entry doors, or material/color variations; and
  - d. Shall include a minimum combination of 2 architectural and/or landscape features along any sidewall greater than 10 feet in height and any sidewall directly adjacent to and visible from a public right-of-way.
8. The septic system location must be fenced off before a permit will be issued.
9. Copy of the builder's license (unless homeowner is doing the project).
10. If other accessory buildings are on the property, give total square feet of existing accessory buildings.

**PERMIT FEE IS BASED ON VALUATION:** SHALL BE DETERMINED BY THE BUILDING INSPECTOR DURING PLAN REVIEW.

**SEPTIC SYSTEMS:** Septic systems may need to be upgraded before a permit is issued. If you have any questions, please contact the Building Department.



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### PERMIT APPLICATION FOR DRIVEWAYS ON CITY ROADS

Job Address: \_\_\_\_\_

Owner's Name: \_\_\_\_\_ Phone: \_\_\_\_\_

E-mail: \_\_\_\_\_

General Contractor (if being used): \_\_\_\_\_ Phone: \_\_\_\_\_

E-mail: \_\_\_\_\_ Contractor's Lic. #: \_\_\_\_\_

Is the driveway accessing a city road:  YES  NO  
County road driveways must be applied for through Anoka County.

Is the city road paved:  YES  NO

Driveways located on an improved street require a bituminous or concrete driveway extending from the street a minimum of 75 feet or to the garage apron, whichever is less.

In all residential districts, driveways created on an unimproved street after the adoption of [ordinance 28, second series, adopted Dec. 21, 2010] are required to meet the paving requirements of this section NO LATER THAN ONE YEAR AFTER subsequent improvements of the street are completed, with either a bituminous and/or concrete surface.

What is the speed limit on the city road the driveway will be accessing: \_\_\_\_\_ mph

A turn-around, located entirely on a residential lot, will be required for driveways that directly access a street with a posted speed limit greater than 45 miles per hour.

What material will cover the driveway: \_\_\_\_\_

Total Length: \_\_\_\_\_

Total Width: \_\_\_\_\_

Driveway width shall be a minimum of 12 feet wide and cannot exceed 24 feet in width at the right-of-way.

Zoning: \_\_\_\_\_

**You must not allow sediment to get into the ditch or public right-of-way.**

**A 15" culvert may be needed as determined by building plan review.**

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HERIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

**TOTAL AMOUNT DUE \$ 52**

Signature of Owner or Authorized Agent: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Community Dev. Director: \_\_\_\_\_ Date: \_\_\_\_\_

Is a "15 culvert needed:  YES  NO

## **INFORMATION NECESSARY WHEN APPLYING FOR A DRIVEWAY PERMIT ON A CITY ROAD**

1. Permit application completed and signed.
2. Two sets of detailed plans or blueprints which include lot lines. The two copies of the residential survey or site plan should indicate the following: Distances from the property lines, buildings on the same property, previous and future driveway location, septic system and well locations, lot size and any wetlands, rivers, lakes or easements. Site plan must be approved by the Building Inspector. If the property lines cannot be determined, a survey will be required.
3. The septic system location must be fenced off before a permit will be issued.
4. You must not allow sediment to get into the ditch or public right-of-way.
5. A 15" culvert may be needed as determined by building plan review.

**SEPTIC SYSTEMS:** Septic systems may need to be upgraded before a permit is issued. If you have any questions, please contact the Building Department.



*East Bethel*  
**Community Development**  
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## SOIL EROSION POLICIES:

### Driveways:

Rock has been placed in driveway areas by contractors. This should not be a new requirements as many other Cities require it. It would include aggregate ½ inch to 3 inches in diameter.



Pictures taken show the silt fence placed on the front property line and rock placed over driveway areas. If culverts are required additional erosion techniques are needed so the stones in the driveway do not wash over the culvert.



### Driveway Escrow:

Larger rock or equivalent is required around culverts for the driveway escrow. Attached is a picture.



### Silt Fence Requirements:

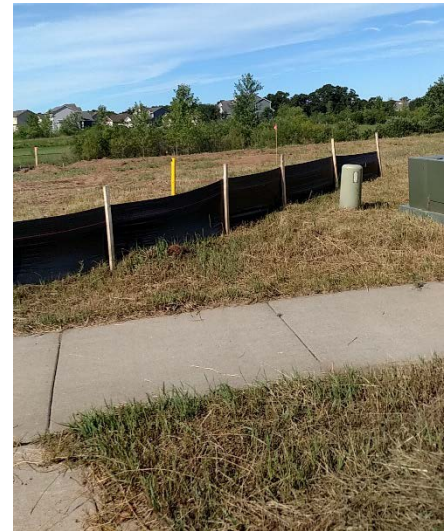
Silt fence is required between lower elevations on a lot such as drainage ditches and disturbed areas. Attached are pictures of these areas.

For lots not containing sidewalks silt fence is required on the front of each lot.



Fencing is required around the perimeter of each lot if there is a house on either side.

Soil taken out of the ground and placed on an adjacent lot must be trucked off site.



#### City Sewer/Water areas:

Silt fence is required on the front of the lot. Specifically between the pedestrian sidewalk and front lot line. Rock is also required for the driveway.

#### Storm Drains Located in Curbs:

Silt fence can also be placed over storm drains located in the curbs.

#### Accessory Structures:

The main erosion items include fencing 20 feet from wet areas and erosion control for the foundation.

