



2241 221st Ave. NE • East Bethel, MN 55011

Phone: (763) 367-7844 • Fax: (763) 434-9578

PERMIT APPLICATION FOR NEW SINGLE FAMILY HOME

JOB ADDRESS (Provided by the City): _____

Legal Description/PIN: _____

Owner's Name: _____ Telephone: _____

General Contractor: _____ Telephone: _____

E-mail: _____ Contractors Lic. #: _____

Architect: _____ Telephone: _____ Reg. #: _____

Structural Engineer: _____ Telephone: _____ Reg. #: _____

Is this a New Master Plan (will other plans be based off this one?): YES NO

Name of Master Plan (if a new master plan or if repetitive plan is submitted): _____

Is this a Repetitive Plan based on an already submitted Master Plan: YES NO

The plan review fee for repetitive plans shall not exceed 25% of the normal plan review fee. Approval is needed from the Plan Reviewer for the reduced fees. Per MSBC 1300.0160, Subp 5.

Type of Construction: _____ House Square Feet: _____
Garage Square Feet (minimum 24'x24'): _____ Garage Wall Height: _____

Number of Stories: _____ Total Bldg Height: _____ Basement (circle one): Finished Unfinished Partial

Zoning: _____ Acres: _____ Shoreland Overlay District: YES NO

Valuation of Work: \$ _____

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 180 DAYS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

TOTAL AMOUNT DUE \$ _____

Total amount due will be given after building review. You can receive an estimate prior.
HVAC, Fireplace, Plumbing, Electrical, and Septic Permits are all applied for and paid for separately.

Signature of contractor or authorized agent: _____ Date: _____

Signature of owner (if owner builder): _____ Date: _____

Building Inspector: _____ Date: _____

Community Development Director: _____ Date: _____



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REQUIRED INFORMATION WHEN APPLYING FOR A NEW HOUSE PERMIT

PLAN REVIEW

Plan review is conducted on a first come first serve basis. Plans may be held for up to 14 business days for plan review if all the information is submitted at once initially. If any of the items listed are not included, than plan review will STOP until that information is submitted. Once the information is submitted, than plan review will commence.

Once building review is finished, than zoning review will begin.

You will be contacted via email/phone with questions.

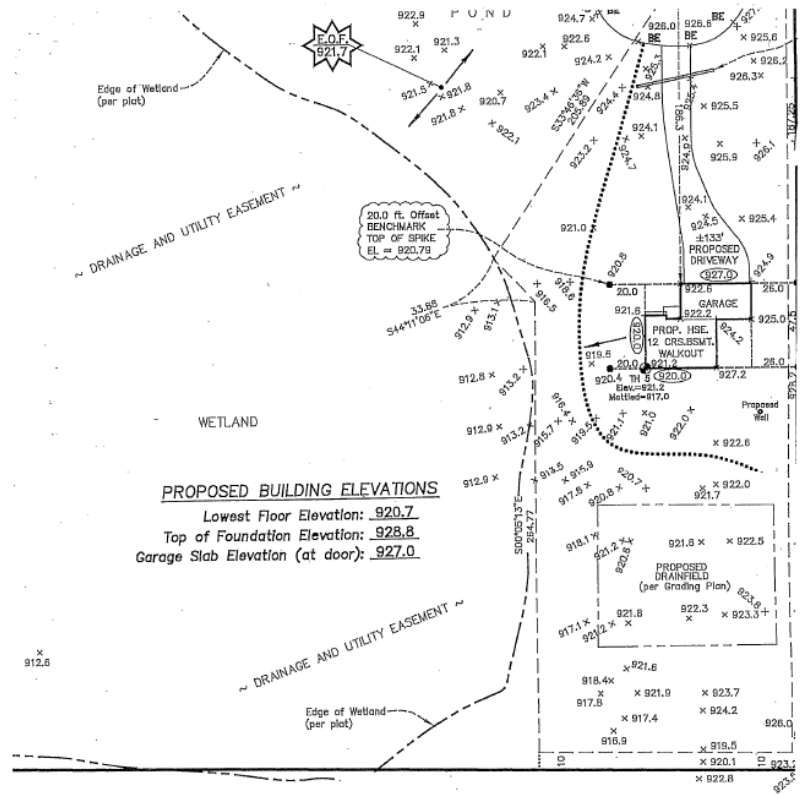
Subcontractors

Subcontractors are to pull their own permits. Each of the following are separate permits that must be applied for separately from this new construction permit application: electrical, plumbing, HVAC, fireplace, and septic system.

NEW HOME CHECKLIST

- Permit application must be completed and signed.
- Note on application if the home is a Master Plan.
- The following documents must be complete and submitted at the time the plans are submitted.
 - New Construction Energy Code
 - List of Sub Contractors.
 - Building Escrow Application.
 - Utility Billing document for lots on City sewer and water.
 - A completed and signed septic system permit application shall be included with a septic design.
 - Copy of the builder's license, unless the homeowner is acting as the general contractor.
Note: the homeowner is not permitted to install plumbing or the septic system unless licensed by the State of Minnesota as a licensed master plumber or a licensed septic system installer.
 - Demolition permit if a house or other structure will be taken down prior to building the new home.
- Two sets of detailed plans. Size shall be larger than 11x17. Electronic copies will not be accepted. The plans shall include the following:
 - Footing size and thickness.
 - Detailed wall construction.
 - Braced wall method used for the building. Location of braced wall panels, their height and length. Interior framing stud corners details for braced wall panels areas.
 - Detailed floor construction.
 - All plans shall be to scale.

- Two copies of a survey from a Minnesota registered land surveyor indication the following.
 - Proposed house location
 - Proposed lowest floor elevation. If the subdivision has a lowest floor elevation, it can be used for the lowest floor. If not, a soil boring completed by a MPCA septic contractor or soil scientist stating the elevation of the mottled soils must be completed. The results of the boring elevation include the ground level and elevation of the mottled soil must be indicated on the survey. The home's lowest floor elevation shall be three feet above mottled soil.
 - Distances to all property lines.
 - Proposed location of the septic drainfield.
 - Driveway elevation and location.
 - Road and streets.
 - Soil boring near the home.
 - Ground elevation of the soil boring.
 - Mottled soil elevation.
 - Elevation of ponds, wetlands, rivers, easements and cache basins
 - Well location.
 - Elevation bench marks.
 - Indicate the drainage away from the house, show elevations. Water shall not be directed over the septic drainfield or a neighboring property.
- If the proposed home will be located on a lot adjacent to a Street which has a speed limit over 45 miles per hour a turnaround is required.
- Furnace sizing worksheet must be completed.
- Separate soil testing, if constructed on fill soils.



BEFORE CONSTRUCTION BEGINS.

- The building location must be staked by a surveyor.
- The driveway location must be staked for a culvert is needed. Please contact Public Works Manager if you have any questions about a culvert on the property.
- If the lot is on a county road contact Anoka County for a driveway permit, proof must be submitted with building plans.
- The septic system location must be physically fenced off on the lot.

CITY STREETS AND RIGHT OF WAYS

- Keep all construction materials including lumber, concrete blocks, pallets, etc. off of the street and out of City right-of-ways at all times.
- City streets shall be left clean and free of debris at end of the day.
- NO overnight parking on the City streets and right-of-way.
- Anything left on the City streets or in the City right-of-way will result in removal at the contractors or owners expense.