

**City of East Bethel**  
**Planning Commission Agenda**  
**Planning Commission Regular Meeting**  
**Date: November 25, 2025**



Two or more Council Members and/or the Mayor may be in attendance at this meeting.  
If two or more Council Members and the Mayor attend the event, there will be a quorum of Council Members.

This meeting may be monitored live via the following means:  
Cable Channel 10, MidcoTV Channel 77, or the City of East Bethel YouTube channel  
([www.youtube.com/channel/UC8\\_7ShcME-XG14pN5JrmBGg/live](http://www.youtube.com/channel/UC8_7ShcME-XG14pN5JrmBGg/live))

1. Call To Order
2. Adopt Agenda
3. Council Liaison Update
4. Approval of Minutes: October 28, 2025 (Pg. 2-5)
5. Elect of Vice Chair of Planning Commission
6. Interview of Planning Commission Applicant: Gerald Tiah (Pg. 6)
7. **Public Hearing.** Consider requests for variances for front yard and side yard setbacks at 19511 East Front Boulevard NE (PID #25-33-23-12-0003) (City File 25-033) (Pg. 7-26)
8. **Public Hearing.** Consider a request for a Conditional Use Permit for a Lower Potency Hemp Edibles Retailer for The Smoke Saloon at 18429 Highway 65 (PID #32-33-23-42-0008) (City File 25-034) (Pg. 27-41)
9. **Public Hearing.** Consider a request for a Conditional Use Permit for a Cannabis Microbusiness for 5D Dispensary at 18447 Highway 65 NE Unit B (PID #32-33-23-43-0007) (City File 25-032) (Pg. 42-62)
10. Consider a Site Plan Review for AMBA East Bethel Commercial at PID# 32-33-23-21-0012 (City File 25-031) (Pg 63-89)
11. Staff Update
12. Adjourn

1 **DRAFT MINUTES: NOT YET APPROVED**

2  
3 EAST BETHEL PLANNING COMMISSION MEETING  
4 October 28, 2025

5  
6 MEMBERS PRESENT: Chair Sharon Johnson, Glenn Terry, Tanner Balfany, Kristina Pagnac, and Kory  
7 Jorgensen.

8  
9 MEMBERS ABSENT: Brian Downie.

10  
11 ALSO PRESENT: Nate Ayshford, Public Works Manager  
12 Grace Gerard, City Planner  
13 Brian Mundle, City Council Liaison  
14

15 **1.0 Call to Order**

16 Chair Johnson called the Planning Commission regular meeting to order at 7:00 pm.

17  
18 **2.0 Adopt Agenda**

19 **Commissioner Terry moved and Commissioner Balfany seconded to adopt the agenda as**  
20 **presented.** Johnson asked for any discussion? To the motion, all in favor say aye. **All in favor.**  
21 Johnson asked any opposed? That motion passes. **Motion passes unanimously.**

22 **3.0 Updates**

23 Council Liaison Mundle updated the Commission on recent Council actions. He provided updates on the  
24 approval of Planning Commission items at the Council meeting. He noted that the fall Town Hall  
25 meeting will be on November 13.

26  
27 The next Planning and Zoning Commission meeting is scheduled for November 20, 2025.

28  
29 **4.0 Approve September 23, 2025, meeting minutes**

30 **Commissioner Jorgensen moved and Commissioner Terry seconded to adopt the September 23,**  
31 **2025, regular meeting minutes as written.** Johnson asked any discussion? To the motion, all in favor  
32 say aye. **All in favor.** Johnson asked any opposed? That motion passes. **Motion passes unanimously.**

33 **5.0 Public Hearing – Consider a request for a Planned Unit Development (PUD) Final Plan for “Cliffs**  
34 **Anderson Acres”**

35 Gerard reviewed staff’s report stating the City received an application for a PUD Final Plan and Final  
36 Plat for a three-lot subdivision named “Cliffs Anderson Acres” on the north side of 217th Avenue NE.  
37 The total area of the parcel is approximately 20.35 acres. The parcel is guided Rural Residential and  
38 zoned RR – Rural Residential within the Special Natural Environmental Area (SNEA) Overlay District  
39 and PUD Overlay District. The properties to the south and west of this parcel are all guided Rural  
40 Residential and Zoned RR – Rural Residential. The properties to the north of this parcel are guided and  
41 zoned Park/Natural Area within the Gordie Mikkelson Wildlife Management Area. The properties to the  
42 east are within Linwood Township’s “Dellwood County Estates” subdivision.

43 Gerard stated that this PUD Final Plan application is part of the application for the approval of the Final  
44 Plat of this subdivision. The Final Plat application shall be reviewed by the City Council on November  
45 10th. Final Plats do not undergo review by the Planning Commission.

46 Gerard noted that the City has a relatively high level of discretion in approving a PUD. A PUD must be  
47 consistent with the City’s Comprehensive Plan. The City may impose reasonable requirements in a PUD

not otherwise required if the City deems it necessary to promote the general health, safety, and welfare of the community and surrounding area.

Gerard stated that the applicant has received approval for a rezoning to Planned Unit Development overlay and is seeking approval of a PUD Final Plan as required for a development within the SNEA Overlay District. The SNEA Overlay District was developed with the guidance of the Anoka Conservation District, the Minnesota Department of Natural Resources, and the Metropolitan Council. The purpose of the SNEA Overlay District is to “protect and rehabilitate areas within the City of East Bethel that contain native vegetation and natural features and/or natural resources that contribute to the health, welfare, and quality of life of the people in the City of East Bethel”.

Johnson opened the public hearing at 7:09 pm.

Johnson closed the public hearing at 7:10 pm.

**Commissioner Balfany moved and Commissioner Pagnac seconded to recommend approval to City Council with the conditions set forth in the provided Resolution.** Johnson asked for any discussion? To the motion, all in favor say aye. **All in favor.** Johnson asked any opposed? That motion passes. **Motion passes unanimously.**

This item goes before City Council on November 10, 2025.

#### **6.0 Review and recommend any updates to Sec. 66-165 Sidewalks and Trails.**

Gerard reviewed staff’s report stating that at the request of City Council, Staff has initiated the process of re-evaluating the City’s park dedication fees and possible trail dedication fee. Code requires the installation of sidewalks and trails in new developments based on the development’s zoning.

Gerard stated that at the October 14<sup>th</sup> Park Commission meeting, the Park Commission recommended a park dedication fee increase and a new trail dedication fee of \$1500 per unit in lieu of trail construction. The establishment of a trail dedication fee requires a City Code Amendment.

Ayshford provided further information on the item. He noted that they could approve the \$1500 fee per lot or remove the requirement to build trails from Code.

Balfany noted that he has no opposition to this item.

Johnson asked for clarification that this fee would not be enough to cover the cost of a complete trail.

Ayshford explained that Public Works built a one-block trail on Bataan Street that cost \$20,000. He noted that the fee will help, but usually won’t cover the whole cost.

Terry asked why the trail dedication fee can not be used for maintenance.

Ayshford stated that this is the way that the State Statute is written.

Pagnac asked how much the City uses the trails and if residents want more trails.

Ayshford stated that the Park Commission did a survey about 10 years ago, and the number one requested item was more trails.

Jorgensen noted that if they build the trails, they will have to make sure to plow and keep up with the maintenance of the trails.

Balfany stated that if the trails are not kept up, residents will complain.

**Commissioner Pagnac moved and Commissioner Terry seconded to recommend approval to City Council.** Johnson asked for any discussion? To the motion, all in favor say aye. **All in favor.** Johnson asked any opposed? That motion passes. **Motion passes unanimously.**

## 7.0 Review 2025 System Statement for 2050 Comprehensive Planning Cycle

Gerard provided an update on the system statement for the 2050 Comprehensive Planning Cycle. The Comprehensive Plan is a vision for the development of the City. Although it is a physical plan, it reflects the community's social and economic values. These values are translated into a plan for land uses, natural resources, parks, infrastructure (sewer, water, and transportation), housing, climate change, economic development, and community facilities. The Metropolitan Land Planning Act, a state law first passed in 1976 and amended several times since, requires local governments in the seven-county Twin Cities area to prepare and adopt local comprehensive plans. The law specifies required plan elements. Cities are required to prepare and adopt the 2050 Comprehensive Plan by December 31, 2028. The City's comprehensive plan will be reviewed for substantial conformance with regional systems.

Gerard stated that the Met Council adopted a new regional development guide, Imagine 2050, for the seven-county metro region, as required by the Metropolitan Land Planning Act. Imagine 2050 includes updates to the regional Transportation, Water, Parks and Trails, and Housing Policy Plans.

Gerard noted that by 2050, East Bethel's population is forecasted to increase by 3,614, resulting in a total of 15,400 residents. Of this, it is forecasted that 3,196 of those residents will be served by the Metropolitan Council's wastewater infrastructure. Staff has determined that this growth forecast is generally appropriate and does not plan to dispute it.

Gerard noted that the Met Council has added a new requirement to be included in the Comprehensive Plan. A 2023 update to the Metropolitan Land Planning Act requires all comprehensive plans to acknowledge statewide targets for greenhouse gas emission reductions, include a greenhouse gas emissions inventory, and identify climate mitigation and adaptation strategies within their community. The Metropolitan Council has provided guidance on acceptable strategies, and communities may decide which strategies are appropriate for them.

Terry noted that the Comprehensive plan should reflect the values of the City. He noted that they should not be able to decide what growth and housing look like in the City.

Gerard stated that every City is required to follow what the Met Council says. She noted that it is not always ideal to follow their directions. She noted that this is a guiding document and the City is not held to follow through with everything listed.

## 8.0 Staff Update

Gerard stated that they have received a new application for a Planning Commissioner. They should expect to be interviewing an applicant at the next meeting. She noted that they have three to four new applications for development for the November meeting.

Johnson noted that they do not have a Vice Chair currently, and asked if they could add an appointment for Vice Chair in the next meeting.

## 9.0 Adjournment

**Commissioner Balfany moved and Commissioner Jorgensen seconded to adjourn at 7:57 pm.**

Johnson asked for any discussion? To the motion, all in favor say aye. **All in favor.** Johnson asked any opposed? That motion passes. **Motion passes unanimously.**

Submitted by:  
Sylvia Rokosz

137 *TimeSaver Off Site Secretarial, Inc.*  
138

**Gerald J. Tiah**  
23791 Opal St NE  
East Bethel, MN 55005

October 23, 2025

**City of East Bethel**  
Attn: City Council and Planning Commission  
2241 221st Avenue NE  
East Bethel, MN 55011

**Subject:** Application for Appointment to the East Bethel Planning Commission

Dear Members of the City Council,

I am writing to formally express my interest in being considered for appointment to the East Bethel Planning Commission. As a resident of East Bethel for the past nine years, I have developed a strong appreciation for the city's growth, character, and commitment to maintaining a balance between development and community values.

I hold both an Associate Degree and completing Bachelor of Arts, which have provided me with a solid educational foundation in communication, analytical thinking, and problem solving skills I believe are essential for thoughtful participation in planning and policy discussions.

My family and I are actively engaged in community service through regular park cleanups and litter removal efforts. These volunteer activities reflect my dedication to maintaining the cleanliness, safety, and natural beauty of our public spaces.

I am particularly interested in serving on the Planning Commission to contribute to the city's long-term vision for sustainable growth, to ensure responsible land use, and to help preserve the unique qualities that make East Bethel an exceptional place to live. Many residents pursue this role for similar reasons to give back to the community, to take part in shaping the city's future, and to bring a balanced perspective to local decision-making.

I would be honored to bring my experience, dedication, and community-minded approach to the Planning Commission. Thank you for your time and consideration. I welcome the opportunity to discuss how I can contribute to the ongoing success of East Bethel.

Respectfully,  
**Gerald J. Tiah**

**City of East Bethel  
Planning Commission Meeting  
Agenda Item Information**



**Meeting Date:** November 25, 2025

**Agenda Item Number:** 7

**Request: PUBLIC HEARING.** Request for variances for front yard and side yard setbacks at 19511 East Front Boulevard NE (PIN# 25-33-23-12-0003) (City file 25-033).

**Review Deadline:** December 13, 2025

**Background/Context**

On October 27, 2025 the City received a complete variance application from Joseph and Sheri Belchak to allow for the construction of a 1,250 square foot attached garage to be located 19 feet 8.4 inches from the front property line and 5 feet 8.4 inches from the side property line on property at 19511 East Front Boulevard NE (PIN# 25-33-23-12-0003). To approve the garage as proposed, two variances are required from Appendix A Section 51(7)B of the City Code which establishes setback requirements for structures within the Coon Lake Residential Zoning District.

This attached garage would replace an existing detached garage. The existing garage has a front yard setback of 27 feet and a side yard setback of 5 feet 8.4 inches. The new garage will expand the area of the garage that is 5 feet 8.4 inches from the side yard property line, thus requiring a variance to expand the area of the existing structure which is non-conforming.

This property is 0.32 acres. It is guided Coon Lake and zoned CL – Coon Lake Residential in the Shoreland Overlay District. The properties to the north, south, and west are guided and zoned the same. This property borders the shoreline of Coon Lake to the east.

This request is for two variances:

- A. A variance from Section 51 Subd. 7B of the Zoning Ordinance to allow a front yard setback of 19 feet 8.4 inches where a setback of 25 feet is required.
- B. A variance from Section 51 Subd. 7B of the Zoning Ordinance to allow a side yard setback of 5 feet 8.4 inches where a setback of 7 feet is required.

Both variances would be necessary for the applicant to construct the garage as proposed. One variance may be approved without the approval of the other. If only the first variance is approved, the applicant will be required to reduce the depth of the proposed garage to bring it into conformity with the 25-foot front yard setback requirement. If only the second variance is approved, the applicant will be required to reduce the width of the proposed garage to bring it into conformity with the 7-foot side yard setback requirement. Each variance shall be considered separately.

**Analysis**

The City's discretion in approving or denying a variance is limited to whether the proposal meets the standards set in the Zoning Ordinance for a variance. The City has a high level of discretion with a Variance because the

burden of proof is on the applicant to show that the variance standards have been met. The applicants have submitted a survey, building plans, and narrative detailing the requests.

Section 1-9 of the Zoning Ordinance defines accessory structure as “Any building or improvement clearly subordinate to a principal use such as garages, sheds, or storage buildings located on the same parcel as the principal structure, including detached and attached buildings”. Accessory structures are a permitted accessory use in the CL zoning district. The proposed 1,250 square foot garage complies with the square footage guidelines established in Section 14-4 of the Zoning Ordinance for properties less than 0.5 acres, as the first 1,000 square feet of the garage do not count towards the accessory structure square footage total. Additionally, an impervious surface variance is not required because the applicant is reducing the amount of impervious surface on the property by reducing the width of the driveway and concrete on the south side of the home, therefore reducing the non-conformity.

Section 4-10 of the Zoning Ordinance establishes standards for review of a variance request. Consideration of a variance requires the following three-factor test for practical difficulties. Economic considerations alone do not constitute a practical difficulty. A request must meet all three standards for the variance to be granted:

1. ***Reasonableness.*** *The property owner proposes to use the property in a reasonable manner not permitted by an official control.*

- A. The applicant is proposing to construct a 25 x 50-foot (1,250 square foot) attached garage on a 0.32 on a property zoned CL – Coon Lake Residential. An accessory structure is a permitted accessory use within the Coon Lake Residential zoning district. The applicant is proposing to locate the front of the garage 19 feet 8.4 inches from the front property line along E Front Boulevard. The applicant is proposing an encroachment of 5 feet 3.6 inches on the front property line setback requirement of 25 feet. To comply with the minimum front setback requirement, the applicant could reduce the length of the garage to 44 feet 8.4 inches, totaling 1117.5 square feet. The minimum garage size established in Section 22-7(B) of the Zoning Ordinance is 24 x 24 feet (576 square feet). The applicant’s narrative argues that he is seeking the 50-foot garage length because a three-stall garage is not feasible on the property, and the 50-foot depth would allow for the storage of items behind two vehicles.

The Planning Commission may find that the construction of a garage with a front yard setback encroachment of 5 feet 3.6 inches on the front property line. If the Planning Commission finds this encroachment is reasonable, the Commissioners shall determine a reason for this finding.

The Planning Commission may find that the construction of a 1,250 square foot garage with a front yard setback encroachment of 5 feet 3.6 inches on the front property line is not reasonable because the applicant could reduce the length of the garage by 5 feet 3.6 inches to bring the structure into conformity with the required front yard setback while still maintaining a garage length that well exceeds the minimum garage length and overall size which well exceeds the minimum garage side requirement established within the Code.

- B. The applicant is proposing to locate the south side of the garage 5 feet 8.4 inches from the side property line. The southeast corner of the applicant’s existing garage is located 5 feet 8.4 inches from the side property line, with the wall angling to the northwest, away from the property line. The applicant is proposing an encroachment of 1 foot 3.6 inches on the side property line setback requirement of 7 feet for the entire southern wall of the garage.

The variance is required because the proposed garage expands the non-conformity to the entire southern side wall. The applicant is seeking to straighten the garage's sidewall by making the entire wall run parallel to the south property line. The required minimum width of the garage is 24 feet, with the applicant proposing a garage width of 25 feet. The applicant's septic area is located 13 feet 2.4 inches to the north of the proposed garage, with the required setback from the septic tank being 10 feet. The applicant is limited in his ability to reduce the width of the garage due the required garage width of 24 feet or locate the garage further north due to the risk of encroaching on the septic area.

The Planning Commission may find that the construction of a garage with a side yard setback encroachment of 1 foot 3.6 inches is reasonable because the applicant is limited in his ability to reduce the width of the garage due to the required garage width of 24 feet, and the location of the septic site to the north limits the ability for the garage to be located further to the north. The applicant's existing garage is also a legal non-conforming structure, and the proposed setback, though an expansion of the area being encroached upon, is in-line with the existing setback of the structure.

The Planning Commission may find that the construction of a garage with a side yard setback encroachment of 1 foot 3.6 inches is not reasonable. If the Planning Commission finds this encroachment is not reasonable, the Commissioners shall determine a reason for this finding.

2. ***Uniqueness.*** *The plight of the landowner is due to circumstances unique to the property not created by the landowner. The uniqueness generally relates to the physical characteristics of the particular property.*

- A. The applicant's property is approximately 176 feet in length. The applicant is proposing to build the attached garage in front of the home is located 69 feet 8.4 inches from the front property line. The presence of the existing home and depth of the lot limit the buildable area in the front of the home. However, staff finds that the applicant could construct a garage with a length of 44 feet 8.4 inches without encroaching on the front setback requirement. There are no unique physical characteristics of the property which require the construction of a garage 19 feet 8.4 inches from the front property line along E Front Boulevard

The Planning Commission may find that there are unique characteristics of the property which justify a front yard setback encroachment of 5 feet 3.6 inches on the front property line for the construction of a new garage. If the Planning Commission finds that this encroachment is justified, the Commissioners shall determine a reason for this finding.

The Planning Commission may find that there are no unique characteristics on the property which justify a front yard setback encroachment of 5 feet 3.6 inches on the front property line for the construction of a new garage, as the property owner could reduce the length of the garage by 5 feet 3.6 inches to comply with the front setback requirement while still exceeding the minimum garage size requirement within the Code.

- B. The applicant's property is approximately 74 feet in width. The applicant is proposing the build the attached garage on the southern half of the parcel with a setback of 5 feet 8.4 inches from the southern property line. The property's septic area is located 13 feet 2.4

inches to the north of the proposed garage. The width of the proposed garage is 25 feet, one foot wider than the minimum garage width of 24 feet established in Section 22-7(B) of the Zoning Ordinance. The applicant is limited in his ability to construct a garage that meets the minimum garage width standard and complies with the property line and septic setbacks.

The Planning Commission may find that the width of the lot and location of the existing septic area are unique characteristics that limit the applicant's ability to construct a garage that meets the width required by the Zoning Ordinance and justifies a side yard setback encroachment of 1 foot 3.6 inches.

The Planning Commission may find that there are no unique characteristics that justify a side yard setback encroachment of 1 foot 3.6 inches. If the Planning Commission finds this encroachment is not justified due to the lack of unique characteristics on the property, the Commissioners shall determine a reason for this finding.

3. ***Character.*** *A variance would not alter the essential character of the neighborhood. This factor is used to consider whether the resulting structure or improvement will be out of scale, out of place, or otherwise inconsistent with the surrounding area.*

- A. Several of the properties on east side of East Front Boulevard have garages which encroach on the required 25-foot setback for properties in the Shoreland Overlay District of the Coon Lake Residential Zoning District. Of the nearest 10 properties on the east side of East Front Boulevard, 6 of the properties have garages located within 25 feet of the front property line, including the property to the north of the subject property which has a front yard setback of approximately 20 feet 4 inches. Several of these structures received variances or exist as legal non-conforming structures. These structures vary widely in the front yard setback distances, ranging approximately 20 feet 4 inches to approximately 1 foot 7 inches from the front property line. However, only one of these 6 garages is of a comparable length to the proposed garage.

The Planning Commission may find that a front yard setback of 19 feet 8.4 inches will not be out of scale, out of place, or otherwise inconsistent with the character of the neighborhood because several of the surrounding properties have garages located within the 25-foot front yard setback required by the Zoning Ordinance.

The Planning Commission may find that a front yard setback of 19 feet 8.4 inches will be out of scale, out of place, or otherwise inconsistent with the character of the neighborhood because the proposed garage has a significantly longer length than all but one of the surrounding garages that encroach on the front yard setback.

- B. Several of the properties on the east side of East Front Boulevard encroach on or nearly encroach on the required side yard setback of 7 feet for properties in the Coon Lake Residential Zoning District. The narrow lots and proximity to the lakeshore on these parcels limit the buildable area when accounting for the required front yard, side yard, shoreline, and septic setbacks. Many of the structures within this neighborhood have sought variances or exist as non-conforming structures.

The Planning Commission may find that a side yard setback of 5 feet 8.4 inches will not be out of scale, out of place, or otherwise inconsistent with the character of the

neighborhood because several of the surrounding properties have similar structure setbacks due to the narrowness of the lots and required septic setbacks.

The Planning Commission may find that a side yard setback of 5 feet 8.4 inches will be out of scale, out of place, or otherwise inconsistent with the character of the neighborhood. If the Planning Commission finds this encroachment does impact neighborhood character, the Commissioners shall determine a reason for this finding.

### **Summary**

To grant a variance, the applicant must demonstrate that the request meets all three of the tests for “practical difficulties” including reasonable use of the land, uniqueness of the land that is out of the control of the owner, and that the request would not alter the existing character of the neighborhood. The Planning Commission should evaluate the requests individually based on the application material, contents of the staff report, testimony from the public hearing, and discussion. If the Planning Commission finds one or more of the tests are not met, they must recommend denial of the variance to the City Council who ultimately makes the final decision. The Planning Commission may recommend one, both, or none of the variances.

Staff has provided findings of fact for both approval and denial of the variance requests in the staff report. A draft resolution for approval and denial has been provided and must be modified to reflect the findings of the Planning Commission.

### **Requested Action**

In consideration of the requests, the Planning Commission has the following options:

#### **A. Recommend Approval of Both Variances**

If the Planning Commission finds that all three parts of the practical difficulties test have been met by the applicant for both variances, the Planning Commission should recommend approval of the variance requests for the property located at 19511 East Front Boulevard NE. A draft resolution with findings of fact and conditions of approval has been included in the packet. The draft resolution may be modified to add conditions of approval.

#### **B. Recommend Denial of Both Variances**

If the Planning Commission finds that one or more parts of the practical difficulties test have not been met by the applicant for both variances, the Planning Commission may recommend denial of the variance requests for the property located at 19511 East Front Boulevard NE. A draft resolution with findings of fact has been included in the packet.

#### **C. Recommend Approval of One Variance and Denial of the Other**

If the Planning Commission finds that all three parts of the practical difficulties test have been met for one variance but not the other, the Planning Commission may recommend approval of one variance and denial of the other for property located at 19511 East Front Boulevard NE. The draft resolution may be modified to reflect this.

### **Attachments:**

1. Draft Resolution for Approval
2. Draft Resolution for Denial
3. Location Map
4. Site Survey dated October 27, 2025
5. Building Plans dated October 14, 2025
6. Practical Difficulties Statement by Applicant dated October 14, 2025

**CITY OF EAST BETHEL  
COUNTY OF ANOKA  
STATE OF MINNESOTA**

**RESOLUTION NO. 2025-XX**

A RESOLUTION **GRANTING** VARIANCES FROM APPENDIX A (ZONING) SECTION 51-7B OF THE CITY CODE FOR THE CONSTRUCTION OF AN ATTACHED GARAGE 19 FEET 8.4 INCHES FROM THE FRONT PROPERTY LINE AND 5 FEET 8.4 INCHES FROM THE SOUTH SIDE PROPERTY LINE ON PROPERTY LOCATED AT 19511 E FRONT BOULEVARD NE (PIN: 25-33-23-12-0003) LEGALLY DESCRIBED AS:

That part of Lot 2, AUDITOR'S SUBDIVISION NO. 123, Anoka County, Minnesota, described as follows:

Commencing at a point on the west line of said lot 75.83 feet North from the Southwest corner thereof, as measured along said West line and continuing thence North 74.74 feet; thence East and parallel with the South line of said Lot 2 to the shoreline of Coon Lake; thence southerly along said shoreline of said Coon lake to an intersection with a line extended East and parallel with said South line from the point of beginning; thence West and parallel with said South line to said point of beginning.

**WHEREAS**, the applicants, Joseph and Sheri Belchak, requested a variance to construct an attached garage 19 feet 8.4 inches from the front property line where a 25-foot setback is required, and;

**WHEREAS**, the applicants requested a variance to construct an attached garage 5 feet 8.4 inches from the southern side property line where a 7-foot setback is required, and;

**WHEREAS**, the Planning Commission held a public hearing on November 25, 2025 and recommended approval, and;

**WHEREAS**, the City finds the request for the front yard variance:

1. Is a reasonable request:
  - **Planning Commission to determine findings of fact for the front yard encroachment.**
2. Is due to circumstances unique to the property, not caused by the landowner;
  - **Planning Commission to determine findings of fact for the front yard encroachment.**
3. Will not have a negative effect on the character of the neighborhood;
  - Several of the properties to the north and south of the subject property have garages located within the required 25-foot front yard setback due to positioning of the principal structures per the required shoreland setback of 75 feet on lots abutting Coon Lake.

**WHEREAS**, the City finds the request for the side yard variance:

1. Is a reasonable request:
  - The applicant is limited in his ability to reduce the width of the garage due to the required garage width of 24 feet per Appendix A Section 22-7B of the City Code.
  - A portion of the applicant's existing garage is located 5 feet 8.4 inches from the southern side property line, the same distance as the proposed setback for the entire southern wall of the proposed structure
2. Is due to circumstances unique to the property, not caused by the landowner;
  - The applicant's property is approximately 74 feet in width with an existing septic site located 13 feet 2.4 inches north of the garage area. The applicant is limited in their ability to reduce the width of the garage due to Ordinance standards or locate the garage further north due to the required septic setback.
3. Will not have a negative effect on the character of the neighborhood;
  - Several of the properties to the north and south of the subject property have structures located within the required 7-foot side yard setback due to the narrow width of the lots within the neighborhood.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of East Bethel hereby approves variances from Appendix A (Zoning) Section 51-7b of the City Code for the construction of an attached garage 19 feet 8.4 inches from the front property line and 5 feet 8.4 inches from the southern side property line on property located at 19511 E Front Boulevard NE, subject to the following conditions:

1. A variance is approved for the construction of an attached garage 19 feet 8.4 inches from the front property line on property located at 19511 E Front Boulevard NE, in accordance with the survey and application received by the City on October 14, 2025 and additional information received on October 27, 2025 except as amended by this resolution.
2. A variance is approved for construction of an attached garage 5 feet 8.4 inches from the southern side property line on property located at 19511 E Front Boulevard NE, in accordance with the survey and application received by the City on October 14, 2025 and additional information received on October 27, 2025 except as amended by this resolution.
3. The applicant must obtain all required building permits from the City prior to construction of the proposed structure.

Adopted this 8th day of December, 2025 by the City Council of the City of East Bethel

CITY OF EAST BETHEL

ATTEST

---

Ardie Anderson, Mayor

---

Matt Look, City Administrator

**CITY OF EAST BETHEL  
COUNTY OF ANOKA  
STATE OF MINNESOTA**

**RESOLUTION NO. 2025-XX**

A RESOLUTION **DENYING** VARIANCES FROM APPENDIX A (ZONING) SECTION 51-7B OF THE CITY CODE FOR THE CONSTRUCTION OF AN ATTACHED GARAGE 19 FEET 8.4 INCHES FROM THE FRONT PROPERTY LINE AND 5 FEET 8.4 INCHES FROM THE SOUTH SIDE PROPERTY LINE ON PROPERTY LOCATED AT 19511 E FRONT BOULEVARD NE (PIN: 25-33-23-12-0003) LEGALLY DESCRIBED AS:

That part of Lot 2, AUDITOR'S SUBDIVISION NO. 123, Anoka County, Minnesota, described as follows:

Commencing at a point on the west line of said lot 75.83 feet North from the Southwest corner thereof, as measured along said West line and continuing thence North 74.74 feet; thence East and parallel with the South line of said Lot 2 to the shoreline of Coon Lake; thence southerly along said shoreline of said Coon lake to an intersection with a line extended East and parallel with said South line from the point of beginning; thence West and parallel with said South line to said point of beginning.

**WHEREAS**, the applicants, Joseph and Sheri Belchak, requested a variance to construct an attached garage 19 feet 8.4 inches from the front property line where a 25-foot setback is required, and;

**WHEREAS**, the applicants requested a variance to construct an attached garage 5 feet 8.4 inches from the southern side property line where a 7-foot setback is required, and;

**WHEREAS**, the Planning Commission held a public hearing on November 25, 2025 and recommended approval, and;

**WHEREAS**, the City finds the request for the front yard variance:

1. Is not a reasonable request:
  - The applicant could reduce the size of the proposed garage by 5 feet 3.6 inches to comply with the required front yard setback while still exceeding the minimum required garage size and depth established in Section 22-7B of the Zoning Ordinance.
2. Is not due to circumstances unique to the property, not caused by the landowner;
  - The applicant's home is located 69 feet 8.4 inches from the front property line. When accounting for the required front yard setback of 25-feet, the applicant still has a buildable area with a depth of 44 feet 8.4 inches in front of the home to construct a garage that still exceeds the minimum garage size required by City Code.

3. Will have a negative effect on the character of the neighborhood;
  - The depth of the proposed structure is significantly longer than that of the garages on all but one of the surrounding properties.

**WHEREAS**, the City finds the request for the side yard variance:

1. Is not a reasonable request:
  - **Planning Commission to determine findings of fact for denial of the side yard setback variance.**
2. Is not due to circumstances unique to the property, not caused by the landowner;
  - **Planning Commission to determine findings of fact for denial of the side yard setback variance.**
3. Will have a negative effect on the character of the neighborhood;
  - **Planning Commission to determine findings of fact for denial of the side yard setback variance.**

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of East Bethel hereby denies a variances from Appendix A (Zoning) Section 51-7b of the City Code for the construction of an attached garage 19 feet 8.4 inches from the front property line and 5 feet 8.4 inches from the southern side property line on property located at 19511 E Front Boulevard NE, based on the findings in this resolution.

Adopted this 8<sup>th</sup> day of December, 2025 by the City Council of the City of East Bethel.

CITY OF EAST BETHEL

ATTEST

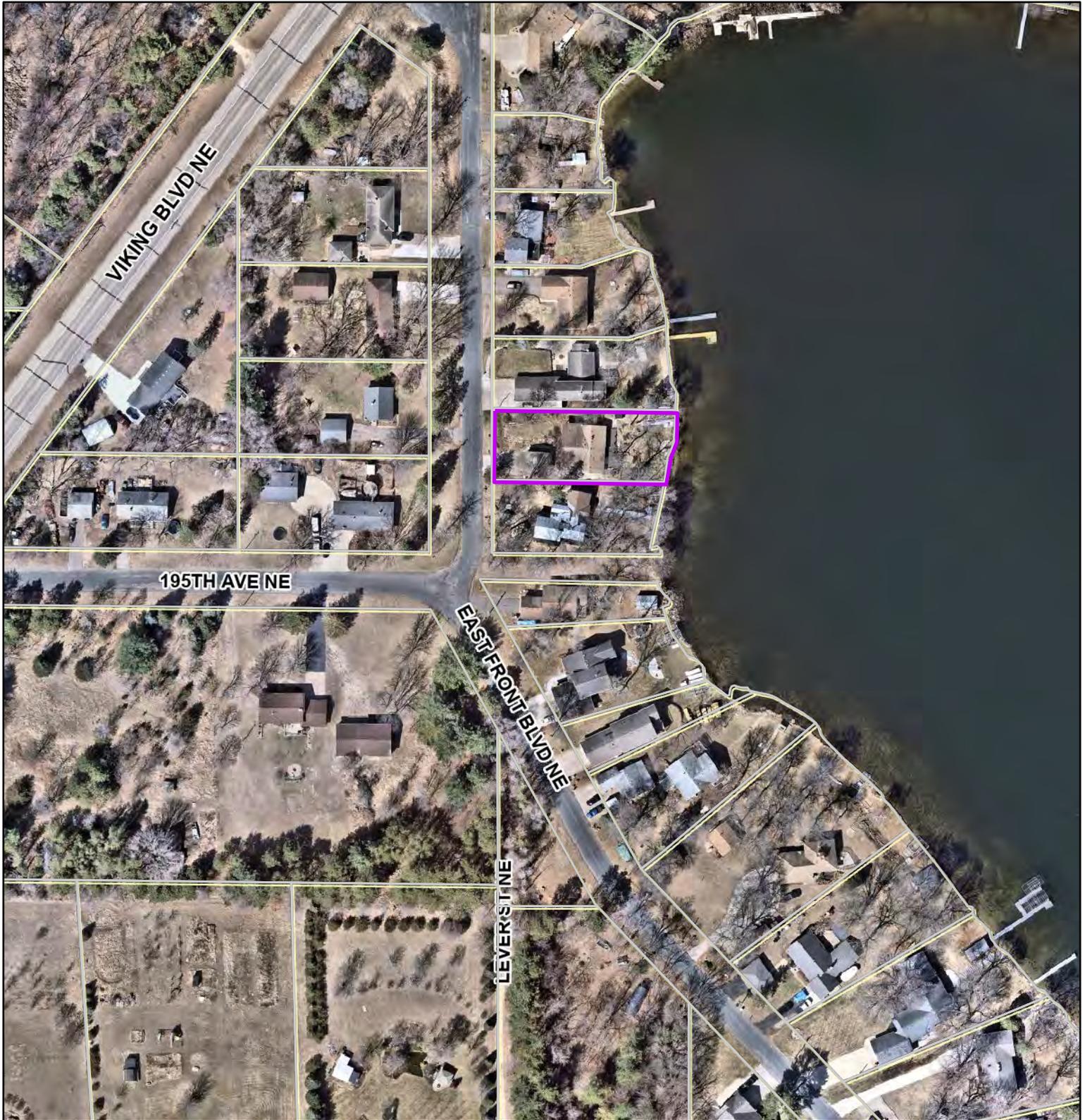
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Ardie Anderson, Mayor

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Matt Look, City Administrator

# 19511 East Front Blvd NE



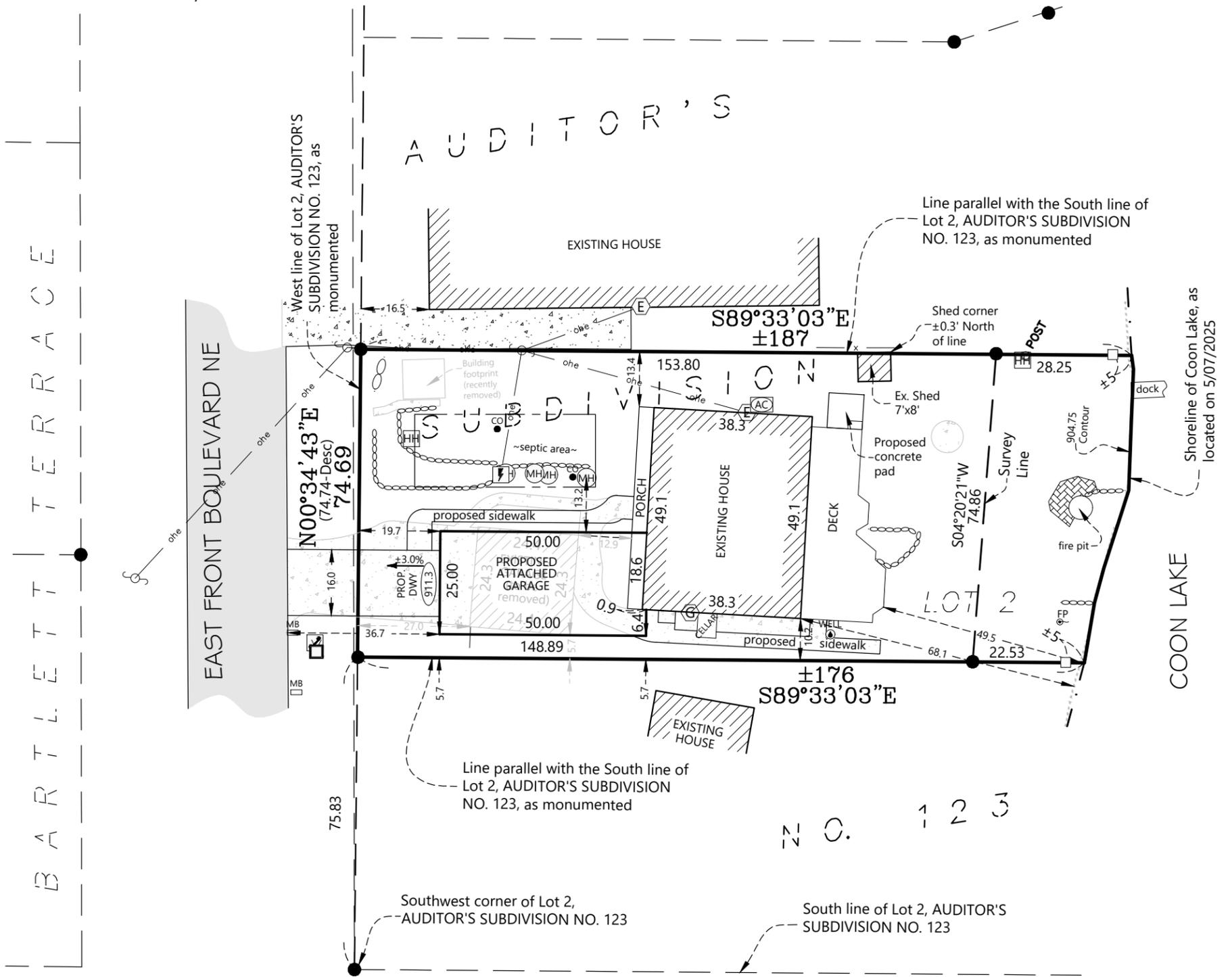
-  Parcels
-  City Mask

1 inch equals 200 feet



# CERTIFICATE OF SURVEY

FOR: JOE BELCHAK  
 OF: 19511 EAST FRONT BOULEVARD NE,  
 EAST BETHEL, MINNESOTA



## PARCEL DESCRIPTION:

(Anoka County Tax Records)

That part of Lot 2, AUDITOR'S SUBDIVISION NO. 123, Anoka County, Minnesota, described as follows:

Commencing at a point on the West line of said Lot 75.83 feet North from the Southwest corner thereof, as measured along said West line and continuing thence North 74.74 feet; thence East and parallel with the South line of said Lot 2 to the shoreline of Coon Lake; thence southerly along said shoreline of said Coon Lake to an intersection with a line extended East and parallel with said South line from the point of beginning; thence West and parallel with said South line to said point of beginning.

## NOTES:

- The fieldwork was completed by Northwind Land Surveying, LLC on 5/07/2025.
- Parcel Identification No. 25-33-23-12-0003
- Bearings shown hereon are in reference to the Anoka County Coordinate System.
- This survey was prepared without the benefit of a title commitment. The surveyed parcel may be subject to additional easements, covenants, restrictions or matters other than those shown hereon. This survey is subject to revision upon receipt and review of a title commitment.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota.

Signed: Northwind Land Surveying, LLC

By: *Kevin C. McCain*

Kevin C. McCain, Lic. No. 58542

Date: 5/20/2025



**NORTHWIND  
 LAND SURVEYING, LLC**

11876 EVERGREEN CIRCLE NW  
 COON RAPIDS, MN 55448  
 TEL 612-718-1698  
 WWW.NORTHWINDLS.COM

## LEGEND

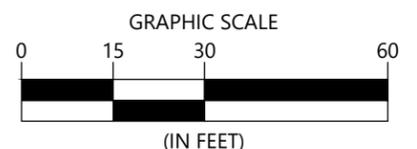
- Denotes Found Iron Monument
- Denotes Set Metal Spike
- Denotes Cleanout
- ⊕ Denotes Power Pole
- ⊗ Denotes Gas Meter
- ⊙ Denotes Electric Meter
- ⊕ Denotes Well
- ⊕ Denotes Mailbox
- ⊕ Denotes Flag Pole
- ⊕ Denotes TV Box
- ⊕ Denotes Electric Box
- ⊕ Denotes Telephone Box
- ⊕ Denotes Handhole
- ⊕ Denotes Air Conditioner
- ⊕ Denotes Septic Manhole
- ⊕ Denotes Bituminous Surface
- ⊕ Denotes Concrete Surface
- ⊕ Denotes Concrete To Be Removed
- ⊕ Denotes Paver Surface
- ohe Denotes Overhead Utility Line
- Denotes Retaining Wall
- x Denotes Existing Fence
- x 900.0 Denotes Proposed Elevation
- Denotes Direction of Drainage

## EXISTING IMPERVIOUS SURFACE

Total Lot Area (to ordinary high water)	±13,659 sq.ft.
House, Cellar Door, and Porch Area	±2,087 sq.ft.
Garage Area	±593 sq.ft.
Shed Area	±54 sq.ft.
Concrete Area	±1,453 sq.ft.
Paver Area	±66 sq.ft.
Total Impervious	±4,253 sq.ft.
Percent Impervious	±31.1%

## PROPOSED IMPERVIOUS SURFACE

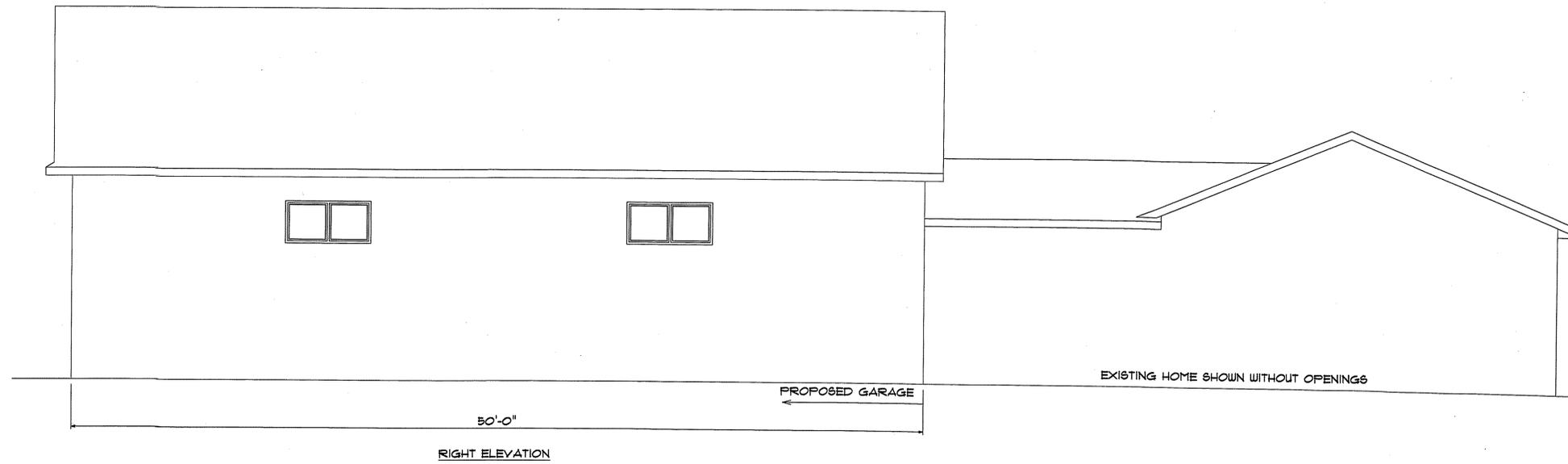
Total Lot Area (to ordinary high water)	±13,659 sq.ft.
Existing House, Cellar Door, and Porch Area	±2,019 sq.ft.
Existing Shed	±54 sq.ft.
Proposed Garage Area	±1,241 sq.ft.
Proposed Driveway Area (to right of way line)	±316 sq.ft.
Proposed Concrete Pad	±72 sq.ft.
Proposed Sidewalk	±445 sq.ft.
Existing Paver Area	±66 sq.ft.
Total Impervious	±4,213 sq.ft.
Percent Impervious	±30.8%



## BENCHMARK

Anoka County Benchmark No. 2042  
 Elevation: 907.54 Ft. (NGVD 29)

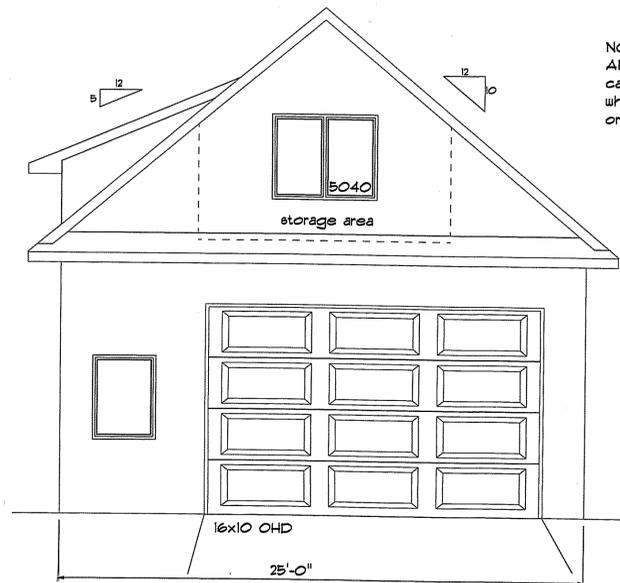
Date	Revision	By
6/02/25	Per City Comment	KCM
8/15/25	Per Client Comments	KCM
8/22/25	Proposed garage, driveway, sidewalk, impervious surface chart	KCM
9/29/25	New garage plans, update impervious surface chart	KCM
10/27/25	Revise impervious surface chart	KCM



NOTE:  
 roof pitch 8:12 W'  
 1'-6" soffits  
 1'-0" O.H. gable ends  
 verify siding scheme

NOTE:  
 contractor to verify all notes,  
 conditions, and dimensions, and  
 be responsible for the same.

**Belchak**

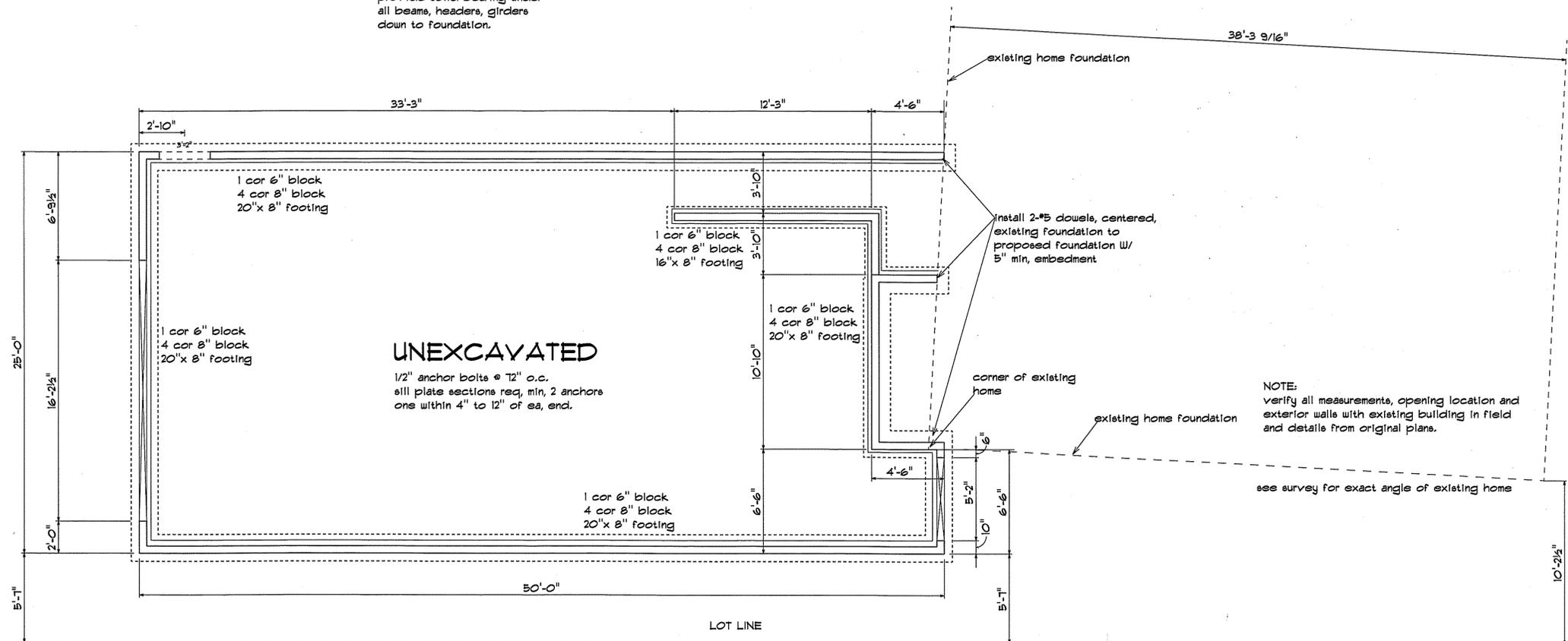


NOTE:  
 All openings to exterior must be  
 caulked & flashed, Flashing is req.  
 where all roof & vertical surfaces meet  
 or where siding material changes.

Due to various site conditions  
 of individual lots, the grade lines  
 represented by this print are for  
 illustrative purposes only.  
 They do not reflect actual  
 finished grade

**FRONT ELEVATION** proposed  
 preliminary

NOTE:  
provide solid bearing under  
all beams, headers, girders  
down to foundation.

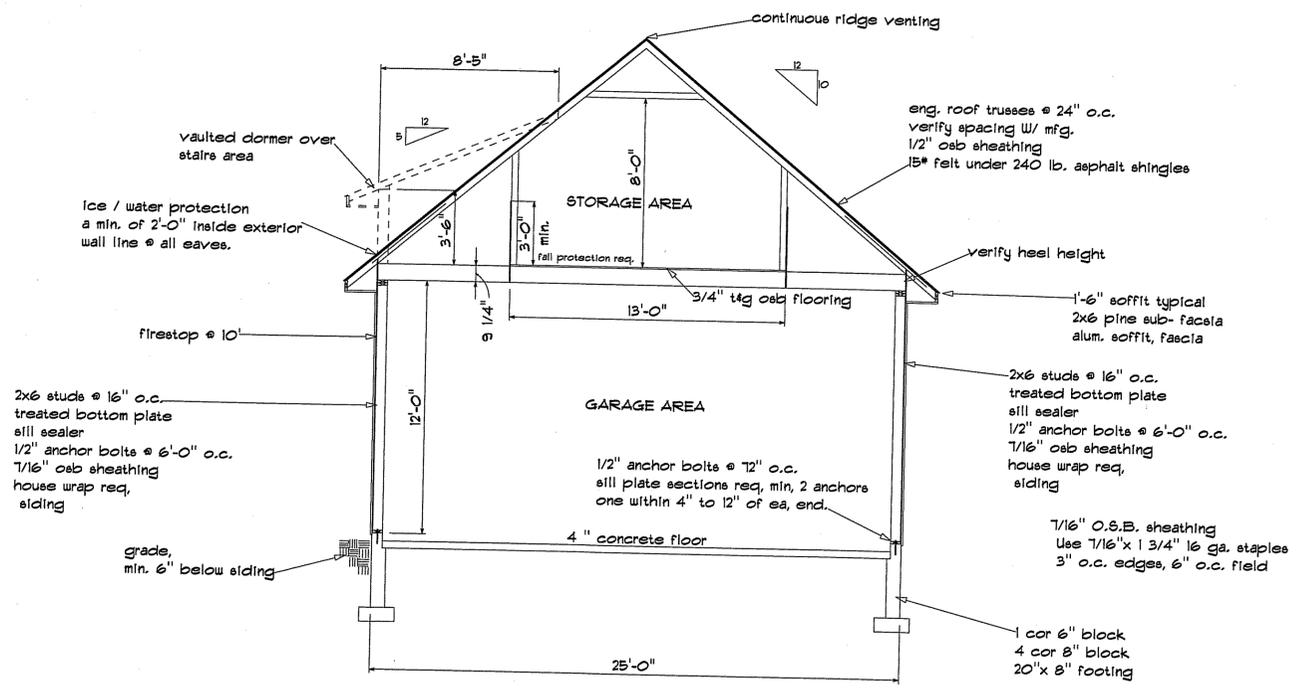
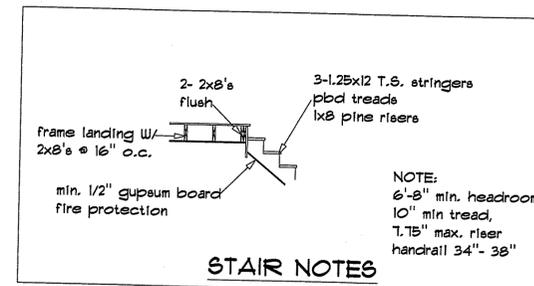


NOTE:  
contractor to verify all notes,  
conditions, and dimensions, and  
be responsible for the same.

Belchak

FOUNDATION PLAN proposed  
preliminary





Belchak

**SECTION**  
preliminary

**Hardship Variance Request Letter**

**Joe Belchak**  
**19511 East Front Boulevard**  
**East Bethel, MN 55092**



**October 14<sup>th</sup>, 2025**

**City of East Bethel Planning Commission**  
**2241 221<sup>st</sup> Avenue**  
**East Bethel, MN 55011**

**Subject: Hardship Variance Request for Front Setback at 19511 East Front Boulevard East Bethel, MN 55092**

Dear Members of the East Bethel Planning Commission,

This letter is a formal request for a hardship variance to reduce the front yard setback requirement from the Current Setback Requirement of 25 feet to the Proposed Setback of 20 feet for my property located at **19511 East Front Boulevard**, Tax Parcel ID: **25-33-23-12-003**.

The purpose of this variance is to allow the construction of a **garage addition** attached to the existing principal structure.

**Statement of Hardship: Unique Property Conditions**

The strict application of the current front setback ordinance creates an undue hardship on my property due to the following unique physical and environmental conditions:

1. **Unique Topography and Property Shape:** My lakeshore property is not distinct from neighboring parcels. The lot's narrow width, combined with the required lakefront setback, creates a severely limited buildable area. The lot is only 74.69 feet wide, and with the location of the homes septic system with allowable setbacks taking up 47' feet of that area the remaining buildable footprint is not practical for any meaningful expansion. We would have a total width for any structure maximized at 28' in width. The width of 28' would not allow for a 3-stall wide garage that would adequately accommodate the storage of 2 automobiles and the amenities common to lake shore properties.
2. **Lakeshore Setback Restrictions:** As a lakeshore property, we are subject to strict environmental regulations governed by the Minnesota Department of Natural Resources and the Coon Creek Water Shed District. The mandatory rear setback from the Ordinary

High-Water Level (OHWL) significantly restricts construction toward the lake, forcing any potential expansion toward the rear of the property.

3. **Existing Non-Conforming Features:** The existing home was built in 1959 under different zoning rules, and its current placement is already non-conforming relative to the modern setback standards. To expand the home in any direction other than the front would require demolishing and rebuilding a significant portion of the house, an unreasonable and unnecessary burden.
4. **No Feasible Alternatives:** All other options for expanding my home have been explored and deemed impractical or impossible due to the combination of setbacks and the location of the septic system. The expansion to the side is prevented by the current allowed 5'7" side yard setback requirements, and the rear is area entirely restricted by the lakeshore rules. The requested variance is the minimum relief necessary to achieve reasonable use of the property.

### **Addressing Variance Criteria**

In accordance with local zoning regulations, I can confirm that this variance request meets the necessary criteria:

- **Hardship is not Self-Created:** The unique shape and topography of the lot, along with the environmental restrictions of the lakeshore, are conditions inherent to the property itself and were not created by me or any previous owner.
- **Minimal Variance Requested:** The requested reduction is the absolute minimum required to complete the proposed structure. The plan maintains as much of the front setback as possible while providing the necessary expansion for reasonable use of the property. We are requesting the set back at just under 20' which is a much greater distance than many of our neighboring properties have. ( See attached Anoka County GIS map with neighboring property lot line set backs labeled in feet with bold black numbers.)
- **No Adverse Impact on Public Good:** The proposed structure will not negatively affect neighboring properties or character of the neighborhood. The addition will also be consistent in height and architectural style with the existing home and surrounding properties. Many of the neighboring properties are located inside the allowable front set back, that we are requesting. (See photos of neighboring properties and GIS location map attached)

### **Conclusion**

We are seeking this variance to make a modest, yet essential, improvement to our home that cannot be accomplished under the current setback rules. The unique conditions of our lakeshore

lot present a clear hardship, and the requested variance offers the most practical and aesthetically harmonious solution.

We have included all necessary documentation, including a site plan and architectural drawings. We are also happy to provide letters of support from our neighbors if required. We respectfully request that the Board consider our application favorably and grant the requested variance.

Thank you for your time and consideration.

Sincerely, *Joe Belchak*

Joe Belchak





**City of East Bethel  
Planning Commission Meeting  
Agenda Item Information**



**Meeting Date:** November 25, 2025

**Agenda Item Number:** 8

**Request: PUBLIC HEARING.** Consider a Conditional Use Permit (CUP) for a Lower-Potency Hemp Edible Retailer located at 18429 Highway 65 NE (City file 25-034).

**Review Deadline:** December 27, 2025

**Background/Context**

On October 28, 2025, staff received a complete application from Ramadan Hussein for a CUP to allow the operation of a lower-potency hemp edible retailer located at The Smoke Saloon, 18429 Highway 65 NE (PIN #32-33-23-42-0008). City Code Appendix A, Section 1-9 defines lower-potency hemp edible (LPHE) retailer as: "A hemp business that sells lower-potency hemp edibles to customers, including on-site consumption, pursuant to Minn. Stats. § 342-46".

The applicant is proposing to operate a LPHE retailer out of the Smoke Saloon, an existing business which holds a Cannabis Edibles License from the City of East Bethel. This license will expire on December 31, 2025. During the 2025 legislative session, Minn. Stats. § 342-46 was established to require all cannabis and LPHE licensing to be performed by the Office of Cannabis Management (OCM) instead of the local government unit (LGU). To obtain a license from the OCM, the LGU must verify that the business complies with the local Zoning Ordinance. City Ordinance 2024-05 established Lower Potency Hemp Edible Retailer as a Conditional Use within the B-3 Zoning District. To obtain a LPHE license from the OCM, the business must first receive a CUP to allow the proposed use on the property.

This property is guided Commercial and zoned B-3 – Highway Commercial. The properties to the north and south are guided and zoned the same. The properties to the east are guided Mixed Use and zoned MXU – Mixed Use. Highway 65 borders the western side of the property. Per City Code Appendix A, Section 47, "Lower-Potency Hemp Edible Retailer" requires a CUP within the B-3 – Highway Commercial Zoning District.

**Analysis**

When reviewing a Conditional Use Permit, the City's discretion is limited to whether the CUP meets the standards outlined in the Appendix A Section 4-9(D) of the City Code. If it does, the City must approve the CUP.

"Lower-Potency Hemp Edible Retailer" is a conditional use within the B-3 Zoning District. According to the Office of Cannabis Management, "Lower-potency hemp edible retailers can sell packaged lower-potency hemp edibles to consumers aged 21 years of age and older. Lower-potency hemp edible retailers may deliver lower-potency hemp edibles to consumers 21 years of age and older with applicable endorsement". Minn. Stats. § 342-46 Subd. 7(3) prohibits LPHE retailers from selling or delivering cannabis flower, cannabis product, or hemp-derived consumer products excluding edible products.

Currently, this business operates as a LPHE retailer under a license issued by the City prior to the changes to cannabis and hemp regulations established during the 2025 legislative session.

The Planning Commission should evaluate the request for compliance with the general CUP ordinance standards in Section 4-9(D) of the Zoning Ordinance:

1) *The planning commission shall consider if the proposed use is consistent with the general purpose and intent of this chapter and the comprehensive plan. Its judgment shall be based upon, but not limited to, the following:*

*a) The impact of the proposed use on the health, safety, and general welfare of the occupants of the surrounding lands;*

The CUP will have a limited impact on the health, safety, and general welfare of the occupants of surrounding land. This business currently operates as an LPHE retailer and has previously obtained licensure from the City for the use. The applicant's narrative describes product safety and security, staff training, inventory management, and age verification rules in line with the standards established under Minn. Stats. § 342-46. Review by the Sheriff's Office and East Bethel Fire Department has not highlighted any concerns over the continuation of this use.

To mitigate the impact of the proposed use on the health, safety, and general welfare of the surrounding lands, the business shall operate under the standards for hemp businesses established in Section 30 of the City Zoning Ordinance (Attachment 4). This has been included as a condition of approval. Chapter 18, Article IX of the City Code also requires LPHE retailers to register with the City and pass a compliance check conducted by the City. This has been added as a condition of approval.

*b) Existing and anticipated traffic conditions, including parking facilities on adjacent streets and lands;*

The applicant is not proposing any alterations to the site with the continuation of this use. The City is unaware of any traffic or parking issues associated with this use under current conditions.

*c) The effect of the proposed use on public utilities;*

This site is connected to City sewer and water. The continuation of this use is unlikely to cause any new impacts.

*d) The effect of the proposed use on property values;*

This business currently operates as a LPHE retailer and tobacco retailer. The continuation of this use is unlikely to have significant impacts on the surrounding property values.

*e) The effect of the proposed use on the comprehensive plan;*

This property is guided Commercial. This is a compatible use within the last use designation.

*f) The ability of the proposed use to meet the standards of this chapter;*

The applicant is not requesting any variances pertaining to the operation of this site. A CUP would allow this business to continue operations while meeting the standards within the Code for this use within this zoning district.

This business currently has one unpermitted free-standing sign. All unpermitted signage on the property must be removed or obtain a sign permit issued by the City within 30 days of the adoption of the resolution authorizing the CUP. This has been added as a condition of approval. This business also has at least one illuminated interior window sign which violate the standards established within Section 30-5 of the Zoning Code regulating signage for cannabis and hemp businesses. This section of Code states, "No products, interior signage, advertisements, or like attention getting items shall be placed or displayed that may be visible from the exterior of the cannabis business or hemp business". All non-permitted interior signage visible from the

exterior the building must be removed within 30 days of the adoption of the resolution authorizing the CUP. This has been added as a condition of approval.

*g) The results of a market feasibility study, if requested by the city, when the purpose for which the conditional use is being requested relies on a business market for its success;*  
N/A.

*h) The effects of the proposed use on groundwater, surface water, and air quality;*  
The applicant is not proposing any alterations to the site. This use should not have an impact on groundwater, surface water, or air quality.

*i) The proposed use is allowed with a CUP or IUP in the zoning district in which it is proposed;*  
*and*  
Section 47-4 of the Zoning Code lists “Lower-Potency Hemp Edible Retailer” as a conditional use within the B-3 Zoning District.

*j) The effect of the proposed use on natural resources.*  
The applicant is not proposing any alterations to the site, and the continuation of this use should have no impact on natural resources.

### **Summary**

The application for a CUP to allow the operation of a LPHE retailer located at 18429 Highway 65 NE requires a public hearing and review by the Planning Commission and City Council. This business currently operates as a tobacco business and LPHE retailer with a license from the City. Due to Ordinance 2024-05, a CUP is now required for this type of business within the B-3 zoning district. If the proposed use meets the standards established within Section 4-9(D) of the Zoning Ordinance, the City must approve the request. An analysis of the CUP standards has been provided. Any LPHE business which operates on this property will be required to comply with the standards for hemp businesses established in Section 30 of the City Zoning Ordinance along with all local, state, and federal regulations for the operation of this type of business.

Staff has prepared a resolution of approval with conditions recommend by staff. The Planning Commission may recommend additional conditions of approval. A resolution for denial can be prepared at the recommendation of the Planning Commission.

### **Requested Action**

In consideration of the request, the Planning Commission has the following options:

#### **A. Recommend Approval**

Based on the contents of this report, public testimony, and other evidence available to the Planning Commission, the Planning Commission should recommend approval of the request for a CUP for a Lower-Potency hemp edible retailer located at 18429 Highway 65 NE. A draft Resolution has been provided for approval and may be modified to reflect the recommendation of the Planning Commission.

#### **B. Recommend Denial**

Based on the contents of this report, public testimony, and other evidence available to the Planning Commission, the Planning Commission could recommend denial of the CUP.

- This option should be utilized if the Planning Commission can specifically identify one or more provisions of City Code that are not being met by the request. The Planning Commission should provide findings of fact for denial.

### **Attachments:**

1. Draft Resolution of Approval

2. Location Map
3. Narrative Dated October 27, 2025
4. City Code Appendix A, Section 30: Cannabis Business and Hemp Business Operations
5. City Code Chapter 18 Article IX: Registration of Cannabis and Hemp Business

**CITY OF EAST BETHEL  
COUNTY OF ANOKA  
STATE OF MINNESOTA**

**RESOLUTION NO. 2025-XX**

A RESOLUTION **GRANTING** A CONDITIONAL USE PERMIT FOR A LOWER-POTENCY HEMP EDIBLE RETAILER LOCATED ON A PROPERTY LOCATED AT 18429 HIGHWAY 65 NE (PIN 32-33-23-42-0008) LEGALLY DESCRIBED AS:

That part of the Northwest Quarter of Southeast Quarter of Section 32, Township 33 North, Range 23 West, Anoka County, Minnesota described as follows:

Beginning at the South Quarter corner, Section 32, North 4 degrees, 05. minutes, 15 seconds West, 2064.7 feet to a point on North South Quarter line, Section 32, thence Easterly South 89 degrees, 03 minutes, 45 seconds East a distance of 255.8 feet to a point 30 feet East of Westerly right of way line Trunk Highway No. 65, then South on a line parallel and 30 feet East of the Westerly right of way line Trunk Highway No. 65 North 4 degrees, 06 minutes, 30 seconds West a distance of 165 feet to point of beginning, thence South 480 feet, more or less, to centerline of Co. Ditch 28, then South 67 degrees, 26 minutes, 24 seconds East Southeasterly a distance of 112 feet, more or less, along centerline of Co. Ditch 28, thence Northerly a distance of 518 feet, more or less, along centerline Co. Ditch 28, then Westerly South 89 degrees, 03 minutes, 45 seconds East a distance of 241 feet, more or less, to point of beginning.

**WHEREAS**, Ramadan Hussein, the owner of Route 65 Inc. DBA The Smoke Saloon, with permission from David C Carlson, owner of property PIN 32-33-23-42-0008, has applied for a conditional use permit to operate a Lower-Potency Hemp Edible Retailer on the above described property; and

**WHEREAS**, the East Bethel Review Committee has reviewed the plans and provided comments; and

**WHEREAS**, the Planning Commission held a public hearing on November 25, 2025; and

**WHEREAS**, the Planning Commission finds:

1. This property is zoned (B-3) Highway Commercial and “Lower-Potency Hemp Edible Retailer” is allowed as a Conditional Use within this zoning district.
2. The business currently operates as a Lower-Potency Hemp Edible Retailer on this property and holds a license issued by the City of East Bethel, expiring December 31, 2025.
3. The application submitted on October 28, 2025 complies with the general Conditional Use Permit (CUP) standards in Section 4, Subd. 9. (D) of the Zoning Ordinance, as outlined in the November 25, 2025 Planning Commission report, except as amended below.

**WHEREAS**, the Planning Commission recommends approval of the Conditional Use Permit to the City Council.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of East Bethel hereby approves the conditional use permit for the property located at PIN 32-33-23-42-0008, subject to the following conditions:

1. A Conditional Use Permit is granted to allow the operation of a Lower-Potency Hemp Edible Retailer at 18429 Highway 65 NE.
2. The Lower-Potency Hemp Edible Retailer shall comply with the standards for the operation of a hemp business established in Appendix A, Section 30 of the City Code.
3. The Lower-Potency Hemp Edible Retailer shall comply with the registration requirements for a Lower-Potency Hemp Edible Retailer established in Chapter 18, Article IX of the City Code.
4. The Lower-Potency Hemp Edible Retailer shall comply with Minn. Stats. § 342-46.
5. The Lower-Potency Hemp Edible Retailer shall obtain a license from the Office of Cannabis Management in compliance with standards established in Minn. Stats. § 342-46.
6. The Lower-Potency Hemp Edible Retailer shall comply with all local, state, and federal regulations pertaining to the operation of a hemp business of this type.
7. Signage shall comply with the standards in Appendix A Section 30 of the City Code.
8. The applicant shall remove all non-permitted signage from the property within 30 days of the adoption of this Resolution.
9. Any expansion of this use shall require a Conditional Use Permit Amendment.

Adopted this 8<sup>th</sup> day of December, 2025 by the City Council of the City of East Bethel.

CITY OF EAST BETHEL

ATTEST

---

Ardie Anderson, Mayor

---

Matt Look, City Administrator

# Lower-Potency Hemp Edible Retailer CUP



-  Parcels
-  City Mask

1 inch equals 279 feet



**Route 65 Inc. DBA The Smoke Saloon**

**18429 Hwy 65 NE, East Bethel, MN 55011**

## **LPHE Operations Plan**

**Presented to the City of East Bethel**

### **1. Product Storage and Security**

- LPHE products are stored at least 6 inches above the floor on wall-mounted shelves or secured display cases.
- Products are packaged in vacuum-sealed containers or airtight, UV-protected glass jars organized by type or batch number in a designated LPHE-only storage area.
- LPHE liquids are stored in a dedicated refrigerator or cooler.
- On the sales floor, non-beverage LPHE products are secured behind the counter or in locked display cases.

### **2. Security Systems**

- Professionally installed alarm system, including a panic button.
- Security cameras monitor all interior and exterior areas for compliance and safety.

### **3. Inventory Management**

- Secure software tracks LPHE inventory from receipt to sale or disposal.
- Each batch is assigned a unique SKU or tracking number, with supplier details, receipt date, and batch/lot numbers recorded.
- Real-time tracking ensures full chain-of-custody oversight.

### **4. Staff Training Protocols**

Mandatory initial and annual training includes:

- LPHE regulations, storage, and authorized sales hours (10:00 a.m. – 10:00 p.m.).
- ID verification procedures using the POS system.
- Recognition of intoxication and service refusal protocols.
- Security system operation and emergency response procedures.
- Accurate inventory logging and secure product handling.

Training completion is documented with signed employee acknowledgments, maintained in personnel files.

#### **5. Age Verification, Sales Restrictions, and On-Site Rules**

- LPHE sales are permitted **only between 10:00 a.m. and 10:00 p.m.**
- Access and purchases are restricted to individuals aged 21 and older.
- Prominent “21+ Only” signage is displayed at the entrance and inside.
- Valid government-issued photo ID is scanned and verified through the POS system for every LPHE transaction.
- Staff are trained to authenticate IDs, identify signs of intoxication, and refuse service when necessary.
- **On-site consumption of LPHE products is strictly prohibited.**

**Presented by:**

**Ramadan Hussein**

**Owner/Manager**



10/27/2025

## SECTION 30. - CANNABIS BUSINESS AND HEMP BUSINESS OPERATIONS

### 1. - Minimum buffer requirements.

A. The operation of a cannabis business is prohibited within:

- 1) One thousand feet of a school property line;
- 2) Five hundred feet of a day care principal building;
- 3) Five hundred feet of a residential treatment facility;
- 4) Five hundred feet of an attraction within a public park that is regularly used by minors, including a playground or athletic field; and
- 5) One thousand feet from another cannabis business.

As measured in a straight line from the closest part of the building or actual leased space of the cannabis business use-principal to the property line of the school, the closet part of the principal day care building, residential treatment facility and/or attraction within a public park.

B. A cannabis event is exempt from 30.1.A restrictions.

### 2. - Noise.

There shall be no noise carrying beyond a lot upon which a business is located, except for normal car and pedestrian activity.

### 3. - Odor.

Cannabis businesses and hemp businesses shall be ventilated so that all odors cannot be detected by a person with a normal sense of smell at the exterior of the facility or at any adjoining use or property; they shall not produce noxious or dangerous gases or odors or otherwise create a danger to any person or entity in or near the facilities.

### 4. - Hours of operation.

Cannabis businesses are limited to retail sale of cannabis, cannabis flower, cannabis products, lower-potency hemp edibles, or hemp-derived consumer products between the hours of 10:00 a.m. and 9:00 p.m., seven days a week.

Lower-potency hemp edible retailers are prohibited from conducting the retail sale of lower-potency hemp edibles, or hemp-derived consumer products for off-site consumption between the hours of:

- A. On Sundays, except between the hours of 11:00 a.m. and 6:00 p.m.;
- B. Before 8:00 a.m. or after 10:00 p.m. on Monday through Saturday;

- C. On Thanksgiving Day;
- D. On Christmas Day, December 25; or
- E. After 8:00 p.m. on Christmas Eve, December 24.

Lower-potency hemp edible retailers are prohibited from conducting the retail sale of lower-potency hemp edibles, or hemp-derived consumer products for on-site consumption between the hours of:

- A. Between 2:00 a.m. and 8:00 a.m. on the days of Monday through Saturday;
- B. After 2:00 a.m. on Sundays, except for a restaurant, club, bowling center, or hotel with a seating capacity for at least 30 persons and which holds an on-sale intoxicating liquor license may sell intoxicating liquor for consumption on the premises in conjunction with the sale of food between the hours of 8:00 a.m. on Sundays and 2:00 a.m. on Mondays.

#### 5. - Signs.

Cannabis business and hemp businesses are subject to Section 54-7—54-10 regulation of freestanding signs and are permitted one wall sign subject to the maximum size and heights of applicable sections; all other signs are prohibited. Signs shall only contain words and shall not contain depict a cannabis flower, cannabis product, hemp edibles, hemp derived edible consumer product or any other logo, picture, image, or symbol intended to denote or suggest cannabis, hemp, or related paraphernalia. Additionally, a business logo containing the above depictions shall not be displayed as part of any exterior signage. No products, interior signage, advertisements, or like attention getting items shall be placed or displayed that may be visible from the exterior of the cannabis business or hemp business. this section shall apply to any and all signs including temporary, sandwich boards, etc.

#### 6. - Lighting.

All lighting shall be shielded and angled in such a way as to prevent light from spilling outside of the boundaries of the parcel(s) or premises or directly focusing on any surrounding uses.

#### 7. - Security.

Any security bars, gates or grills shall be retractable, shall remain open and retracted when the cannabis or hemp business is open to the public or otherwise in operation and shall not be installed on the exterior of the building.

#### 8. - Outdoor use.

All uses and activity shall be conducted indoors, with no storage or activity allowed.

(Ord. No. 2024-05, § 3, 12-3-24)

## ARTICLE IX. - REGISTRATION OF CANNABIS AND HEMP BUSINESSES

### Sec. 18-403. - Registration of cannabis businesses and hemp businesses.

No individual or entity may operate a cannabis retailer business or lower-potency hemp edible retailer business without first registering with the city.

Any cannabis retailer business or lower-potency hemp edible retailer business that sells to a customer or patient without valid retail registration shall incur a civil penalty of up to \$2,000.00 for each violation.

(Ord. No. 2024-05, § 21, 12-3-24)

### Sec. 18-404. - Compliance checks prior to retail registration.

Prior to issuance of a registration, the city shall conduct a preliminary compliance check to ensure compliance with local ordinances.

(Ord. No. 2024-05, § 21, 12-3-24)

### Sec. 18-405. - Registration and application procedure.

#### (a) *Fees.*

- (1) A registration fee, as established in the city's fee schedule shall be charged to applicants depending on the type of business license applied for.
- (2) The renewal registration fee shall be charged at the time of the second renewal and each subsequent renewal thereafter.

#### (b) *Application submittal.*

- (1) A registration shall be issued to a cannabis retailer business or lower-potency hemp edible retailer business that adheres to the requirements of Minn. Stats. § 342.22.
- (2) An applicant for a registration shall fill out an application form. The application for a license under this subsection shall be made on a form supplied by the city clerk, said form shall include, but is not limited to:
  - a. Full name of the property owner and applicant;
  - b. Address, email address, and telephone number of the applicant;
  - c. The address and parcel ID for the property which the retail registration is sought;
  - d. Certification that the applicant complies with the requirements of local ordinances established pursuant to Minn. Stats. § 342.13.
  - e. Such other information as the city shall require.

- (3) The applicant shall include with the form:
  - a. The application fee as required in Section 1413.06.A;
  - b. A copy of a valid state license or written notice of OCM license preapproval;
  - c. Such other information as the city shall require.
- (4) Once an application is considered complete, the city clerk shall inform the applicant as such, process the application fees, and forward the application to the city council for approval or denial.
- (5) The registration fee shall be non-refundable once processed.

(c) *Application approval.*

- (1) An application shall not be approved or renewed if the applicant is unable to meet the requirements of this article.
- (2) An application that meets the requirements of this article shall be approved.

(d) *Annual compliance checks.*

- (1) The police department shall complete compliance checks pursuant to Minn. Stats. § 342.22 subd. 4(b) and Minn. Stats. § 342.24.

(e) *Location change.* A cannabis retailer business or lower-potency hemp edible retailer business shall be required to submit a new application for registration under Section 1413.06.B if it seeks to move to a new location still within the legal boundaries of the city.

(f) *Renewal of registration.*

- (1) An annual registration of a cannabis retailer business or lower-potency hemp edible retailer business shall be renewed at the same time OCM renews the cannabis retailer business or lower-potency hemp edible retailer business' license.
- (2) A cannabis retailer business or lower-potency hemp edible retailer business shall apply to renew registration on a form supplied by the city clerk.
- (3) A registration issued under this article shall not be transferred.

(g) *Renewal fees.*

- (1) A renewal fee, as established in the city's fee schedule shall be charged to applicants depending on the type of business license applied for starting at the second at the second renewal.

(h) *Renewal application.*

- (1) The application for renewal of a registration shall include, but is not limited to:
  - a. Items required under 1413.06.B of this article.
  - b. Such other information the city requires.

(i) *Suspension of registration.*

(1) *When suspension is warranted.* A registration may be suspended if it violates the City Code or poses an immediate threat to the health or safety of the public. The city will notify the cannabis retailer business or lower-potency hemp edible retailer business in writing the grounds for the suspension.

(j) *Length of suspension.* The suspension of a registration may be for up to 30 calendar days, unless OCM suspends the license for a longer period. The business may not make sales to customers if their registration is suspended. A registration may be reinstated if it determines that the violations have been resolved.

(Ord. No. 2024-05, § 21, 12-3-24)

Sec. 18-406. - Civil penalties.

A civil penalty, as established in the city's fee schedule shall be charged for registration violations, up to \$2,000.00 for each violation.

(Ord. No. 2024-05, § 21, 12-3-24)

Sec. 18-407. - Limiting of registrations.

(a) The city shall limit the number of standalone cannabis retailer businesses to a total of two. The city shall limit the number of cannabis mezzobusinesses with an attached cannabis retail operation to two. The city shall limit the number of cannabis microbusinesses with an attached cannabis retail operation to two. There is not a limit on the number of registrations available for medical cannabis combination businesses and lower-potency hemp edible retailers.

(Ord. No. 2024-05, § 21, 12-3-24)

Sec. 18-408. - Temporary cannabis event permit.

(a) A permit is required to be issued and approved by the city prior to holding a temporary cannabis event.

(b) *Registration and application procedure.*

(1) A registration fee, as established in the city's fee schedule shall be charged to applicants for temporary cannabis events.

(2) *Application submittal and review.*

a. An applicant for a license or permit shall fill out an application form. The application for a license or permit under this subsection shall be made on a form supplied by the city clerk, said form shall include, but is not limited to:

1. Full name of the property owner and applicant;
2. Address, email address, and telephone number of the applicant;

3. Such other information the city shall require.
- b. The applicant shall include with the form:
  1. The application fee as required in 1413.08.B.a;
  2. A copy of the OCM cannabis event license application, submitted pursuant to Minn. Stats. 342.39 subd. 2.
- c. The application shall be submitted to the city clerk, or other designee for review. If the designee determines that a submitted application is incomplete, they shall return the application to the applicant with the notice of deficiencies.
- d. Once an application is considered complete, the designee shall inform the applicant as such, process the application fees, and forward the application to the city council for approval or denial.
- e. The application fee shall be non-refundable once processed.

(3) A request for a temporary cannabis event that meets the requirements of this section shall be approved. A request for a temporary cannabis event that does not meet the requirements of this section shall be denied. The city clerk shall notify the applicant of the standards not met and basis for denial.

(c) *On-site consumption.* On-site consumption of adult-use cannabis flower, adult-use cannabis products, lower-potency hemp edibles, hemp-derived consumer products, or any combination of those items is prohibited.

(d) *Hours of operation.* Temporary cannabis events shall only be held between the hours of 10:00 a.m. and 9:00 p.m.

(e) *Location.* Temporary cannabis events shall only be held indoors.

(Ord. No. 2024-05, § 21, 12-3-24)

**City of East Bethel  
Planning Commission Meeting  
Agenda Item Information**



**Meeting Date:** November 25, 2025

**Agenda Item Number:** 9

**Request: PUBLIC HEARING.** Consider a Conditional Use Permit (CUP) for a Cannabis Microbusiness located at 18447 Highway 65 NE, Suite B (City file 25-034).

**Review Deadline:** December 12, 2025

**Background/Context**

On October 13, 2025, staff received an application from Brittney Yares for a CUP to allow the operation of a cannabis microbusiness located at 18447 Highway 65 NE, Suite B (PIN #32-33-23-42-0007). City Code Appendix A, Section 1-9 defines a Cannabis Microbusiness as: “A cannabis business that grows cannabis plants from seed or immature plant to mature plant, harvests the cannabis flower from a mature plant, makes cannabis and/or hemp concentrate, manufactures artificially derived cannabinoids, adult-use cannabis products, lower-potency hemp edibles, and/or hemp-derived consumer products, and sells immature cannabis plants and seedlings, adult-use cannabis flower, adult-use cannabis products, lower-potency hemp edibles, hemp-derived consumer products, and other products authorized by law to other cannabis businesses and to consumers, including on-site consumption, pursuant to Minn. Stats. § 342.28”. The applicant is proposing to operate a Cannabis Microbusiness out of 5D Dispensary, an existing business selling “holistic wellness products” according to its website.

During the 2025 legislative session, Minn. Stats. § 342-46 was established to require all cannabis and lower-potency hemp edibles licensing to be performed by the Office of Cannabis Management (OCM) instead of the local government unit (LGU). To obtain a license from the OCM, the LGU must verify that the business complies with the local Zoning Ordinance. City Ordinance 2024-05 established Cannabis Microbusiness as a Conditional Use within the B-3 Zoning District. To obtain a Cannabis Microbusiness license from the OCM, the business must first receive a CUP to allow the proposed use on the property. The business must also maintain registration as a cannabis retailer with the City.

This property is guided Commercial and zoned B-3 – Highway Commercial. The properties to the north and south are guided and zoned the same. The properties to the east are guided Mixed Use and zoned MXU – Mixed Use. Highway 65 borders the western side of the property. Per City Code Appendix A, Section 47, “Cannabis Microbusiness” requires a CUP within the B-3 – Highway Commercial Zoning District.

Issuance of a CUP by the City does not entitle or ensure the granting of a license by the State. The applicant is subject to all rules, regulations, and inspections required by the OCM for the issuance of a cannabis microbusiness license. A CUP is one of many items required in this process.

**Analysis**

When reviewing a Conditional Use Permit, the City’s discretion is limited to whether the CUP meets the standards outlined in the Appendix A Section 4-9(D) of the City Code. If it does, the City must approve the CUP.

“Cannabis Microbusiness” is a conditional use within the B-3 Zoning District. According to the Office of Cannabis Management, “Microbusinesses may cultivate cannabis and manufacture cannabis products and hemp products, and package such products for sale to customers or another licensed cannabis business. Microbusiness may also operate a single retail location”. Cannabis microbusinesses are required to comply with the standards established in Minn. Statute § 342.28 regarding microbusinesses and § 342.27 regarding

the sale of cannabis products in addition to City Code Chapter 18 Article IX and Section 30 of the Zoning Ordinance.

The Planning Commission should evaluate the request for compliance with the general CUP ordinance standards in Section 4-9(D) of the Zoning Ordinance:

*1) The planning commission shall consider if the proposed use is consistent with the general purpose and intent of this chapter and the comprehensive plan. Its judgment shall be based upon, but not limited to, the following:*

*a) The impact of the proposed use on the health, safety, and general welfare of the occupants of the surrounding lands;*

The use is predicted to have a limited impact on the health, safety, and general welfare of the occupants of surrounding land. Section 30 of the Zoning Ordinance establishes several standards to evaluate these criteria. An analysis of surrounding properties and their uses finds that the business complies with the minimum buffer distance requirements established in Section 30-1(A) of the Zoning Ordinance. The applicant's narrative also does not describe any outdoor activities or any activities that would generate noise or odor in violation of Section 30 of the Zoning Ordinance. Review by the Sheriff's Office and East Bethel Fire Department has not highlighted any concerns over this use. To mitigate the impact of the proposed use on the health, safety, and general welfare of the surrounding lands, the business shall operate under the standards for hemp businesses established in Section 30 of the City Zoning Ordinance (Attachment 4). This has been included as a condition of approval. Chapter 18, Article IX of the City Code also requires cannabis retailers to register with the City and pass a compliance check conducted by the City. This has been added as a condition of approval.

The applicant shall also comply with Minn. Statute § 342.27 regarding the sale of cannabis products, including hours of operation for all cannabis and non-cannabis products. According to Minn. Statute § 342.28 Subd 7(c) "A cannabis business with a license or endorsement authorizing the retail sale of cannabis flower or cannabis products may not be open to the public or sell any other products at times when the cannabis business is prohibited from selling cannabis flower, cannabis products, lower-potency hemp edibles, and hemp-derived consumer products". As described in the applicant's narrative, the hours of operation of the business shall be limited to those between 10:00 a.m. and 9:00 p.m. the business shall not be authorized to conduct sales of any products, cannabis or non-cannabis, outside of these hours, pursuant to Minn. Statute § 342.28 Subd 7(c). This has been included as a condition of approval.

*b) Existing and anticipated traffic conditions, including parking facilities on adjacent streets and lands;*

This use is not anticipated to substantially increase traffic to this site. The traffic level is anticipated to be consistent with that of a typical retail establishment, similar to those on surrounding properties.

*c) The effect of the proposed use on public utilities;*

This site is connected to City sewer and water. This use is unlikely to cause any new impacts.

*d) The effect of the proposed use on property values;*

This use is not anticipated to have a significant impact on property values. No alterations to the existing site or building exterior are proposed for this use. The site shall comply with all

standards established in Section 30 of the Zoning Ordinance for cannabis businesses. These standards are intended to limit the impact of the proposed use on surrounding properties.

*e) The effect of the proposed use on the comprehensive plan;*

This property is guided Commercial. This is a compatible use within the last use designation.

*f) The ability of the proposed use to meet the standards of this chapter;*

The applicant is not requesting any variances pertaining to the operation of this site. A CUP would allow this business to operate, upon receipt of a license from the OCM, while meeting the standards within the Code for this use within this zoning district. The applicant shall be required to seek a building permit for any alternations to the site, including the addition of signage.

The issuance of a CUP requires the applicant comply with the plans submitted along with the CUP application. The floorplan submitted on October 13, 2025 shows two unused rooms in the unit's restricted area. A CUP Amendment would be required at a later date for the applicant to utilize these rooms. This has been added as a condition of approval.

The applicant shall be required to obtain a license from the OCM within 1 year of the issuance of this CUP. If this license is for any reason not granted or denied by the OCM, this CUP shall be revoked. This has been added as a condition of approval.

*g) The results of a market feasibility study, if requested by the city, when the purpose for which the conditional use is being requested relies on a business market for its success;*

N/A.

*h) The effects of the proposed use on groundwater, surface water, and air quality;*

The applicant is not proposing any alterations to the site. This use should not have an impact on groundwater, surface water, or air quality.

*i) The proposed use is allowed with a CUP or IUP in the zoning district in which it is proposed; and*

Section 47-4 of the Zoning Code lists "Cannabis Microbusiness" as a conditional use within the B-3 Zoning District.

*j) The effect of the proposed use on natural resources.*

The applicant is not proposing any alterations to the site, and this use should have no impact on natural resources.

## **Summary**

The application for a CUP to allow the operation of a Cannabis Microbusiness located at 18447 Highway 65 NE requires a public hearing and review by the Planning Commission and City Council. If the proposed use meets the standards established within Section 4-9(D) of the Zoning Ordinance, the City must approve the request. An analysis of the CUP standards has been provided. Any Cannabis business which operates on this property will be required to comply with the standards for Cannabis businesses established in Section 30 of the Zoning Ordinance, obtain registration with the City pursuant to Section 18 Article IX of the City Code, obtain licensure from the OCM, and comply with all applicable state and federal laws for cannabis microbusinesses operation and cannabis sale.

Staff finds that the application complies with the CUP standards and has prepared a resolution of approval with conditions recommend by staff. The Planning Commission may recommend additional conditions of approval. A resolution for denial can be prepared at the recommendation of the Planning Commission.

## **Requested Action**

In consideration of the request, the Planning Commission has the following options:

### **A. Recommend Approval**

Based on the contents of this report, public testimony, and other evidence available to the Planning Commission, the Planning Commission should recommend approval of the request for a CUP for a Cannabis Microbusiness located at 18447 Highway 65 NE Suite B. A draft Resolution has been provided for approval and may be modified to reflect the recommendation of the Planning Commission.

### **B. Recommend Denial**

Based on the contents of this report, public testimony, and other evidence available to the Planning Commission, the Planning Commission could recommend denial of the CUP.

- This option should be utilized if the Planning Commission can specifically identify one or more provisions of City Code that are not being met by the request. The Planning Commission should provide findings of fact for denial.

## **Attachments:**

1. Draft Resolution of Approval
2. Location Map
3. 1,000 Ft. Buffer Distance Map
4. Narrative dated October 23, 2025
5. Floor Plan dated October 13, 2025 (Redacted)
6. City Code Appendix A, Section 30: Cannabis Business and Hemp Business Operations
7. City Code Chapter 18 Article IX: Registration of Cannabis and Hemp Business

**CITY OF EAST BETHEL  
COUNTY OF ANOKA  
STATE OF MINNESOTA**

**RESOLUTION NO. 2025-XX**

A RESOLUTION **GRANTING** A CONDITIONAL USE PERMIT FOR A CANNABIS MICROBUSINESS LOCATED ON A PROPERTY LOCATED AT 18447 HIGHWAY 65 NE UNIT B (PIN 32-33-23-42-0007) LEGALLY DESCRIBED AS:

That part of the East 1/2 of Section 32, Township 33, Range 23, Anoka County, Minnesota, described as follows: Commencing at the South 1/4 corner of said Section; thence North 4°05'15" West, assumed bearing, along the north-south 1/4 line of said Section, a distance of 2,203.7 feet; thence South 89°03'45" East to the Easterly R/W line of Trunk Highway No. 65, as Monumented and Constructed to the actual point of beginning of the tract of land to herein described; thence South 89°03'45" East, 375 feet, more or less, to the center of County Ditch No. 28; thence Northerly, along said ditch center line, to the North line of the SW 1/4 of the NE 1/4 of said Section; thence North 88°56'55" West, along said North line, to said Easterly R/W line of Trunk Highway; thence Southerly, along said Easterly R/W Line, to the actual point of beginning. Except the North 1550.00 feet, as measured at right angles to the North line thereof. Subject to an easement, for road purposes, over the Westerly 30.00 feet, as measured at right angles to the West line thereof. Also, subject to easements of record, if any.

**WHEREAS**, Brittney Yares (the applicant), the owner of 5D Dispensary, with permission from Osborne Development Inc., owner of property PIN 32-33-23-42-0007, has applied for a conditional use permit to operate a Cannabis Microbusiness on the above described property; and

**WHEREAS**, the East Bethel Review Committee has reviewed the plans and provided comments; and

**WHEREAS**, the Planning Commission held a public hearing on November 25, 2025; and

**WHEREAS**, the Planning Commission finds:

1. This property is zoned (B-3) Highway Commercial and "Cannabis Microbusiness" is allowed as a Conditional Use within this zoning district.
2. The application submitted on October 28, 2025 complies with the general Conditional Use Permit (CUP) standards in Section 4, Subd. 9. (D) of the Zoning Ordinance, as outlined in the November 25, 2025 Planning Commission report, except as amended below.

**WHEREAS**, the Planning Commission recommends approval of the Conditional Use Permit to the City Council.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of East Bethel hereby approves the conditional use permit for the property located at PIN 32-33-23-42-0008, subject to the following conditions:

1. A Conditional Use Permit is granted to allow the operation of a Cannabis Microbusiness at 18447 Highway 65 NE Unit B pursuant to the application materials, including the site plan and narrative, received October 13, 2025.
2. The Cannabis Microbusiness shall obtain a license and all required endorsements from the Office of Cannabis Management (OCM) for a cannabis microbusiness and register with the City within 12 months of approval of this CUP.
3. The Conditional Use Permit must be issued to the entity that leases the space and obtains the OCM license. The applicant shall provide the City with a copy of the lease and confirmation that the applicant is authorized to apply, on behalf of the OCM applicant company.
4. The Cannabis Microbusiness shall comply with the standards for the operation of a cannabis business established in Appendix A, Section 30 of the City Code.
5. The Cannabis Microbusiness shall comply with the registration requirements for a Cannabis Businesses established in Chapter 18, Article IX of the City Code.
6. The Cannabis Business shall comply with all City, State, and federal laws, rules, regulations, licensing and/or registration requirements governing cannabis sales and operations of cannabis microbusinesses Minn. Stat. 342.
7. The applicant shall not sell any products or merchandise that is prohibited or otherwise unlawful.
8. Hours of operation will be limited to those established by City Ordinance, as may be amended from time to time, and which currently states that cannabis businesses are limited to retail sale of cannabis, cannabis flower, cannabis products, lower-potency hemp edibles, or hemp-derived consumer products between the hours of 10:00 a.m. and 9:00 p.m., seven days a week.
9. Areas marked as “unused” on the Site Plan received October 13, 2025 shall remain unused unless and until the CUP is amended by the City approval following an amendment request with accompanying materials from the applicant.
10. If traffic, parking or delivery issues develop in the immediate area that are attributable to the proposed use, the Applicant may be required by the City to implement traffic, parking or delivery control measures as determined by the City.
11. Inform the City within one business day of becoming aware of any:
  - a. failed compliance check and provide the City with copies of any documents or emails received regarding a failed compliance check, including enforcement actions and proceedings.
  - b. suspension or loss of license from OCM.
  - c. any change in the ownership of the cannabis business
  - d. Theft, burglary, or unlawful entry of the property
12. Any expansion of this use shall require a Conditional Use Permit amendment.

Adopted this 8<sup>th</sup> day of December, 2025 by the City Council of the City of East Bethel.

CITY OF EAST BETHEL

ATTEST

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Ardie Anderson, Mayor

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Matt Look, City Administrator

# 18477 Highway 65 NE

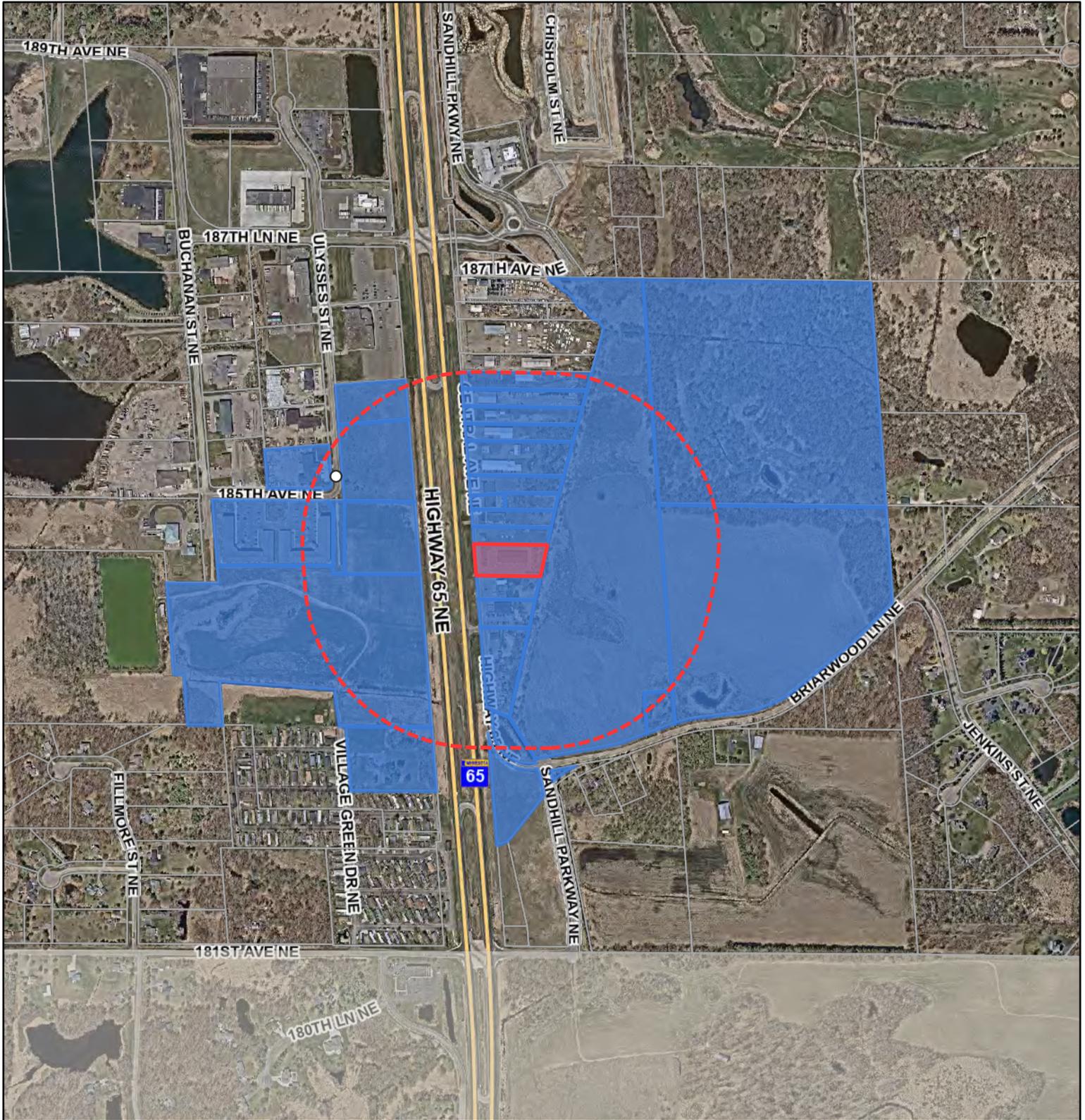


-  Parcels
-  City Mask

1 inch equals 279 feet



# 1,000 Ft. Buffer Distance



1 inch equals 1,114 feet



**Business Description for Conditional Use Permit Application**

**Business Name:** 5D Dispensary

**Business Address:** 18447 Highway 65, NE, Suite B, East Bethel, MN 55011

**Applicant:** 5D Dispensary

**Contact Information:** Brittney Yares **Phone:** [REDACTED]

**Email:** [REDACTED]

**Hours of Operation:** Between the hours of 10:00 a.m. and 9:00 p.m. seven days a week

Prohibited from conducting the retail sale of lower-potency hemp edibles, or hemp derived consumer products for off-site consumption between the hours of:

- A. On Sundays, except between the hours of 11:00 a.m. and 6:00 p.m.;
- B. Before 8:00 a.m. or after 10:00 p.m. on Monday through Sunday;
- C. On Thanksgiving Day;
- D. On Christmas Day, December 25; or
- E. After 8:00 p.m. on Christmas Eve, December 24.

Lower potency hemp edible retailers are prohibited from conducting the retail sale of lower potency hemp edibles, or hemp-derived consumer products for on-site consumption between the hours of:

- A. Between 2:00 a.m. and 8:00 a.m. on the days of Monday through Saturday;
- B. After 2:00 a.m. on Sundays, except for a restaurant, club, bowling center, or hotel with a seating capacity for at least 30 persons and which holds an on-sale intoxicating liquor license may sell intoxicating liquor for consumption on the premises in conjunction with the sale of food between the hours of 8:00 a.m. on Sundays and 2:00 a.m. on Mondays.

## **Description of Business or Activities and Proposed Number of Staff:**

The proposed business will operate as a licensed cannabis dispensary, fully compliant with all local and state regulations. Our primary activities will include the retail sale of cannabis and cannabis-related products to qualified adult-use customers aged 21 and over. No individuals under the age of 21 will be permitted to enter the premises.

In addition to high quality cannabis products, the dispensary will offer a curated selection of wellness-focused items, including organic vitamins and supplements made with clean ingredients and no fillers, holistic health, and dog treats. The business will maintain a secure, professional, and customer-oriented environment, with a strong emphasis on education, safety, and responsible use.

Operations will include checking customer identification for compliance, providing product education and recommendations, handling point-of-sale transactions, maintaining secure inventory, and ensuring strict adherence to all safety and compliance protocols.

This business will contribute to the economic development of the City of East Bethel by generating tax revenue and creating local job opportunities. We anticipate employing approximately 4-12 staff members, including retail associates, security personnel, inventory specialists, and management.

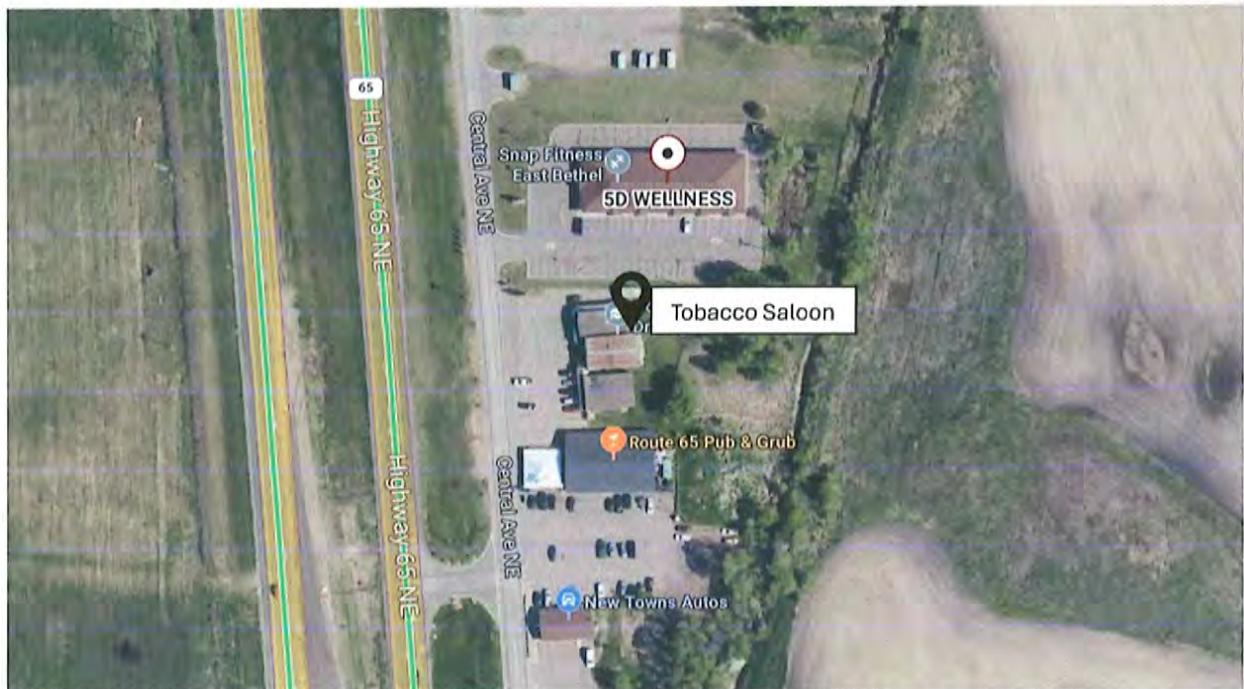
## Principal land uses within 350 feet of the property:

The area within 350 feet of the proposed dispensary location at 18447 Highway 65 NE, East Bethel, MN is primarily composed of commercial and light industrial land uses. The subject property is located within an existing multi-tenant commercial plaza, which includes a mix of wellness services, construction-related businesses, and other service-oriented tenants.

Nearby and adjacent land uses within this radius include:

- **5D WELLNESS Spa**
- **Liquor Store**
- **Tobacco Saloon**
- **Route 65 Pub and Grub**
- **Snap Fitness**
- **Contractor, landscaping, and light industrial uses**

There are no known residential dwellings, schools, parks, churches, or daycare centers within the 350-foot radius. The surrounding land uses are consistent with the commercial and service-oriented character of the Highway 65 corridor.



## **Written Explanation of Proposed Use:**

The proposed use of the existing building is to operate a licensed adult-use high quality cannabis dispensary. There will be no exterior structural changes to the building. All operations will occur within the existing footprint.

The dispensary will comply fully with local and state cannabis regulations, including age restrictions (no one under 21 allowed), security measures (such as surveillance systems and controlled access), and zoning requirements. The interior will be modified only as needed to support retail operations and ensure secure storage and handling of cannabis products.

In addition to cannabis and cannabis-related items, the business will offer a selection of organic wellness products such as vitamins, supplements (with clean ingredients and no fillers), holistic health, and dog treats.

The business will maintain a professional, clean, and discreet presence, and is designed to blend in with the surrounding commercial area. It is expected to create local jobs and contribute to tax revenue for the City of East Bethel. Parking and traffic impact will be minimal and consistent with typical retail operations.

The landscaping and vegetation is existing and there will be no changes made. The building is existing and continuously maintained by the property owner. Our business practices will not interfere or disrupt anything with the vegetation, landscaping, grading and drainage, soil conditions, or building floor plans.



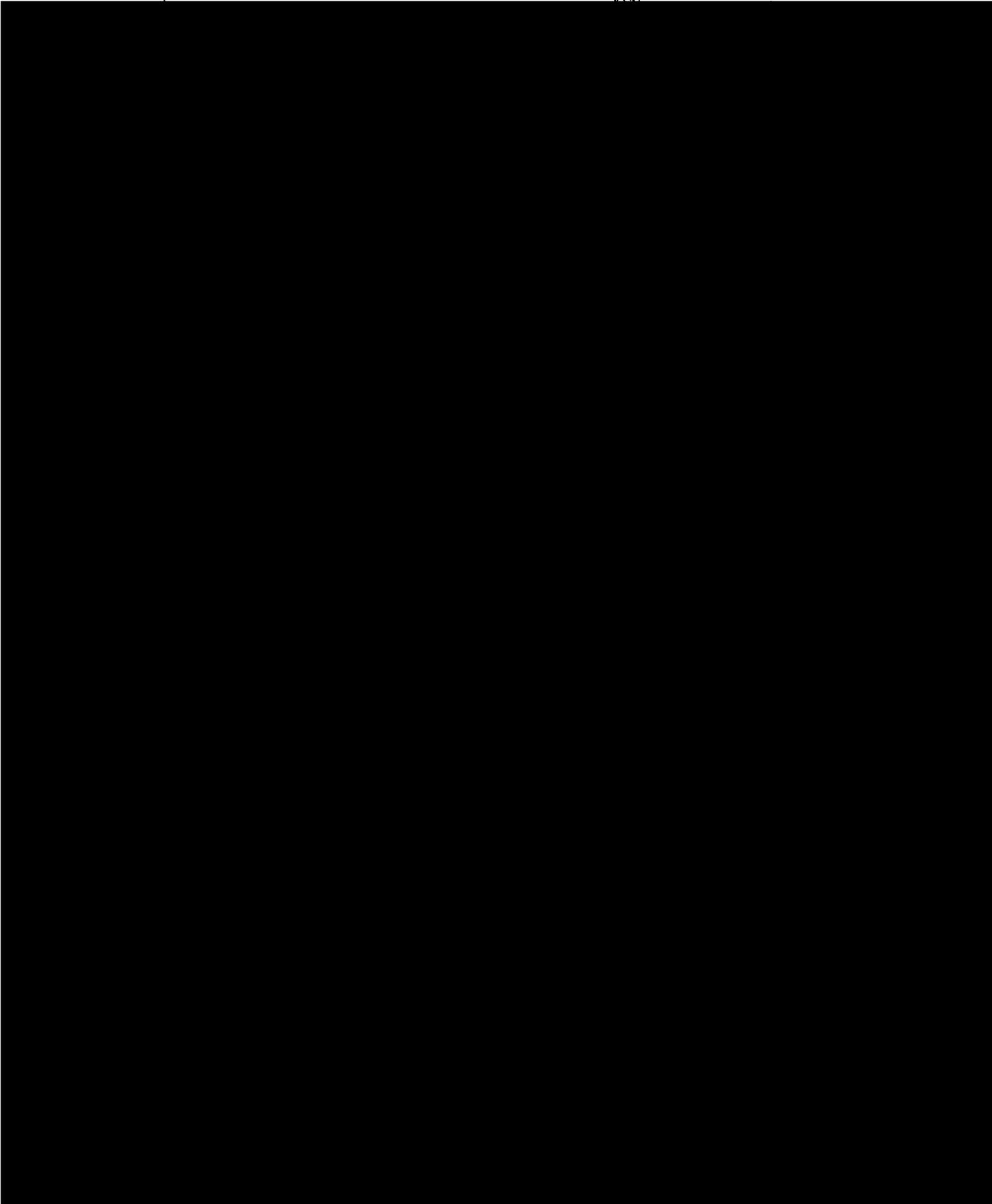


1847 Highway 65 Ne, Cedar, MN Parcel Map

FLOOR PLAN REDACTED

Dis doorbell

Exterior Can Light  
○



Exterior  
Light

## SECTION 30. - CANNABIS BUSINESS AND HEMP BUSINESS OPERATIONS

### 1. - Minimum buffer requirements.

A. The operation of a cannabis business is prohibited within:

- 1) One thousand feet of a school property line;
- 2) Five hundred feet of a day care principal building;
- 3) Five hundred feet of a residential treatment facility;
- 4) Five hundred feet of an attraction within a public park that is regularly used by minors, including a playground or athletic field; and
- 5) One thousand feet from another cannabis business.

As measured in a straight line from the closest part of the building or actual leased space of the cannabis business use-principal to the property line of the school, the closet part of the principal day care building, residential treatment facility and/or attraction within a public park.

B. A cannabis event is exempt from 30.1.A restrictions.

### 2. - Noise.

There shall be no noise carrying beyond a lot upon which a business is located, except for normal car and pedestrian activity.

### 3. - Odor.

Cannabis businesses and hemp businesses shall be ventilated so that all odors cannot be detected by a person with a normal sense of smell at the exterior of the facility or at any adjoining use or property; they shall not produce noxious or dangerous gases or odors or otherwise create a danger to any person or entity in or near the facilities.

### 4. - Hours of operation.

Cannabis businesses are limited to retail sale of cannabis, cannabis flower, cannabis products, lower-potency hemp edibles, or hemp-derived consumer products between the hours of 10:00 a.m. and 9:00 p.m., seven days a week.

Lower-potency hemp edible retailers are prohibited from conducting the retail sale of lower-potency hemp edibles, or hemp-derived consumer products for off-site consumption between the hours of:

- A. On Sundays, except between the hours of 11:00 a.m. and 6:00 p.m.;
- B. Before 8:00 a.m. or after 10:00 p.m. on Monday through Saturday;

- C. On Thanksgiving Day;
- D. On Christmas Day, December 25; or
- E. After 8:00 p.m. on Christmas Eve, December 24.

Lower-potency hemp edible retailers are prohibited from conducting the retail sale of lower-potency hemp edibles, or hemp-derived consumer products for on-site consumption between the hours of:

- A. Between 2:00 a.m. and 8:00 a.m. on the days of Monday through Saturday;
- B. After 2:00 a.m. on Sundays, except for a restaurant, club, bowling center, or hotel with a seating capacity for at least 30 persons and which holds an on-sale intoxicating liquor license may sell intoxicating liquor for consumption on the premises in conjunction with the sale of food between the hours of 8:00 a.m. on Sundays and 2:00 a.m. on Mondays.

#### 5. - Signs.

Cannabis business and hemp businesses are subject to Section 54-7—54-10 regulation of freestanding signs and are permitted one wall sign subject to the maximum size and heights of applicable sections; all other signs are prohibited. Signs shall only contain words and shall not contain depict a cannabis flower, cannabis product, hemp edibles, hemp derived edible consumer product or any other logo, picture, image, or symbol intended to denote or suggest cannabis, hemp, or related paraphernalia. Additionally, a business logo containing the above depictions shall not be displayed as part of any exterior signage. No products, interior signage, advertisements, or like attention getting items shall be placed or displayed that may be visible from the exterior of the cannabis business or hemp business. this section shall apply to any and all signs including temporary, sandwich boards, etc.

#### 6. - Lighting.

All lighting shall be shielded and angled in such a way as to prevent light from spilling outside of the boundaries of the parcel(s) or premises or directly focusing on any surrounding uses.

#### 7. - Security.

Any security bars, gates or grills shall be retractable, shall remain open and retracted when the cannabis or hemp business is open to the public or otherwise in operation and shall not be installed on the exterior of the building.

#### 8. - Outdoor use.

All uses and activity shall be conducted indoors, with no storage or activity allowed.

(Ord. No. 2024-05, § 3, 12-3-24)

ARTICLE IX. - REGISTRATION OF CANNABIS AND HEMP BUSINESSES

Sec. 18-403. - Registration of cannabis businesses and hemp businesses.

No individual or entity may operate a cannabis retailer business or lower-potency hemp edible retailer business without first registering with the city.

Any cannabis retailer business or lower-potency hemp edible retailer business that sells to a customer or patient without valid retail registration shall incur a civil penalty of up to \$2,000.00 for each violation.

(Ord. No. 2024-05, § 21, 12-3-24)

Sec. 18-404. - Compliance checks prior to retail registration.

Prior to issuance of a registration, the city shall conduct a preliminary compliance check to ensure compliance with local ordinances.

(Ord. No. 2024-05, § 21, 12-3-24)

Sec. 18-405. - Registration and application procedure.

(a) *Fees.*

- (1) A registration fee, as established in the city's fee schedule shall be charged to applicants depending on the type of business license applied for.
- (2) The renewal registration fee shall be charged at the time of the second renewal and each subsequent renewal thereafter.

(b) *Application submittal.*

- (1) A registration shall be issued to a cannabis retailer business or lower-potency hemp edible retailer business that adheres to the requirements of Minn. Stats. § 342.22.
- (2) An applicant for a registration shall fill out an application form. The application for a license under this subsection shall be made on a form supplied by the city clerk, said form shall include, but is not limited to:
  - a. Full name of the property owner and applicant;
  - b. Address, email address, and telephone number of the applicant;
  - c. The address and parcel ID for the property which the retail registration is sought;
  - d. Certification that the applicant complies with the requirements of local ordinances established pursuant to Minn. Stats. § 342.13.
  - e. Such other information as the city shall require.

- (3) The applicant shall include with the form:
  - a. The application fee as required in Section 1413.06.A;
  - b. A copy of a valid state license or written notice of OCM license preapproval;
  - c. Such other information as the city shall require.
- (4) Once an application is considered complete, the city clerk shall inform the applicant as such, process the application fees, and forward the application to the city council for approval or denial.
- (5) The registration fee shall be non-refundable once processed.

(c) *Application approval.*

- (1) An application shall not be approved or renewed if the applicant is unable to meet the requirements of this article.
- (2) An application that meets the requirements of this article shall be approved.

(d) *Annual compliance checks.*

- (1) The police department shall complete compliance checks pursuant to Minn. Stats. § 342.22 subd. 4(b) and Minn. Stats. § 342.24.

(e) *Location change.* A cannabis retailer business or lower-potency hemp edible retailer business shall be required to submit a new application for registration under Section 1413.06.B if it seeks to move to a new location still within the legal boundaries of the city.

(f) *Renewal of registration.*

- (1) An annual registration of a cannabis retailer business or lower-potency hemp edible retailer business shall be renewed at the same time OCM renews the cannabis retailer business or lower-potency hemp edible retailer business' license.
- (2) A cannabis retailer business or lower-potency hemp edible retailer business shall apply to renew registration on a form supplied by the city clerk.
- (3) A registration issued under this article shall not be transferred.

(g) *Renewal fees.*

- (1) A renewal fee, as established in the city's fee schedule shall be charged to applicants depending on the type of business license applied for starting at the second at the second renewal.

(h) *Renewal application.*

- (1) The application for renewal of a registration shall include, but is not limited to:
  - a. Items required under 1413.06.B of this article.
  - b. Such other information the city requires.

(i) *Suspension of registration.*

(1) *When suspension is warranted.* A registration may be suspended if it violates the City Code or poses an immediate threat to the health or safety of the public. The city will notify the cannabis retailer business or lower-potency hemp edible retailer business in writing the grounds for the suspension.

(j) *Length of suspension.* The suspension of a registration may be for up to 30 calendar days, unless OCM suspends the license for a longer period. The business may not make sales to customers if their registration is suspended. A registration may be reinstated if it determines that the violations have been resolved.

(Ord. No. 2024-05, § 21, 12-3-24)

Sec. 18-406. - Civil penalties.

A civil penalty, as established in the city's fee schedule shall be charged for registration violations, up to \$2,000.00 for each violation.

(Ord. No. 2024-05, § 21, 12-3-24)

Sec. 18-407. - Limiting of registrations.

(a) The city shall limit the number of standalone cannabis retailer businesses to a total of two. The city shall limit the number of cannabis mezzobusinesses with an attached cannabis retail operation to two. The city shall limit the number of cannabis microbusinesses with an attached cannabis retail operation to two. There is not a limit on the number of registrations available for medical cannabis combination businesses and lower-potency hemp edible retailers.

(Ord. No. 2024-05, § 21, 12-3-24)

Sec. 18-408. - Temporary cannabis event permit.

(a) A permit is required to be issued and approved by the city prior to holding a temporary cannabis event.

(b) *Registration and application procedure.*

(1) A registration fee, as established in the city's fee schedule shall be charged to applicants for temporary cannabis events.

(2) *Application submittal and review.*

a. An applicant for a license or permit shall fill out an application form. The application for a license or permit under this subsection shall be made on a form supplied by the city clerk, said form shall include, but is not limited to:

1. Full name of the property owner and applicant;
2. Address, email address, and telephone number of the applicant;

3. Such other information the city shall require.
- b. The applicant shall include with the form:
  1. The application fee as required in 1413.08.B.a;
  2. A copy of the OCM cannabis event license application, submitted pursuant to Minn. Stats. 342.39 subd. 2.
- c. The application shall be submitted to the city clerk, or other designee for review. If the designee determines that a submitted application is incomplete, they shall return the application to the applicant with the notice of deficiencies.
- d. Once an application is considered complete, the designee shall inform the applicant as such, process the application fees, and forward the application to the city council for approval or denial.
- e. The application fee shall be non-refundable once processed.

(3) A request for a temporary cannabis event that meets the requirements of this section shall be approved. A request for a temporary cannabis event that does not meet the requirements of this section shall be denied. The city clerk shall notify the applicant of the standards not met and basis for denial.

(c) *On-site consumption.* On-site consumption of adult-use cannabis flower, adult-use cannabis products, lower-potency hemp edibles, hemp-derived consumer products, or any combination of those items is prohibited.

(d) *Hours of operation.* Temporary cannabis events shall only be held between the hours of 10:00 a.m. and 9:00 p.m.

(e) *Location.* Temporary cannabis events shall only be held indoors.

(Ord. No. 2024-05, § 21, 12-3-24)

**City of East Bethel  
Planning Commission Meeting  
Agenda Item Information**



**Meeting Date:** November 25, 2025

**Agenda Item Number:** 10

**Request:** Review a Site Plan for AMBA East Bethel Commercial Building located at Lot 2 Block 1 of Classic Commercial Park 2<sup>nd</sup> Addition (PIN# 32-33-23-21-0012) (City File 25-031).

**Review Deadline:** December 28, 2025

**Background/Context**

On October 29, 2025, staff received a complete application from AMBA Holdings LLC for a Site Plan Review to allow the construction of AMBA East Bethel Commercial, a multi-tenant commercial building proposed to contain a daycare and 3 retail units at PIN #32-33-23-21-0012.

This lot is 4.43 acres. The applicant is proposing to construct a 20,400 sq. ft. commercial building including a 11,860 square foot daycare space and 8,400 square feet of space to be divided between 3 retail units. The applicant has provided a floor plan of the building showing the proposed daycare space. Tenants have not been identified for the retail units at this time.

This property is zoned B-3 – Highway Commercial and guided Commercial. The properties to the south are guided and zoned the same. The properties to the north are guided Mixed Use and zoned MXU – Mixed Use. The properties to the west are guided and zoned I – Light Industrial. Highway 65 borders the eastern side of the property.

A site plan review is required for all new construction commercial buildings. A daycare facility and most retail businesses are permitted uses within the B-3 – Highway Commercial Zoning District. Tenants have not been identified for the retail units on the site, and, if a potential tenant proposes a use that is not a listed as a permitted use under Section 47-2 of the Zoning Code, the tenant will be required to obtain all necessary land use approvals and/or applicable licenses to operate.

**Analysis**

When reviewing a Site Plan, the City’s discretion is limited to whether the proposed site plan meets the standards outlined in the City’s Subdivision and Zoning Ordinance. If it does, the City must approve the site plan.

Site Plan

The Planning Commission should evaluate the request for compliance with the Site Plan ordinance standards in Section 4, Subd. 12. (E.6) of the Zoning Ordinance as noted below:

*6) In evaluating its recommendation and approval, the planning and commission and city council shall take into consideration the following:*

*a) Consistency with the city comprehensive plan;*

This property is guided Commercial and zoned B-3 - Highway Commercial. The use is compatible with the land use anticipated in this district and consistent with the future land uses planned for this area in the Comprehensive Plan.

*b) Compliance with this ordinance;*

This site is located in the B-3- Highway Commercial Zoning District.

Setbacks and Coverage

The structure and parking lot must meet the required setbacks. The plans as shown comply with the structure setbacks required within the B-3 Zoning District:

<b>Setback</b>	<b>Required</b>	<b>Proposed</b>
Front from City right-of-way	40 feet	>40 feet
Front from State/County right-of-way	100 feet	>100 feet
Side Yard Interior	10 feet	>10 feet
Front Yard Parking	10 feet	>10 feet
Side Yard Parking	5 feet	>5 feet

The maximum lot coverage allowed within the B-3 Zoning District is 80%. The plans as proposed comply with this lot coverage standard.

There is a stormwater mitigation pond on the eastern half of this property. This pond is enclosed in a drainage and utility easement. According to Section 66-255(3) of the City Code, the minimum building setback from a stormwater pond and least susceptible wetland is 25 feet. The building setback for this structure is 30.4 feet. Per comments provided by the City Engineer on November 13, 2025, all grading within 50 feet of this pond will require double perimeter barriers.

Driveway

This site will have one access point from the cul-de-sac on Ulysses Street which is allowed in the B-3 Zoning District. This temporary cul-de-sac was conveyed to the City in 2021 via a temporary cul-de-sac easement until Ulysses Street is extended to the north. Escrow or a letter of credit will be required for the construction of the driveway within the City right-of-way. The City Engineer, East Bethel Department of Public Works, and East Bethel Fire Department have reviewed the driveway access. The City Engineer has provided comments and compliance with those comments is a condition of approval.

Landscaping

The applicant has submitted a landscape plan for the site showing 10 new trees and 68 shrubs to be planted on the property. Section 27, Subd. 3(C) requires one overstory deciduous shade tree or one coniferous tree for every 2,000 sq. ft. of building area and one shrub for every 300 sq. ft. of building area. Ten trees and 68 shrubs are required for a 20,400 sq. ft. building. This property is currently a bare grassy field with few, if any, existing trees outside of the drainage and utility easement area.

Stormwater Management

The applicant has submitted a Stormwater Drainage Report prepared by Plowe Engineering. This plan has been reviewed by the City Engineer. Compliance with the City Engineer's comments pertaining to drainage and stormwater management have been added as a condition of approval.

### Wetlands

A memorandum dated November 6, 2025 and received by the City on November 20, 2025 has disclosed the presence of wetlands along the north 5-10 feet of the parcel for a distance of approximately 100 feet. This is currently under review by the City Engineer. The wetland delineation must be approved and accurately identified on the plans prior to issuance of building permits. The applicant will be required to comply with the City's wetland buffer and building setback requirements and shall be required to amend the submitted materials to account for this buffer distance. This is likely to reduce the size of the playground area to the north of the site but is unlikely to have an impact on the proposed building.

*c) The preservation of the site in its natural state, to the extent practicable, by minimizing tree loss, soil removal, and grading;*

This site is currently vacant grassy lot with few trees on the site. The impacts of new impervious surface will be accommodated by a proposed infiltration basins on the site and the existing mitigation pond. All grading within 50 feet of the pond or any wetlands will require double perimeter barriers.

*d) The harmonious relationships between buildings, open spaces, natural site features, architectural details, and vehicular and pedestrian circulation;*

This site will have one access point located along Ulysses St. NE to the proposed parking lot located in front of the proposed building. The City Engineer has provided comments to the applicant regarding this access points. The proposed parking lot meets the requirements for circulation established in Section 22, Subd. 9 of the Zoning Ordinance. The East Bethel Fire Department has reviewed the site's ingress/egress and has determined that it is appropriate.

The parking lot contains 76 spaces. Section 22 Subd. 7(23) of the Zoning Ordinance specified that 1 parking space must be provided for every 150 square feet of usable floor area for retail establishments. The plan shows that 56 spaces are provided based on the floor area of the retail portion of the building. The required number of parking space for day care facilities is not established by the Code. Section 22 Subd. 7(32) of the Zoning Ordinance specifies that requirements for other uses may be determined on an individual basis. The plan shows that 20 spaces are provided based on the daycare's estimated staffing level. Staff does not have concerns regarding the parking provided, though this may be reviewed again once building permits are applied for. Three short-term parking/drop-off parking stalls are included in the parking plan as required by Section 10 Subd. 12 of the Zoning Ordinance.

Exterior LED lighting is located on the building and from four proposed light posts on the western and southern sides of the property. The contractor is to provide the City with a cut sheet for approval prior to issuance of a building permit. Compliance with the City Engineer's comments regarding lighting is a condition of approval.

The site's trash enclosure is located in the northwestern corner of the parking lot and is 294.5 square feet. Site plans show the proposed screening material of this enclosure to be concrete block with composite wood doors. These are acceptable materials according to Section 23 Subd. 3 of the Zoning Ordinance.

Along the eastern side of the property is a playground area for the proposed daycare. This area will be enclosed by a vinyl chain link fence. A fence permit will be required prior to the installation of this proposed fence.

The proposed building complies with the architectural standards for the B-3 Zoning District established in Section 28, Subd. 2 of the Zoning Ordinance. Both the east and west sides of the structure which face right-of-way (ROW) are comprised of at least 20% glass. The western and eastern sides of the structure facing ROW will be a mix of windows, manufactured stone, and LP Smart Siding. The southern sides of the building, not facing ROW, will also be a mix of glass, manufactured stone, and LP Smart Siding. The northern side of the building will be a majority LP Smart Siding. LP Smart Siding is an engineered wood siding product. This is not explicitly allowed by the Code as an exterior wall finish. Section 28, Subd. 2(A) does lists "Other comparable or superior material approved by City Council" as allowable exterior wall finishes. The City Council may determine if this material is sufficient.

*e) The protection of adjacent and neighboring properties.*

This property is located within an existing commercial park with several industrial businesses. The lot south of this property is used for commercial purposes. Located west of this site is an industrial building. This use is not projected to bring an increase in traffic to the area beyond what is typical for a business park. The site's drainage plan also limits the impact of the proposed building on neighboring properties. The addition of this commercial building with the proposed architecture, landscaping, and screening would not be out of place within this area.

### **Summary**

The application for a Site Plan to allow the construction of a multi-tenant commercial building located at PIN #32-33-23-21-0012 requires review by the Planning Commission and City Council.

Staff has prepared a resolution of approval with conditions recommend by staff. The Planning Commission may recommend additional conditions of approval. A resolution for denial can be prepared at the request of the Planning Commission.

### **Requested Action**

In consideration of the request, the Planning Commission has the following options:

**A. Recommend Approval**

Based on the contents of this report, public testimony, and other evidence available to the Planning Commission, the Planning Commission could recommend approval of the Site Plan for a multi-tenant commercial building located at PIN #32-33-23-21-0012. A draft Resolution has been provided for approval and may be modified to reflect the recommendation of the Planning Commission.

**B. Recommend Denial**

Based on the contents of this report, public testimony, and other evidence available to the Planning Commission, the Planning Commission could recommend denial of the Site Plan.

- This option should be utilized if the Planning Commission can specifically identify one or more provisions of City Code that are not being met by the request. The Planning Commission should provide findings of fact for denial.

### **Attachments:**

1. Draft resolution of approval
2. Location map
3. Narrative dated October 19, 2025
4. Existing Conditions Survey dated October 21, 2025
5. Site plans dated October 23, 2025
6. Civil plans dated October 23, 2025
7. City Engineer's comments dated November 13, 2025
8. Wetland Memorandum and Sketch dated November 6, 2025

**CITY OF EAST BETHEL  
COUNTY OF ANOKA  
STATE OF MINNESOTA**

**RESOLUTION NO. 2025-XX**

A RESOLUTION **APPROVING** A SITE PLAN FOR A MULTI-TENANT COMMERCIAL BUILDING LOCATED ON A PROPERTY LOCATED AT PIN: #32-33-23-21-0012 LEGALLY DESCRIBED AS:

LOT 2, BLOCK 1, CLASSIC COMMERCIAL PARK 2<sup>nd</sup> ADDITION, ANOKA COUNTY, MINNESOTA

**WHEREAS**, AMBA Holdings LLC., the owner of Lot 2, Block 1 of Classic Commercial Park 2<sup>nd</sup> Addition has applied for a site plan review for a 20,400 square foot multi-tenant commercial building containing a daycare and three retail units; and,

**WHEREAS**, a site plan review is required for all new construction commercial buildings within East Bethel in accordance with Appendix A Section 4-12 of the City Code; and,

**WHEREAS**, City staff reviewed the site plan and determined the plans are consistent with city codes; and,

**WHEREAS**, the Planning Commission recommends approval of the Site Plan to the City Council.

**WHEREAS**, the City finds:

1. This property is zoned (B-3) Highway Commercial. The proposed multi-tenant commercial building containing a daycare and three retail units is a permitted use of the property.
2. The application submitted on October 29, 2025 complies with the general Site Plan standards in Section 4, Subd. 12. (D) of the Zoning Ordinance, as outlined in the October 13, 2025 City Council report, except as amended below.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of East Bethel hereby approves the site plan review application for the property located at PIN: #32-33-23-21-0012, subject to the following conditions:

1. The applicant is permitted to construct a multi-tenant commercial building on Lot 2, Block 1 of Classic Commercial Park 2<sup>nd</sup> Addition in accordance with plans received by the City on October 29, 2025, except as amended by this Resolution and approved by the City Engineer and applicable City staff.
2. The applicant must obtain all necessary permits for any proposed tenants.
3. Parking will be reviewed with building permits to ensure adequate parking is provided.

4. The applicant must comply with the conditions of the City Engineer's memos dated November 13, 2025 and any subsequent memos received by the City Engineer. The City Engineer will determine when all items have been addressed.
5. The wetland delineation must be approved prior to issuance of building permits.
6. The plans must be revised to show the approved wetland delineation. Plans should also the required wetland buffers and wetland setbacks in compliance with Section 66-255.
7. An Operation and Maintenance Agreement between the property owner and the City of East Bethel, approved by the City Attorney, must be filed prior to any grading or construction activity.
8. A Site Improvement Performance Agreement between the property owner and the City of East Bethel, approved by the City Attorney, must be executed prior to any grading or construction activity.
9. The applicant shall obtain all necessary building permits from the City of East Bethel prior to the commencement of building.

Adopted this 8<sup>th</sup> day of December, 2025 by the City Council of the City of East Bethel.

CITY OF EAST BETHEL

ATTEST

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Ardie Anderson, Mayor

---

Matt Look, City Administrator

# AMBA East Bethel Site Plan Location Map



-  Parcels
-  City Mask

1 inch equals 557 feet



## **AMBA East Bethel Site Development**

AMBA Holdings LLC is proposing to build a multi-tenant building on ( PID 32-33-23-21-0012). The building will be a total of 20,400 sqft. A majority of the building will consist of a daycare that will have a max capacity of 210 children, totaling 11,860 sqft. The other 8,400 sqft will consist of retail space, unit sizes will depend on future tenant desires. The overall goal is to have the project completed in the fall of 2026.

# CERTIFICATE OF SURVEY

~for~ MW PROPERTIES  
 ~of~ 18XXX ULYSSES STREET NE  
 EAST BETHEL, MN 55011

## PROPERTY DESCRIPTION

Lot 2, Block 1, CLASSIC COMMERCIAL PARK 2ND ADDITION, Anoka County, Minnesota.

## NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 10/23/2025.
- Bearings shown are on Anoka County datum.
- Parcel ID Number: 32-33-23-21-0012.
- Total parcel area = 193,006 sq. ft. (4.43 acres).
- Curb shots are taken at the top and back of curb.
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
- The prior NW Bell Easement that encumbered this parcel per Doc. No. 859256, has been released per Doc. No. \_\_\_\_\_.

## LEGEND

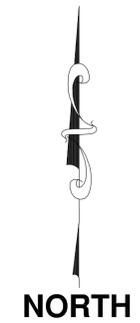
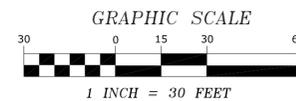
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- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- △ DENOTES SET LARGE SPIKE
- ⊕ DENOTES ANOKA COUNTY CAST IRON MONUMENT
- x 952.36 DENOTES EXISTING SPOT ELEVATION
- DENOTES EXISTING CONTOURS
- DENOTES GUY WIRE
- DENOTES POWER POLE
- DENOTES RETAINING WALL
- OHU DENOTES OVERHEAD UTILITY
- ⊕ DENOTES HYDRANT
- ⊕ DENOTES WATER VALVE
- ⊕ DENOTES WELL
- ⊕ DENOTES SANITARY SEWER MANHOLE
- ⊕ DENOTES LIGHT POLE
- ⊕ DENOTES PROPOSED SOIL BORING. (BY OTHERS)
- DENOTES BITUMINOUS SURFACE
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING WATER MAIN
- FM DENOTES EXISTING SANITARY FORCE MAIN

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Jason E. Rud*  
 JASON E. RUD  
 Date: 10/24/2025 License No. 41578



STATE TRUNK HIGHWAY N. 65  
 MINNESOTA DEPARTMENT OF TRANSPORTATION PLAT NO. 02-M28

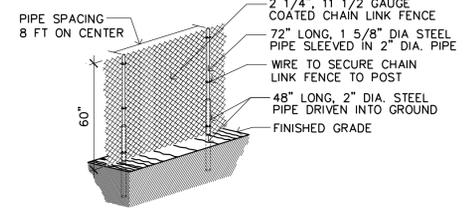
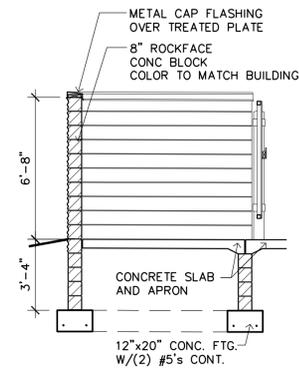
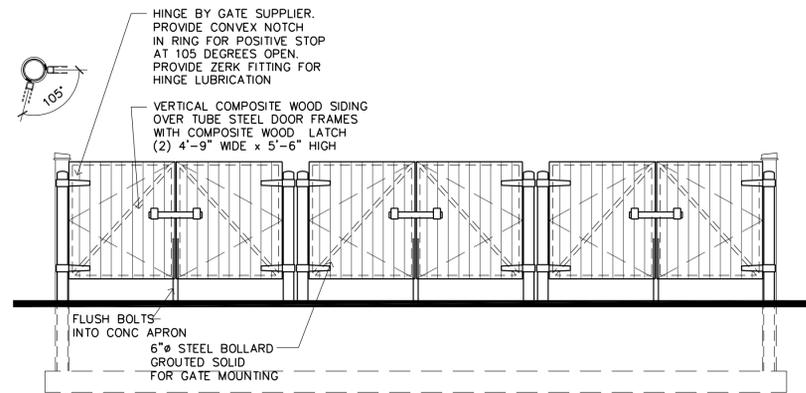
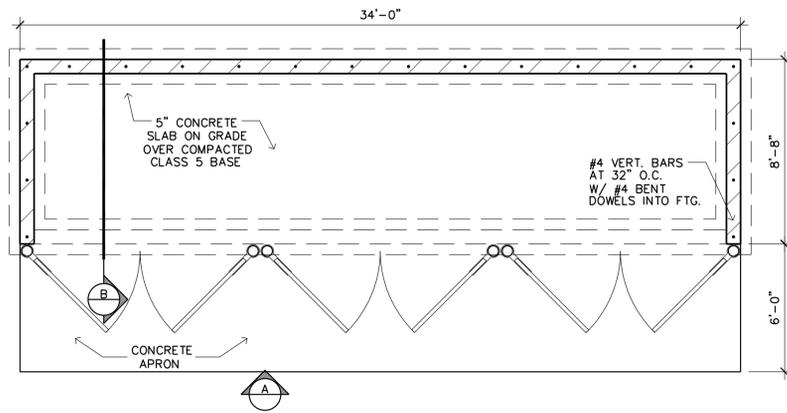


## BENCHMARK

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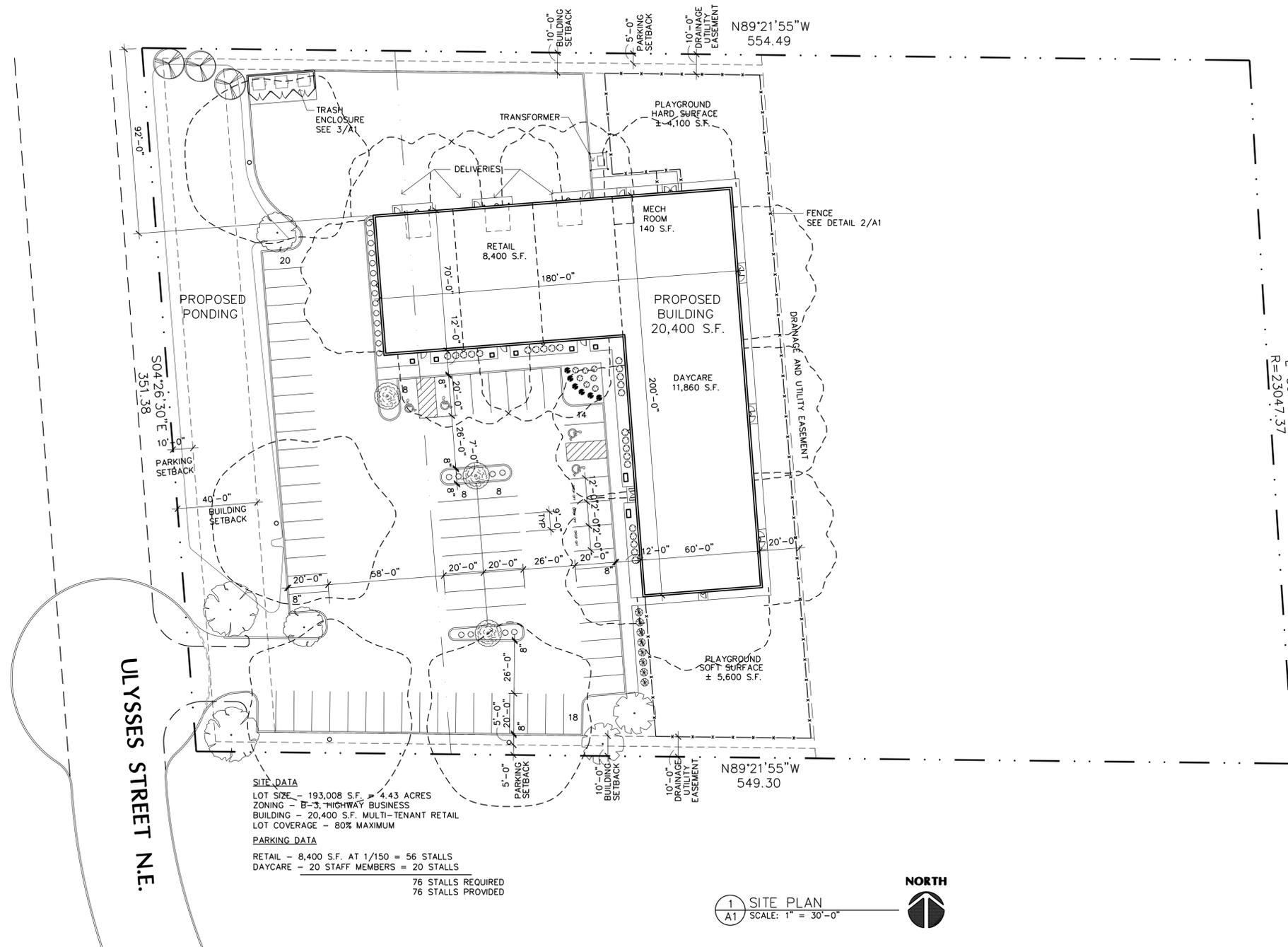
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CHECK BY: JER	FIELD CREW: MR/BJ	
1		
2		
3		
NO.	DATE	DESCRIPTION
		BY

**E. G. RUD & SONS, INC.**  
 EST. 1977  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701



3 TRASH ENCLOSURE  
A1 SCALE: 1/4" = 1'-0"

2 FENCE DETAIL  
A1 SCALE: NOT TO SCALE



**SITE DATA**  
 LOT SIZE - 193,008 S.F. = 4.43 ACRES  
 ZONING - B-3, HIGHWAY BUSINESS  
 BUILDING - 20,400 S.F. MULTI-TENANT RETAIL  
 LOT COVERAGE - 80% MAXIMUM

**PARKING DATA**  
 RETAIL - 8,400 S.F. AT 1/150 = 56 STALLS  
 DAYCARE - 20 STAFF MEMBERS = 20 STALLS  
 76 STALLS REQUIRED  
 76 STALLS PROVIDED

1 SITE PLAN  
A1 SCALE: 1" = 30'-0"



**LAMPERT ARCHITECTS**  
 420 Summit Avenue  
 St. Paul, MN 55102  
 Phone: 763.755.1211 Fax: 763.757.2849  
 lampert@lampert-arch.com

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PRELIMINARY  
 NOT FOR CONSTRUCTION

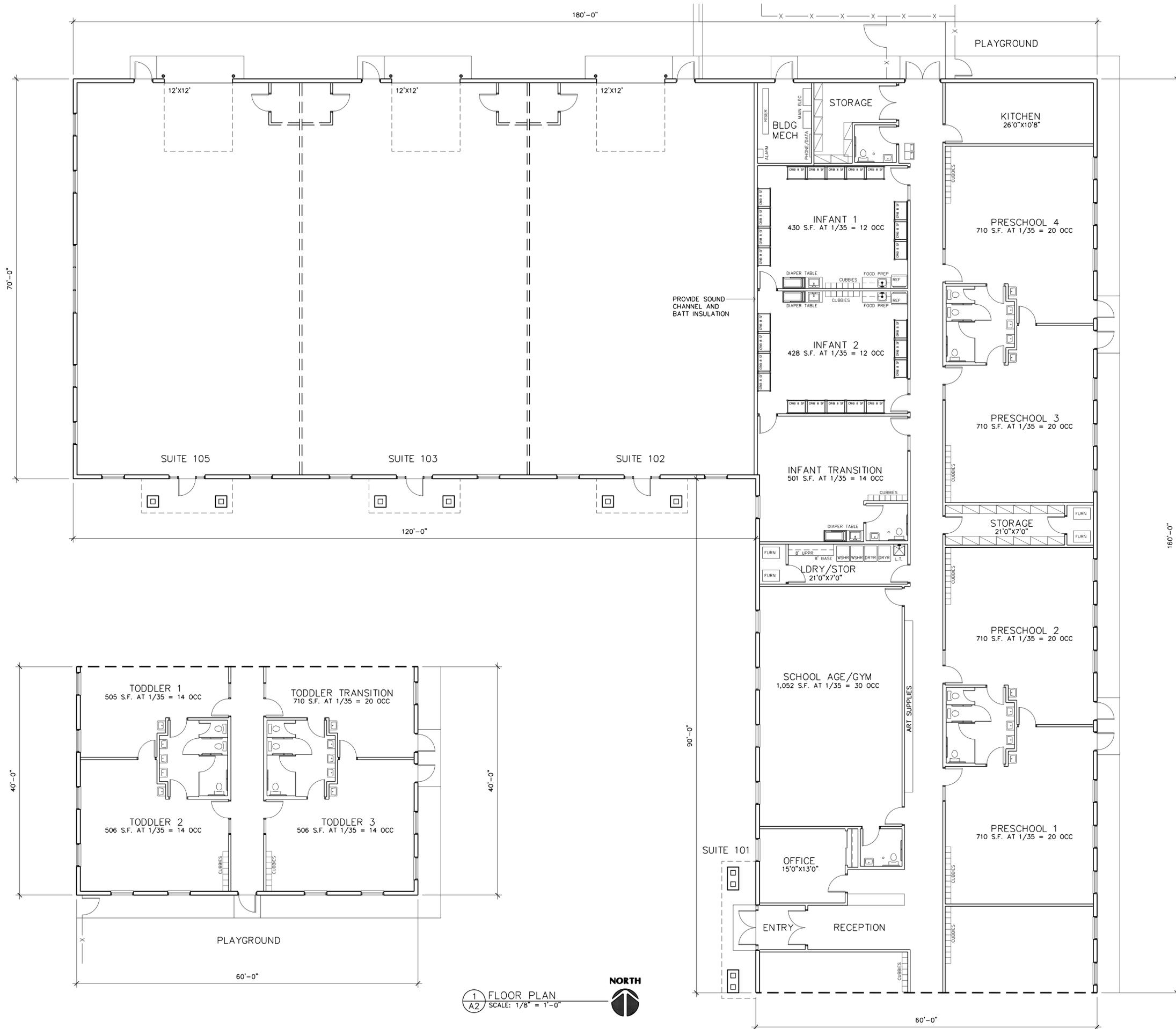
**AMBA EAST BETHEL**  
 East Bethel, Minnesota

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 Project Designer: JAMES B  
 Drawn By: JRB  
 Checked By: LL

Revisions

10/7/25	PRELIMINARY
10/23/25	CITY SUBMITTAL

**SITE PLAN**  
 Sheet Number  
**A1**  
 Project No. 241226-1



1 FLOOR PLAN  
A2 SCALE: 1/8" = 1'-0"



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FLOOR PLAN

Sheet Number

**A2**

Project No. 241226-1



1 WEST ELEVATION  
A3 SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS – WEST  
(WALL AREA TO TRUSS BEARING)

LP SMART SIDING	- 1,208 S.F. (48.1%)
MANUF STONE	- 792 S.F. (31.6%)
WINDOWS	- 508 S.F. (20.3%) > 20% MINIMUM FACING R.O.W.
	2,508 S.F. (100%)



2 SOUTH ELEVATION  
A3 SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS – SOUTH  
(WALL AREA TO TRUSS BEARING)

LP SMART SIDING	- 1,187 S.F. (50.1%)
MANUF STONE	- 707 S.F. (29.8%)
WINDOWS	- 477 S.F. (20.1%)
	2,371 S.F. (100%)



3 EAST ELEVATION  
A3 SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS – EAST  
(WALL AREA TO TRUSS BEARING)

LP SMART SIDING	- 1,275 S.F. (53.8%)
MANUF STONE	- 541 S.F. (22.8%)
WINDOWS	- 552 S.F. (23.3%) > 20% MINIMUM FACING R.O.W.
	2,368 S.F. (100%)



4 NORTH ELEVATION  
A3 SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS – NORTH  
(WALL AREA TO TRUSS BEARING)

LP SMART SIDING	- 1,794 S.F. (75.6%)
MANUF STONE	- 25 S.F. (1.1%)
WINDOWS	- 120 S.F. (5.1%)
DOORS	- 432 S.F. (18.2%)
	2,371 S.F. (100%)



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BUILDING ELEVATIONS

Sheet Number

A3

Project No. 241226-1

Filename: AMBA EAST BETHEL\AMBA EAST BETHEL-A3



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

# AMBA EAST BETHEL

East Bethel, Minnesota

NOTE: THIS DRAWING IS FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL COLORS NEED TO BE FIELD VERIFIED.

PLANTING SCHEDULE						
QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	MTHD	REMARKS
2	AB	AUTUMN BLAZE MAPLE	ACER FREEMANII	2.5" CAL.	BB	
2	IH	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS	2.5" CAL.	BB	
2	SO	SWAMP WHITE OAK	QUERCUS BICOLOR	2.5" CAL.	BB	
3	RS	RED SPLENDOR CRAB	MALUSxHYBRIDS 'RED SPLENDOR'	1.5" CAL.	BB	
3	BH	BLACK HILLS SPRUCE	PICEA GLAUCA DENSATA	6' TALL	BB	
22	BB	COMPACT BURNING BUSH	EUONYMUS ALATUS 'COMPACTA'	18"-24" TALL	CONT.	
7	GS	GOLDMOUND SPIREA	SPIREA X BUMALDA 'GOLDMOUND'	18"-24" TALL	CONT.	
6	BJ	BLUE CHIP JUNIPER	JUNIPERUS BLUECHIP	18"-24" WIDE	CONT.	
25	GD	GARDEN GLOW DOGWOOD	CORNUS HESSI GARDEN GLOW	18"-24" TALL	CONT.	
8	GA	GLOBE ARBORVITAE	THUJA OCCIDENTALIS	18"-24" TALL	CONT.	

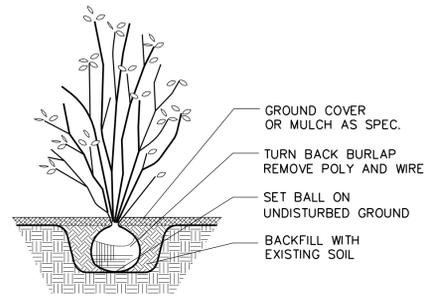
**LANDSCAPE NOTES:**

- SEED/SOD AREAS AS SHOWN ON THE PLAN.
- SEE PLAN FOR PLANTINGS LOCATED IN ROCK MULCH BED. ROCK MULCH BEDS SEPARATED FROM SOD BY BLACK VINYL EDGER. OTHER PLANTINGS TO HAVE WOOD MULCH RING TO PREVENT WEED GROWTH AND CONSERVE WATER.
- UNDERGROUND IRRIGATION SYSTEM TO BE PROVIDED FOR ALL FOUNDATION PLANTINGS AND TURF AREAS. PROVIDE MOISTURE SENSOR. IRRIGATION DESIGN BY CONTRACTOR.
- EXISTING SIGNIFICANT VEGETATION DOES NOT EXIST

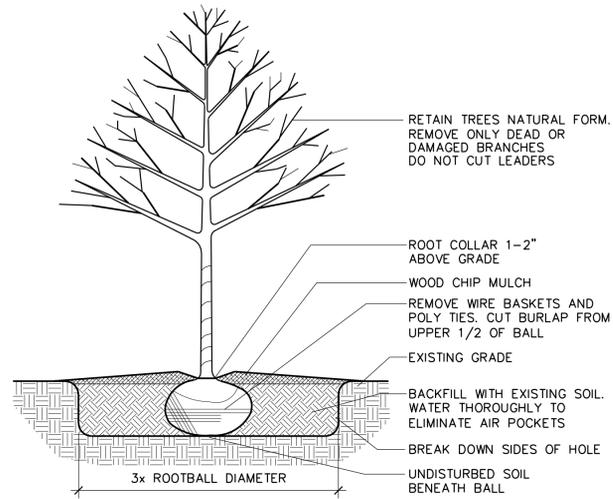
**LANDSCAPE REQUIREMENT:**

OVERSTORY/CONIFEROUS  
20,400 S.F. AT 1/2,000 = 10 TREES REQUIRED  
10 TREES PROVIDED

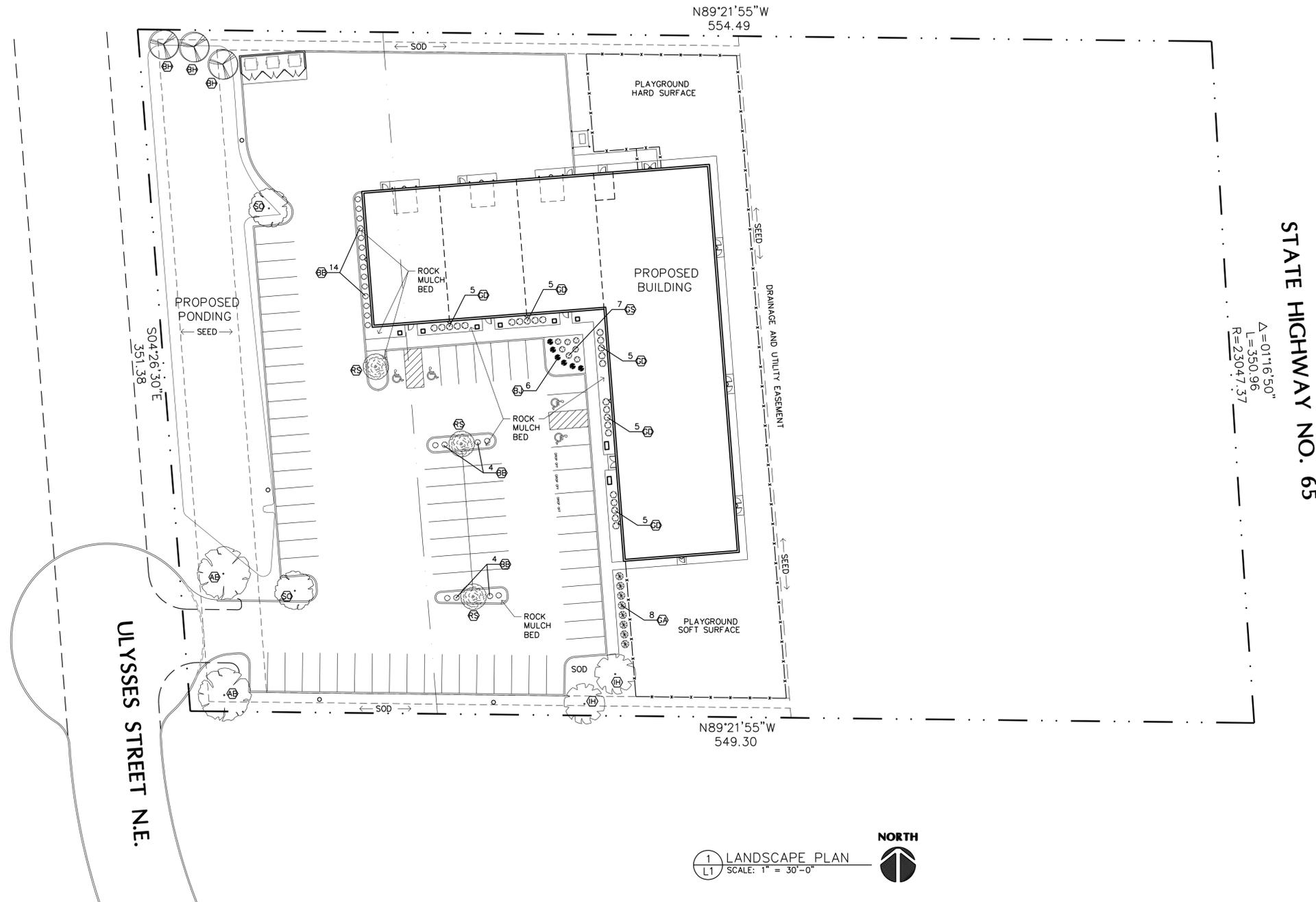
SHRUBS  
20,400 S.F. AT 1/300 = 68 SHRUBS REQUIRED  
68 SHRUBS PROVIDED



3 SHRUB PLANTING DETAIL  
L1 SCALE: NOT TO SCALE



2 TREE PLANTING DETAIL  
L1 SCALE: NOT TO SCALE



1 LANDSCAPE PLAN  
L1 SCALE: 1" = 30'-0"



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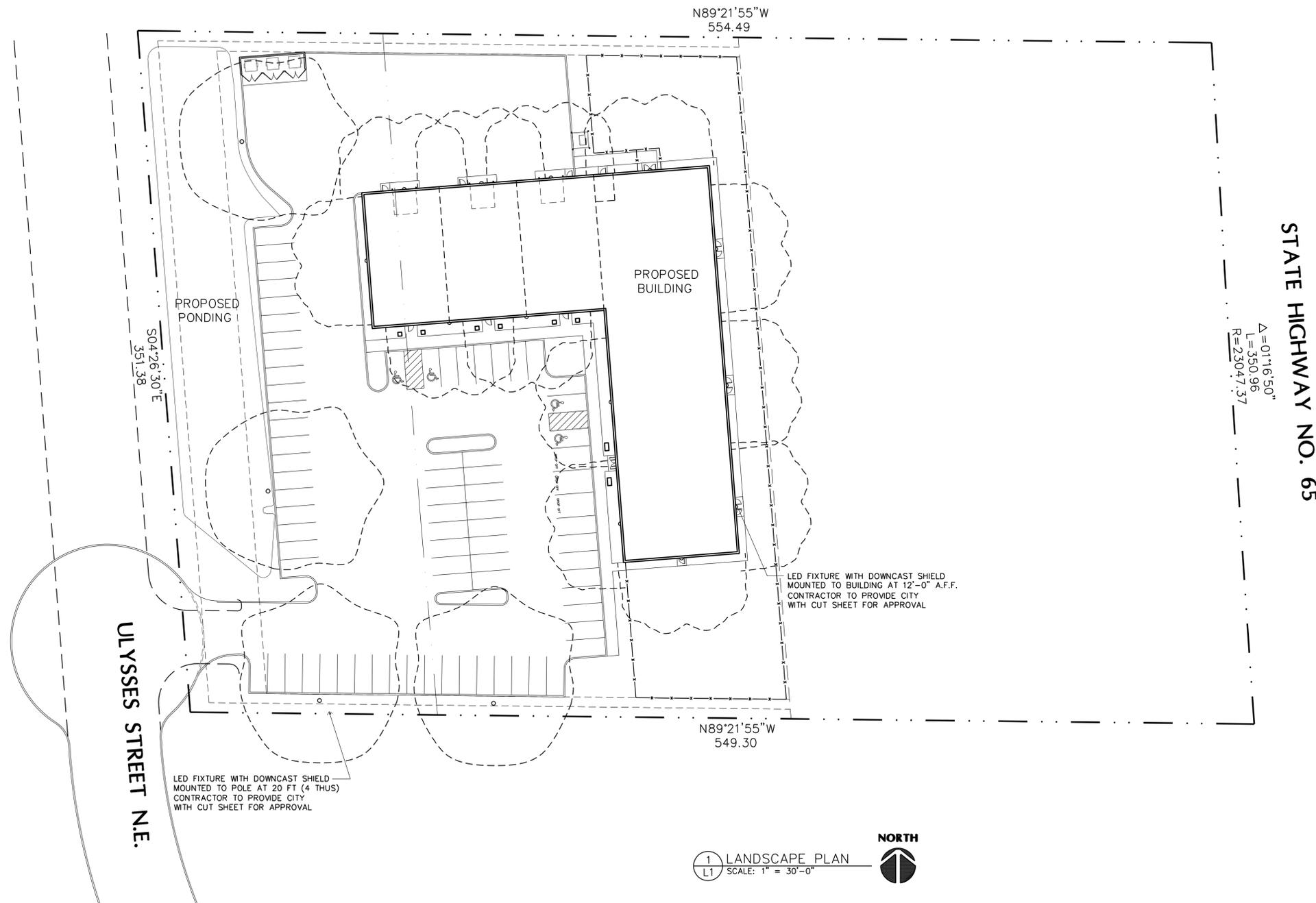
Revisions	Date	Description
	10/7/25	PRELIMINARY
	10/23/25	CITY SUBMITTAL

LANDSCAPE PLAN

Sheet Number

L1

Project No. 241226-1



1 LANDSCAPE PLAN  
 L1 SCALE: 1" = 30'-0"



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SCHEMATIC  
 SITE LIGHTING PLAN

Sheet Number

L2

Project No. 241226-1

# AMBA EAST BETHEL

## TITLE SHEET, LEGEND, EXISTING CONDITIONS & REMOVAL PLAN

### EAST BETHEL, MINNESOTA

#### LEGEND \*

— OHW —	EXISTING OVERHEAD ELECTRIC	—   —	PROPOSED WATER PIPE
— TEL —	EXISTING UNDERGROUND TELEPHONE	— > —	PROPOSED SANITARY SEWER PIPE
— CBL —	EXISTING UNDERGROUND CABLE	— >> —	PROPOSED STORM SEWER PIPE
□	EXISTING TELEPHONE PEDESTAL	— << —	PROPOSED DRAINTILE AND CLEAN-OUT
□	EXISTING ELECTRICAL PEDESTAL	— ELEC —	PROPOSED ELECTRIC SERVICE *
□	EXISTING CABLE PEDESTAL	— GAS —	PROPOSED GAS SERVICE *
□	EXISTING UTILITY POLE	— TEL —	PROPOSED TELEPHONE SERVICE *
☆	EXISTING LIGHT POLE	⊙	PROPOSED STORM MANHOLE
— > —	EXISTING STORM SEWER	□	PROPOSED CATCH BASIN
—   —	EXISTING WATER MAIN	□	PROPOSED FLARED-END SECTION
— > —	EXISTING SANITARY SEWER	⊗	PROPOSED GATE VALVE
— FM —	EXISTING FORCEMAIN	⊗	PROPOSED HYDRANT
⊙	EXISTING STORM MANHOLE	⊙	PROPOSED SANITARY SEWER MANHOLE
□	EXISTING CATCH BASIN	— 928 —	PROPOSED CONTOUR
◀	EXISTING FLARED-END SECTION	— 930 —	PROPOSED CONTOUR
⊗	EXISTING GATE VALVE	⊗ 920.60	PROPOSED SPOT ELEVATION (GUTTERLINE, BITUMINOUS SURFACE, OR GROUND SURFACE UNLESS OTHERWISE INDICATED)
⊗	EXISTING HYDRANT	— S —	PROPOSED SILT FENCE
⊗	EXISTING WELL	— 4.0% —	PROPOSED DIRECTION OF DRAINAGE
⊙	EXISTING SANITARY SEWER MANHOLE	■	PROPOSED BITUMINOUS
— 928 —	EXISTING CONTOUR	■	PROPOSED FILTRATION MEDIA
— 930 —	EXISTING CONTOUR	■	PROPOSED HEAVY-DUTY PAVEMENT
⊗ 920.99	EXISTING SPOT ELEVATION	■	PROPOSED ENKAMAT
⊗ 920.42	EXISTING SPOT ELEVATION (MATCH INTO ELEVATION)	■	PROPOSED RETAINING WALL
■	EXISTING BITUMINOUS	■	BITUMINOUS PAVEMENT REMOVAL
☀	EXISTING TREES	■	CONCRETE SIDEWALK REMOVAL
✕	EXISTING TREE TO BE REMOVED	■	PROPOSED CONCRETE SIDEWALK
→	SURFACE DRAINAGE DIRECTION		
— X —	EXISTING FENCE		
— ○ —	EXISTING RETAINING WALL		
— WET —	EXISTING WETLAND		

\* NOT ALL SYMBOLS ARE APPLICABLE.

#### GENERAL NOTES

THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.

CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.

THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING SANITARY SEWER, STORM SEWER, AND WATER MAIN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.

INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.

ALL UTILITIES THAT WILL BE OWNED AND MAINTAINED BY THE CITY AFTER CONSTRUCTION SHALL BE BUILT TO CITY STANDARDS.

THE CONTRACTOR SHALL NOTIFY CITY PUBLIC WORKS DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO THE INTERRUPTION OF ANY SEWER OR WATER SERVICES TO EXISTING HOMES OR BUSINESSES.

THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FROM THE CITY PRIOR TO ANY WORK.

STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.

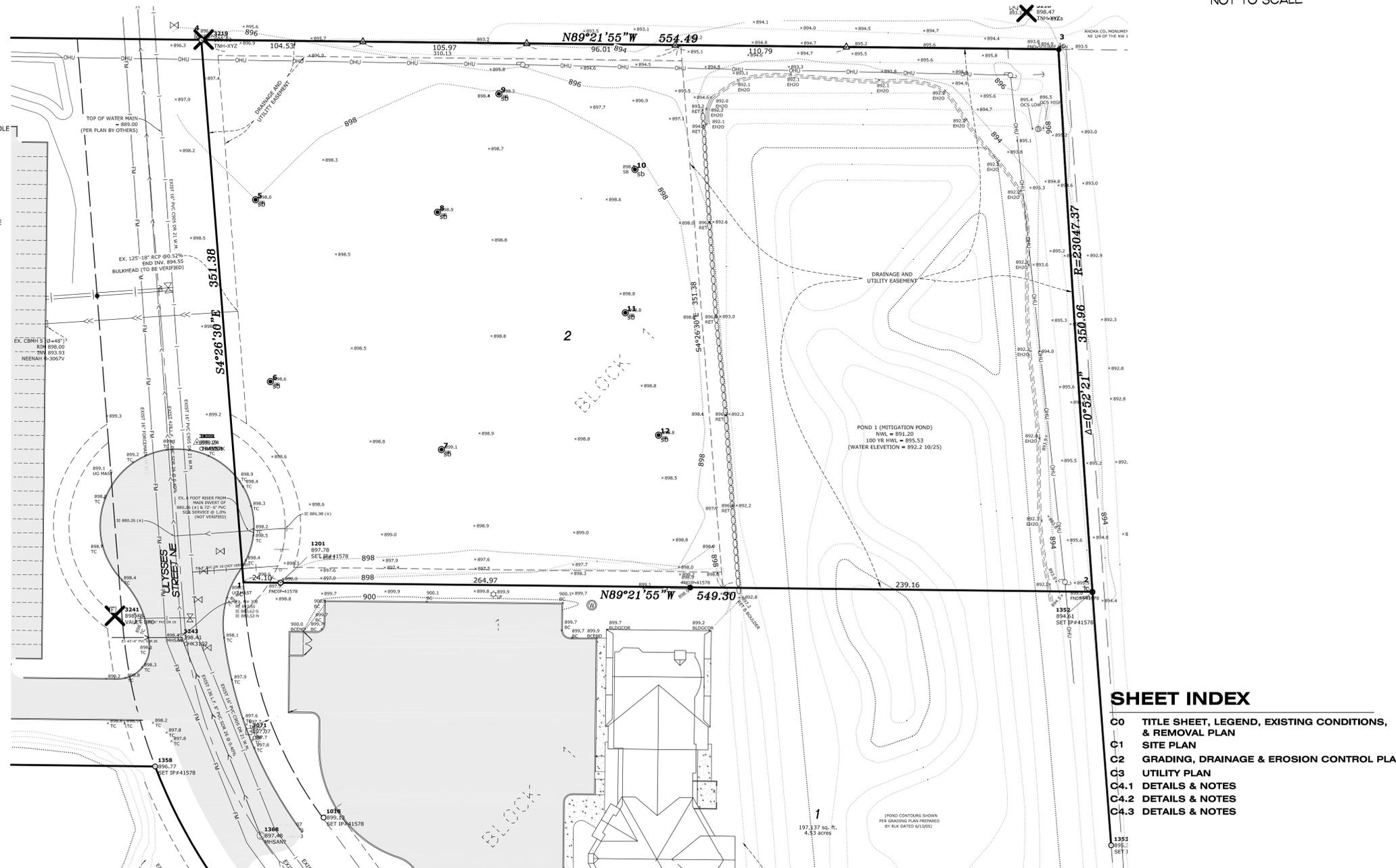
NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

#### VICINITY MAP



NOT TO SCALE



#### SHEET INDEX

C0	TITLE SHEET, LEGEND, EXISTING CONDITIONS, & REMOVAL PLAN
C1	SITE PLAN
C2	GRADING, DRAINAGE & EROSION CONTROL PLAN
C3	UTILITY PLAN
C4.1	DETAILS & NOTES
C4.2	DETAILS & NOTES
C4.3	DETAILS & NOTES

DRAWN BY: M.Q.A. DESIGN BY: Q.M.A.  
 CHECKD BY: M.Q.A. PROJ. NO. 25-2224

ORIGINAL DATE: SEPTEMBER 23, 2025

DATE	REVISION DESCRIPTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
**QASEM M. ABUGHAZLEH** LIC. NO. 56289  
 DATE: 10.23.2025

**AMBA EAST BETHEL COMMERCIAL BUILDING EAST BETHEL, MINNESOTA**  
 TITLE SHEET, LEGEND, EXISTING CONDITIONS, & REMOVAL PLAN

PREPARED FOR:  
**MITCHELL WEBB**



**PLOWE ENGINEERING, INC.**  
 6776 LAKE DRIVE  
 SUITE 110  
 LINO LAKES, MN 55014

PHONE: (651) 361-8210  
 FAX: (651) 361-8701

**NORTH**



0 20 40  
 1 INCH = 40 FEET

**CO**



below.  
 Call before you dig.

## TITLE SHEET, LEGEND, EXISTING CONDITIONS, & REMOVAL PLAN AMBA EAST BETHEL COMMERCIAL BUILDING

DATE	REVISION DESCRIPTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
**QASEM M. ABUGHAZLEN** LIC. NO. 56299  
 DATE: 10.23.2025

**AMBA EAST BETHEL COMMERCIAL BUILDING**  
 EAST BETHEL, MINNESOTA  
 GRADING, DRAINAGE, AND EROSION CONTROL PLAN

PREPARED FOR:  
**MITCHELL WEBB**

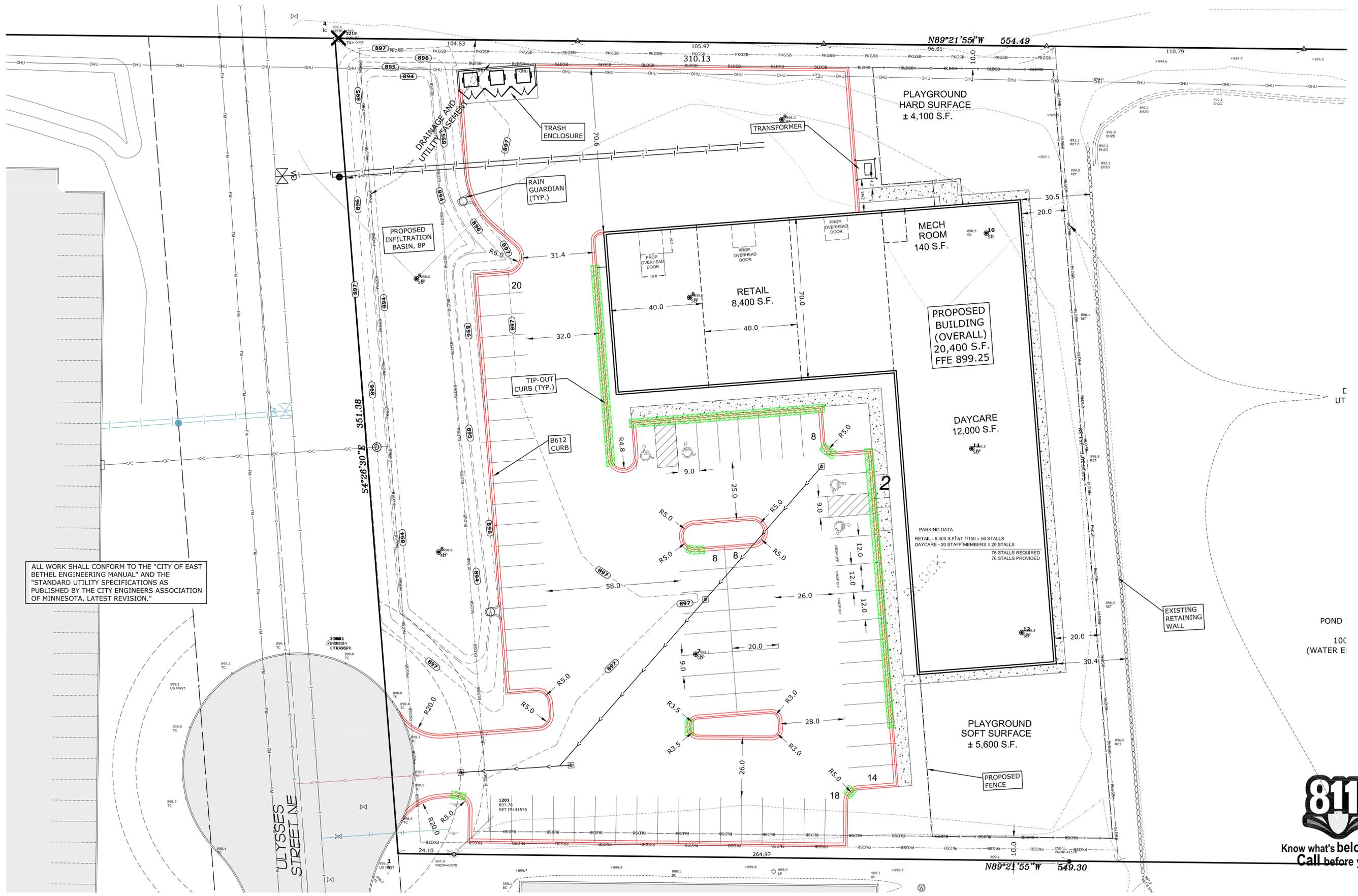
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 SITE PLANNING & ENGINEERING  
 6776 LAKE DRIVE  
 SUITE 110  
 LINO LAKES, MN 55014  
 PHONE: (651) 361-8210  
 FAX: (651) 361-8701

**811**  
 Know what's below.  
 Call before you dig.

**NORTH**

0 10 20  
 1 INCH = 20 FEET

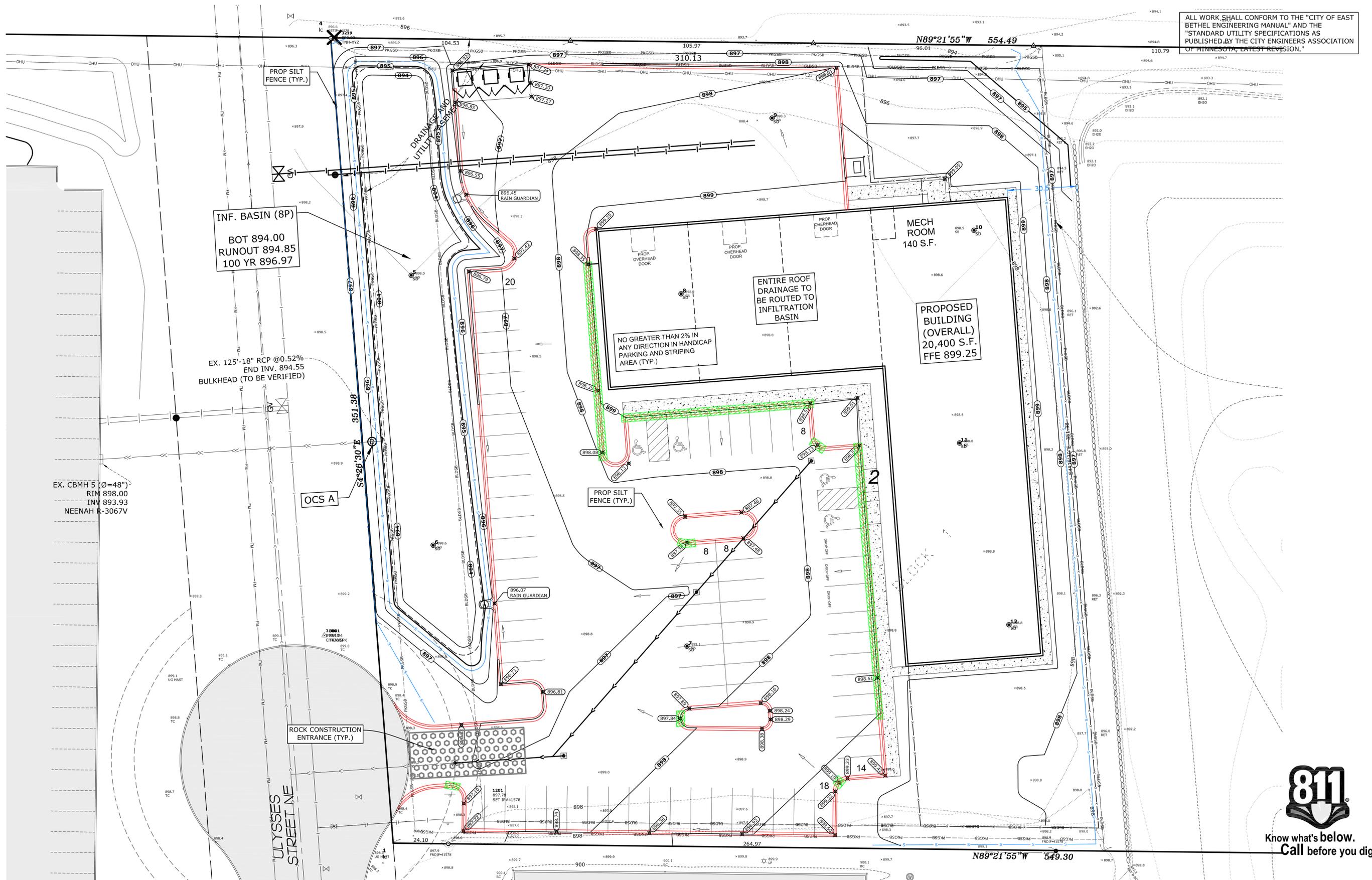
**C1**



ALL WORK SHALL CONFORM TO THE "CITY OF EAST BETHEL ENGINEERING MANUAL" AND THE "STANDARD UTILITY SPECIFICATIONS AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA, LATEST REVISION."

**SITE PLAN  
 AMBA EAST BETHEL COMMERCIAL BUILDING**

ALL WORK SHALL CONFORM TO THE "CITY OF EAST BETHEL ENGINEERING MANUAL" AND THE "STANDARD UTILITY SPECIFICATIONS AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA, LATEST REVISION."



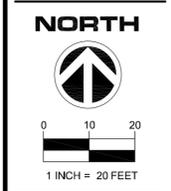
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**QASEM M. ABUGHAZLEN**  
 LICENSE NO. 56299  
 DATE: 10.23.2025

**AMBA EAST BETHEL COMMERCIAL BUILDING**  
**EAST BETHEL, MINNESOTA**  
 GRADING, DRAINAGE, AND EROSION CONTROL PLAN

PREPARED FOR:  
**MITCHELL WEBB**

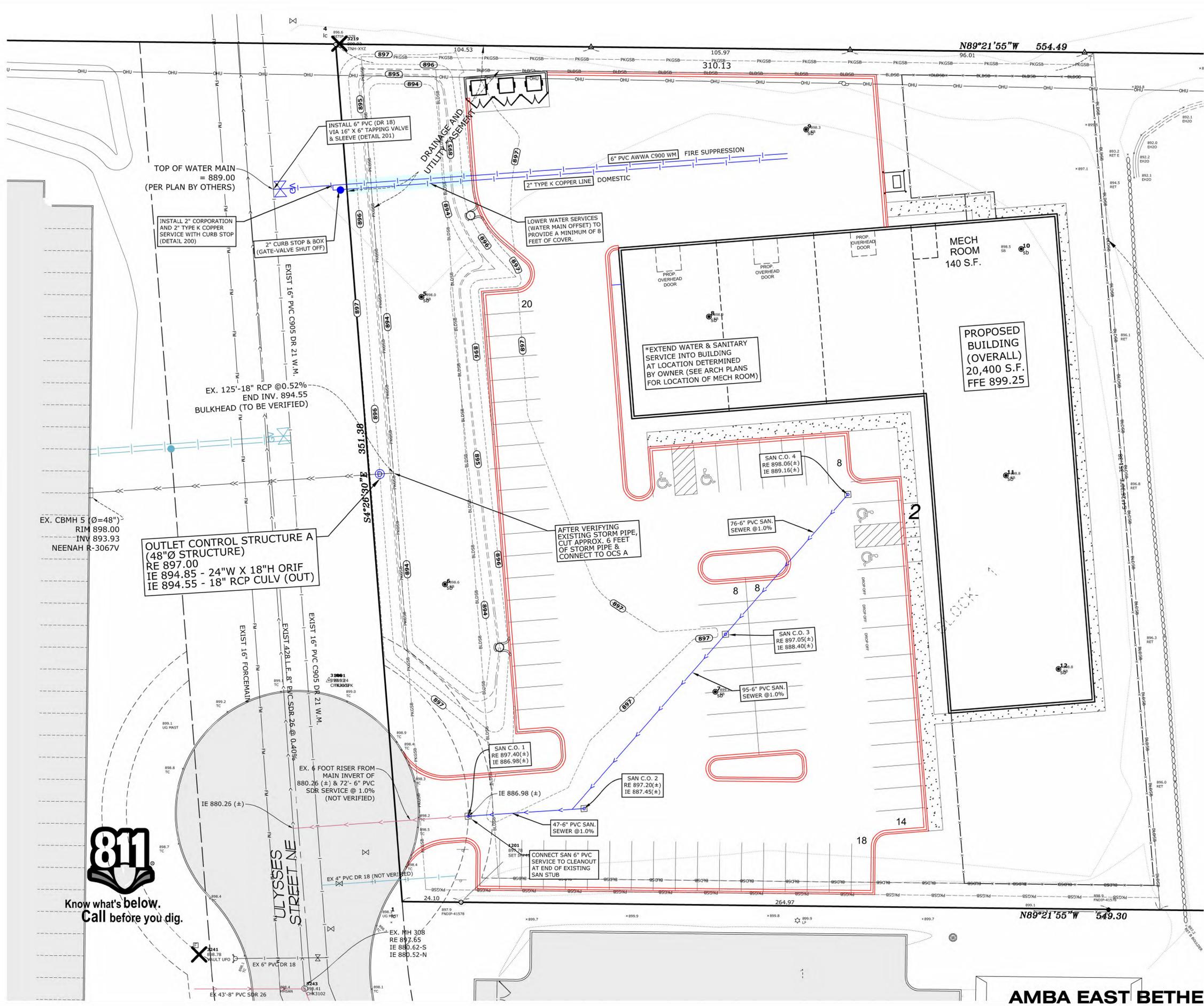
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 SUITE 110  
 LINO LAKES, MN 55014  
 PHONE: (651) 361-8210  
 FAX: (651) 361-8701



SEE SHEET C4.1 FOR GRADING & EROSION CONTROL NOTES.

**GRADING, DRAINAGE, AND EROSION CONTROL PLAN  
 AMBA EAST BETHEL COMMERCIAL BUILDING**

**C2**



**SANITARY SEWER NOTES**

EXISTING SANITARY SEWER LOCATION, SIZE, AND ELEVATION SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

PROPOSED SANITARY SEWER SERVICES SHALL BE 6" PVC SCHEDULE 40.

ALL SEWER MAINS AND SERVICES THAT DO NOT MEET A MINIMUM BURY OF 7.5 FEET SHALL BE INSULATED.

**STORM SEWER NOTES**

FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE INSTALLED IN ACCORDANCE WITH MINNESOTA RULES, PART 4715.2820.

STORM SEWER PIPES TO BE JOINED TO THE CATCH BASIN MANHOLES W/ APPROVED RESILIENT RUBBER JOINTS TO MAKE THEM GASTIGHT OR WATERTIGHT. CEMENT MORTAR JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

**WATER MAIN NOTES**

EXISTING WATER MAIN LOCATION AND SIZE SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

PROVIDE PIPE INSULATION WHERE SEWER (SANITARY OR STORM) CROSSES WITHIN 18" OF WATER MAIN.

PROPOSED WATER SERVICE (DOMESTIC) SHALL BE A 2" TYPE K COPPER.

PROPOSED WATER SERVICE (FIRE SUPPRESSION) SHALL BE 6" PVC AWWA C900 DR 18 (CONFORMING TO MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY STANDARDS). ALL WATERMAIN FITTINGS SHALL BE DUCTILE IRON, LONG MECHANICAL JOINT, FULL BODY FITTINGS, PER THE CURRENT STANDARDS. THIS 6" LINE IS FOR FIRE SUPPRESSION.

ALL SERVICE SHUTOFF VALVES SHALL BE LOCATED WITHIN CITY RIGHT-OF-WAY OR DRAINAGE & UTILITY EASEMENTS.

MECHANICAL JOINTS SHALL BE USED FOR WATER MAIN PIPES 4" IN DIAMETER AND LARGER. RUBBER GASKETS SHALL CONFORM TO AWWA C111 (ANSI A21.11).

ALL FITTINGS AND RETAINING RODS SHALL BE PROTECTED USING SACRIFICIAL ZINC ANODE CAPS SUCH AS 175P190 PROTECTO CAPS AS MANUFACTURED BY EBAA IRON OR AN APPROVED EQUAL. CONTRACTORS SHALL SUPPLY 2 PROTECTO CAPS PER MECHANICAL JOINT GLAND INSTALLED.

ALL FITTING, ETC. SHALL BE SECURED UTILIZING COR-BLUE T-BOLTS AS MANUFACTURED BY NSS INDUSTRIES OR APPROVED EQUAL.

WATERMAIN AND RESTRAINING DEVICES - THE INTERIOR AND EXTERIOR OF ALL WATERMAIN FITTINGS AND RESTRAINING DEVICES SHALL BE COATED WITH A 6-8 MIL NOMINAL THICKNESS, FUSION BONDED EPOXY CONFORMING TO THE REQUIREMENTS OF ANSI/AWWA C350 AND C116/A21.16.

TRACER WIRE IS REQUIRED FOR ALL PVC WATERMAIN PIPE AND SERVICE LINES AND SHALL BE NO. 8 COPPER INSULATED AND RATED FOR UNDERGROUND SERVICE. TRACER WIRE SHALL REMAIN CONTINUOUS AND BE BROUGHT TO THE SURFACE AT ALL HYDRANTS AND SERVICES PER STANDARD PLATES NO. 200 AND 204. THE TRACER WIRE SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MINNESOTA RURAL WATER TRACER WIRE SPECIFICATION.

TRACER WIRE WILL BE LAID WITH ALL PVC WATER MAINS, VALVE BOXES, AND HYDRANTS.

CONNECTORS (THREE-WAY LUG): ALLOWS TAP WITHOUT CUTTING THE MAIN LINE. WIRE SIZE: #14-10 SOLID COPPER AND #12 STEEL CORE COPPER-CLAD TRACER WIRE. INCLUDES SILICON SEALANT, DESIGNED FOR DIRECT BURIAL. CONNECTORS SHALL BE COPPERHEAD INDUSTRIES OR APPROVED EQUAL.

MAGNESIUM GROUNDING RODS: EQUIPMENT FROM THE FOLLOWING MANUFACTURERS AND WHICH MEET THESE SPECIFICATIONS WILL BE ACCEPTED. COPPERHEAD INDUSTRIES PART # ANO-1005 (1.5 LBS). MAGNESIUM GROUNDING RODS ARE REQUIRED AT ALL ACCESS BOXES AS SHOWN ON THE PLANS.

CONNECTORS (WIRE NUTS): JOINS UP TO 4 #12 WIRES. WIRE SIZE: #22-8 SOLID COPPER AND #12 STEEL CORE COPPER-CLAD TRACER WIRE. DESIGNED FOR DIRECT BURIAL. CONNECTORS SHALL BE COPPERHEAD INDUSTRIES OR APPROVED EQUAL.

THE NEW WATERMAIN WILL NEED TO BE PRESSURE TESTED PER THE CURRENT STANDARDS.

MAINTAIN MINIMUM 8-FT COVER TO TOP OF ALL WATER MAIN PIPE.

ALL PERMITS, INCLUDING BUT NOT LIMITED TO PERMITS FROM CITY OF EAST BETHEL AND THE MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY, SHALL BE OBTAINED PRIOR TO ORDERING OF MATERIAL AND STARTING OF CONSTRUCTION. NO INSTALLATION OF UTILITIES SHALL BE PERMITTED UNTIL ALL APPLICABLE PERMITS ARE RECEIVED BY THE CONTRACTOR.

INSTALLATION OF UTILITIES SHALL BE CONSTRUCTED TO MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY STANDARDS AND CITY STANDARDS AS IDENTIFIED IN THE PUBLIC WORKS/ENGINEERING STANDARDS.

ALL WORK SHALL CONFORM TO THE "CITY OF EAST BETHEL ENGINEERING MANUAL" AND THE "STANDARD UTILITY SPECIFICATIONS AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA, LATEST REVISION."

DRAWN BY:	DESIGN BY:
M.Q.A.	Q.M.A.
CHKD BY:	PROJ. NO.
M.Q.A.	25-2224
ORIGINAL DATE:	
SEPTEMBER 23, 2025	

DATE	REVISION DESCRIPTION

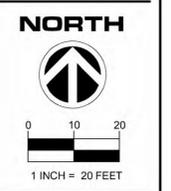
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**QASEM M. ABUGHAZLEH** LIC. NO. 56299  
DATE: 10.23.2025

**AMBA EAST BETHEL COMMERCIAL BUILDING**  
EAST BETHEL, MINNESOTA  
UTILITY PLAN

PREPARED FOR:  
**MITCHELL WEBB**

**PLOWE ENGINEERING, INC.**  
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PHONE: (651) 361-8210  
FAX: (651) 361-8701



**C3**

**UTILITY PLAN  
AMBA EAST BETHEL COMMERCIAL BUILDING**

## SITE SEQUENCING

- PRIOR TO ANY GRADING OPERATIONS, THE CONTRACTOR SHALL INSTALL ROCK CONSTRUCTION ENTRANCE (LOCATIONS TO BE DETERMINED - COORDINATE WITH OWNER) AND PERIMETER SILT FENCE AS SHOWN ON PLAN. (CONTACT CITY TO INSPECT EROSION CONTROL MEASURES PRIOR TO GRADING OPERATIONS, IF NECESSARY.) ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE.

- THE CONTRACTOR SHALL PROVIDE ALL SOD, SEED, MULCH AND FERTILIZER WHICH SHALL CONFORM WITH THE FOLLOWING MNDOT SPECIFICATIONS AS MODIFIED BELOW.

ITEM	MNDOT SPECIFICATION/NOTES
SOD	3878
SEED **	3876
* FOR TURF ESTABLISHMENT	
COMMERCIAL TURF	MNDOT MIX 25-131 (220 LBS/ACRE)
RESIDENTIAL TURF	MNDOT MIX 25-131 (120 LBS/ACRE)
TEMPORARY	
FALL COVER	MNDOT MIX 21-112 (100 LBS/ACRE)
SPRING/SUMMER	MNDOT MIX 21-111 (100 LBS/ACRE)
SOIL-BUILDING COVER	MNDOT MIX 21-113 (110 LBS/ACRE)
1-2 YEARS COVER	MNDOT MIX 22-111 (30.5 LBS/ACRE)
2-5 YEARS COVER	MNDOT MIX 22-112 (40 LBS/ACRE)
MULCH	3882 (TYPE 1 - DISC ANCHORED)
FERTILIZER	3881
WOOD FIBER BLANKET	3885 (CATEGORY 2)

\* MOW A MINIMUM OF ONCE PER 2 WEEKS

\*\* SEEDING AREAS SHALL BE EITHER MULCHED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION.

- ALL EXPOSED SOILS MUST HAVE TEMPORARY EROSION CONTROL PROTECTION OR PERMANENT COVER WITHIN FOURTEEN (14) DAYS.

- THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO ALL ADJACENT PROPERTY LINES AND MAKE SURE THE EROSION CONTROL PRACTICES IN PLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.

- THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION. SILT FENCE TO BE REMOVED ONLY AFTER COMPLETION OF BUILDING CONSTRUCTION AND UPON ESTABLISHMENT OF VEGETATION.

- THE CONTRACTOR SHALL PROVIDE WOOD FIBER BLANKET FOR ALL AREAS OF CONCENTRATED FLOW AND FOR ALL SLOPES 3:1 OR GREATER.

- PROTECT ALL STORM WATER MANAGEMENT FACILITIES FROM CONSTRUCTION RUN-OFF. CONTRACTOR TO INSTALL AND CONSTRUCT SAID FACILITIES ONCE SITE HAS BEEN STABILIZED.

- IF ANY SLOPES APPEAR TO BE FAILING, THE CONTRACTOR SHALL PROVIDE ADDITIONAL SILT FENCE, BIOROLLS AND EROSION CONTROL BLANKET AS NEEDED.

- THE CONTRACTOR SHALL FINAL GRADE SWALE AREAS UPON STABILIZATION OF UPSTREAM AREAS.

- THE CONTRACTOR SHALL SOD ALL DISTURBED DRAINAGE AREAS, INCLUDING SWALES & OVERFLOWS.

- UPON GRADING COMPLETION THE CONTRACTOR SHALL PROVIDE NATIVE TOPSOIL WITH SOD OR SEED, AND MULCH ANCHORED WITH A STRAIGHT SET DISC WITHIN 48 HOURS OF FINAL GRADING.

- EXCESS SOIL SHOULD BE TREATED LIKE OTHER EXPOSED SOIL AND STABILIZED WITHIN 72 HOURS. ANY SOIL STOCKPILES ARE TO HAVE SILT FENCE PLACED ON DOWNSTREAM SIDES.

- IF A STREET, ALLEY, SIDEWALK OR OTHER PUBLIC PLACE SHOULD BECOME SOILED OR LITTERED, THE CONTRACTOR SHALL CAUSE SUCH SOILING OR LITTERING TO BE CLEANED UP BY SWEEPING NOT LATER THAN THE END OF THE WORKING DAY IN WHICH SUCH SOILING OR LITTERING SHALL HAVE OCCURRED OR BEEN OBSERVED.

## OTHER POLLUTION CONTROL MEASURES

CONSTRUCTION WASTE MATERIALS - ALL WASTE MATERIALS GENERATED AS A RESULT OF SITE CONSTRUCTION SHALL BE COLLECTED AND REMOVED ACCORDING TO ALL LOCAL AND/OR STATE WASTE MANAGEMENT REGULATIONS BY A LICENSED SOLID WASTE MANAGEMENT COMPANY. THE CONTRACTOR WILL ENSURE THAT ALL SITE PERSONNEL ARE INSTRUCTED IN THESE PRACTICES.

HAZARDOUS WASTES - ALL HAZARDOUS WASTE MATERIALS SHALL BE STORED PROPERLY TO PREVENT SPILLS AND VANDALISM. WHEN NECESSARY, HAZARDOUS WASTES WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL AND/OR STATE REGULATION OR BY THE MANUFACTURER.

SANITARY WASTE - ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS BY A LOCAL, LICENSED WATER MANAGEMENT COMPANY, AS REQUIRED BY LOCAL REGULATION.

OFFSITE VEHICLE TRACKING - A ROCK CONSTRUCTION ENTRANCE HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. IF A STREET, ALLEY, SIDEWALK OR OTHER PUBLIC PLACE SHOULD BECOME SOILED OR LITTERED, THE CONTRACTOR SHALL CAUSE SUCH SOILING OR LITTERING TO BE CLEANED UP BY SWEEPING NOT LATER THAN THE END OF THE WORKING DAY IN WHICH SUCH SOILING OR LITTERING SHALL HAVE OCCURRED OR BEEN OBSERVED. DUMP TRUCKS HAULING LOOSE MATERIALS (SAND, TOPSOIL, ETC.) TO AND/OR FROM THE SITE SHALL BE COVERED WITH A TARPULIN.

VEHICLE CLEANING - NO ENGINE DEGREASING IS ALLOWED ON-SITE. EXTERNAL WASHING OF VEHICLES TO BE CONFINED TO A DEFINED AREA ("BONE YARD") ON-SITE. CONTRACTOR TO PROVIDE DESIGNATED TRUCK WASHOUT AREA WITH APPROPRIATE SIGNAGE. WASHOUT AREA IS TO BE A MINIMUM OF 50' FROM DITCHES, PONDS, OR OTHER STORMWATER FEATURES. ALL LIQUID AND SOLID WASTE GENERATED BY WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER (E.G. COMPACTED CLAY LINER, IMPERMEABLE GEO-MEMBRANE) AND DISPOSED OF PROPERLY.

SPILL PREVENTION AND CONTROL - ALL VEHICLES WILL BE CHECKED FOR LEAKING OIL AND FLUIDS. VEHICLES LEAKING FLUIDS WILL NOT BE ALLOWED ON-SITE. SPILL KITS WILL BE STORED ON-SITE AND ALL SPILLS WILL BE CLEANED UP IMMEDIATELY ON DISCOVERY. SPENT ABSORBENT MATERIALS AND RAGS WILL BE HAULED OFF-SITE IMMEDIATELY AFTER THE SPILL IS CLEANED UP AND PROPERLY DISPOSED OF. SPILL PREVENTION AND CONTROL MEASURES SHALL BE IMPLEMENTED ONCE CONSTRUCTION BEGINS.

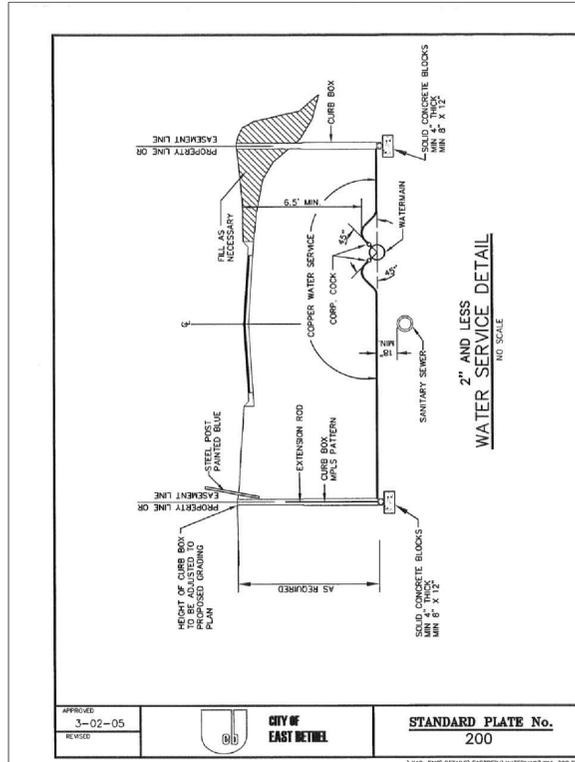
SOIL STOCKPILES - INSTALL SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AROUND ALL TEMPORARY SOIL STOCKPILES. LOCATE SOIL OR DIRT STOCKPILES SUCH THAT DOWNSLOPE DRAINAGE LENGTH IS NO LESS THAN 8 M (25 FEET) FROM THE TOE OF THE PILE TO A SURFACE WATER, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS, OR CONDUITS AND DITCHES UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER. IF REMAINING FOR MORE THAN 7 DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. DURING STREET REPAIR, COVER CONSTRUCTION SOIL OR DIRT STOCKPILES LOCATED CLOSER THAN 8 M (25 FEET) TO A ROADWAY OR DRAINAGE CHANNEL WITH TARPS, AND PROTECT STORM SEWER INLETS WITH SILT SOCKS OR STAKED SILT FENCE.

PROVIDE WIMCO (OR APPROVED EQUAL) FOR INLET PROTECTION AT ALL EXISTING STORM SEWER INLETS THAT WILL RECEIVE RUN-OFF DURING CONSTRUCTION. INLET PROTECTION TO REMAIN IN-PLACE UNTIL AT LEAST 70% OF SITE VEGETATION HAS BEEN ESTABLISHED.

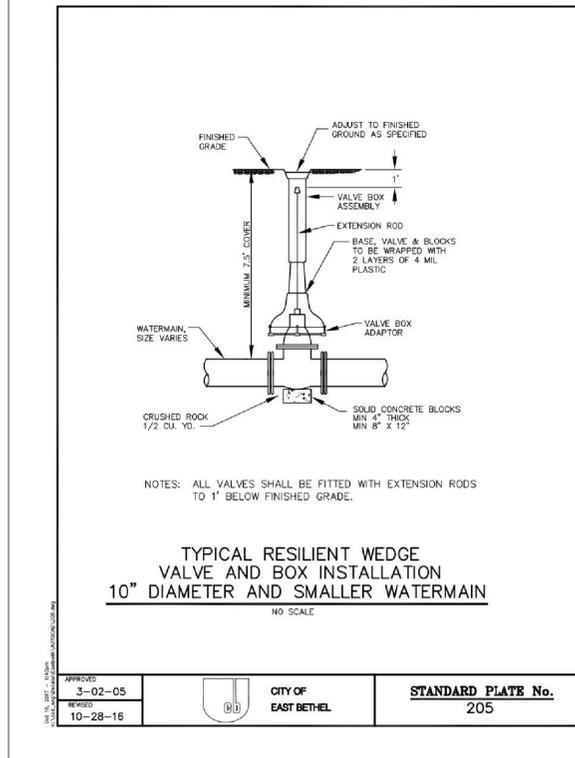
CONTRACTOR TO PROVIDE DESIGNATED CONCRETE TRUCK WASHOUT AREA WITH APPROPRIATE SIGNAGE. KEEP WASHOUT AREAS AS FAR AS PRACTICAL FROM STORM DRAINS, DITCHES AND PONDS. DO NOT ALLOW RUN-OFF FROM THIS AREA BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH FOR LIQUID AND SOLID WASTE. AFTER WASTE CONCRETE IS SET, BREAK-UP AND DISPOSE OF PROPERLY.

THE CONTRACTOR MUST DISCHARGE TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. THE CONTRACTOR MAY DISCHARGE FROM THE TEMPORARY OR PERMANENT SEDIMENTATION BASINS TO SURFACE WATERS IF THE BASIN WATER HAS BEEN VISUALLY CHECKED TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED IN THE BASIN AND THAT NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF THE WATER CANNOT BE DISCHARGED TO A SEDIMENTATION BASIN PRIOR TO ENTERING THE SURFACE WATER, IT MUST BE TREATED WITH THE APPROPRIATE BMPs, SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE RECEIVING WATER OR DOWNSTREAM PROPERTIES.

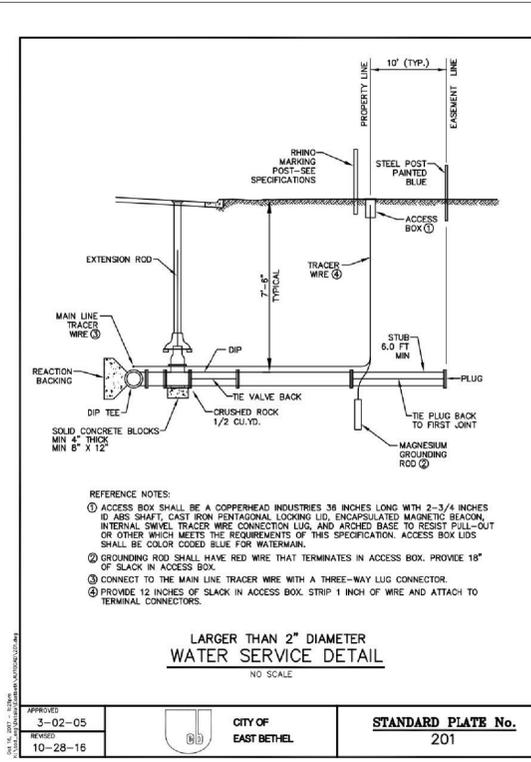
ALL WORK SHALL CONFORM TO THE "CITY OF EAST BETHEL ENGINEERING MANUAL" AND THE "STANDARD UTILITY SPECIFICATIONS AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA, LATEST REVISION."



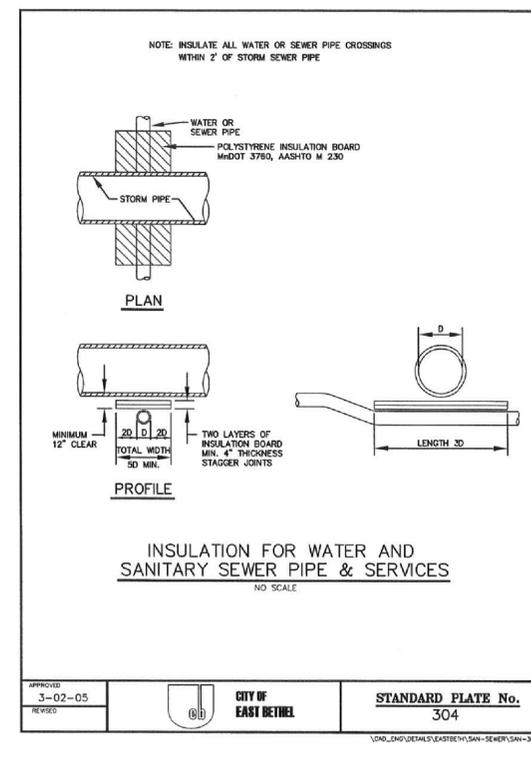
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REVISED 10-28-16			



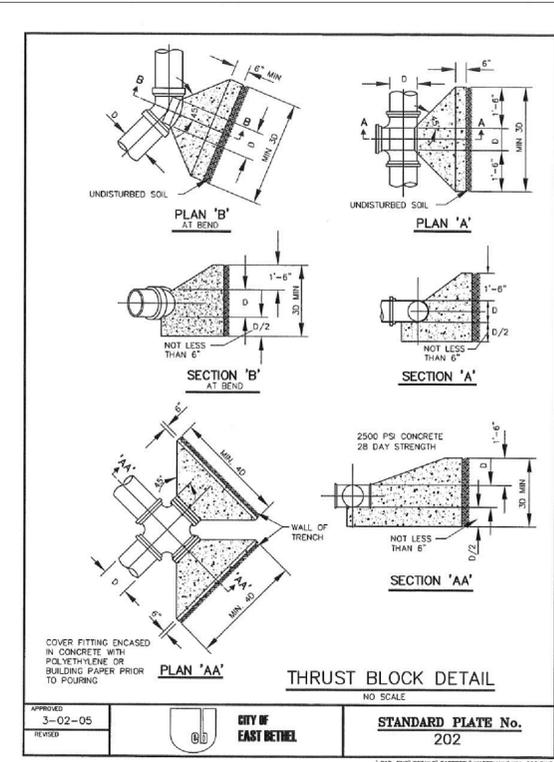
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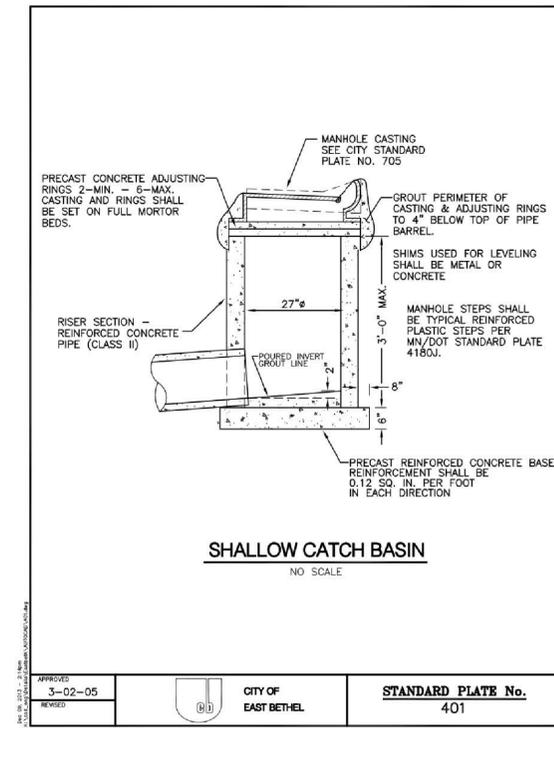
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REVISED 10-28-16			



APPROVED 3-02-05		CITY OF EAST BETHEL	STANDARD PLATE No. 304
REVISED			



APPROVED 3-02-05		CITY OF EAST BETHEL	STANDARD PLATE No. 202
REVISED			



APPROVED 3-02-05		CITY OF EAST BETHEL	STANDARD PLATE No. 401
REVISED			

DRAWN BY: M.Q.A. DESIGN BY: Q.M.A.  
 CHECKD BY: M.Q.A. PROJ. NO. 25-2224  
 ORIGINAL DATE: SEPTEMBER 23, 2025

DATE: \_\_\_\_\_ REVISION DESCRIPTION: \_\_\_\_\_

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

OUSEM M. ABUGHAZLEN LIC. NO. 56289  
 DATE: 10.23.2025

AMBA EAST BETHEL  
 COMMERCIAL BUILDING  
 EAST BETHEL, MINNESOTA

PREPARED FOR:  
 MITCHELL WEBB



SITE PLANNING & ENGINEERING

**Plowe**  
 ENGINEERING, INC.

6776 LAKE DRIVE  
 SUITE 110  
 LINO LAKES, MN 55014  
 PHONE: (651) 361-8210  
 FAX: (651) 361-8701

**NORTH**



0 5 10  
 1 INCH = 10 FEET

**C4.1**

DETAILS & NOTES  
 AMBA EAST BETHEL COMMERCIAL BUILDING

DATE	REVISION DESCRIPTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

**QASEM M. ABUGHAZLEH** LIC. NO. 56289  
 DATE: 10.23.2025

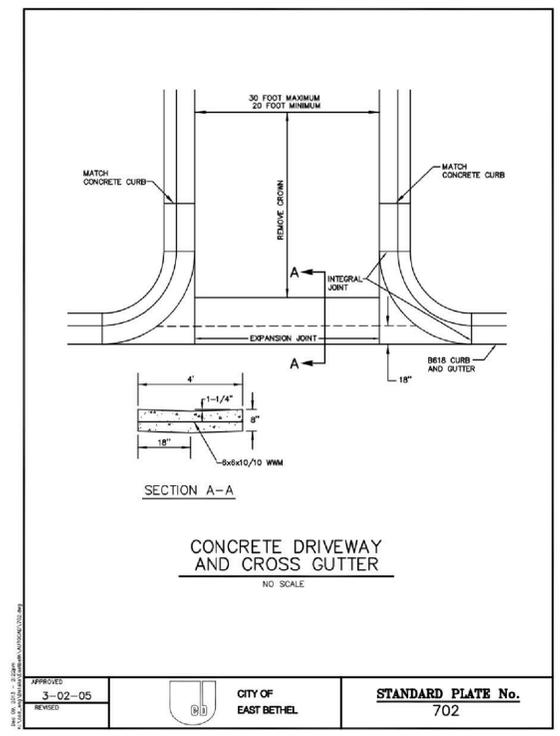
**AMBA EAST BETHEL COMMERCIAL BUILDING**  
 EAST BETHEL, MINNESOTA

DETAILS & NOTES

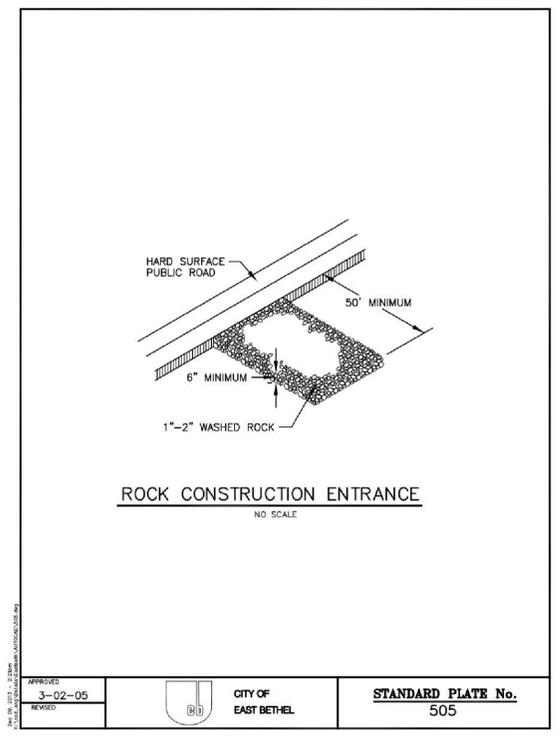
PREPARED FOR:  
 MITCHELL WEBB

**PLOWE ENGINEERING, INC.**  
 SITE PLANNING & ENGINEERING  
 6775 LAKE DRIVE  
 SUITE 110  
 LINO LAKES, MN 55014  
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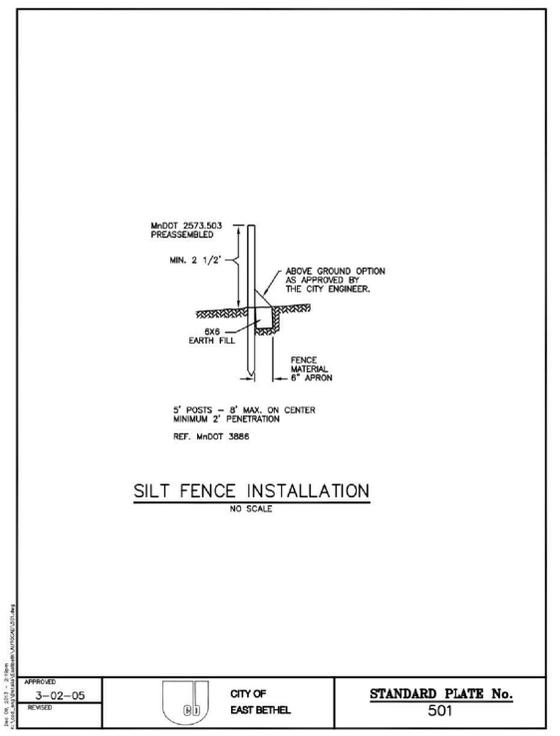
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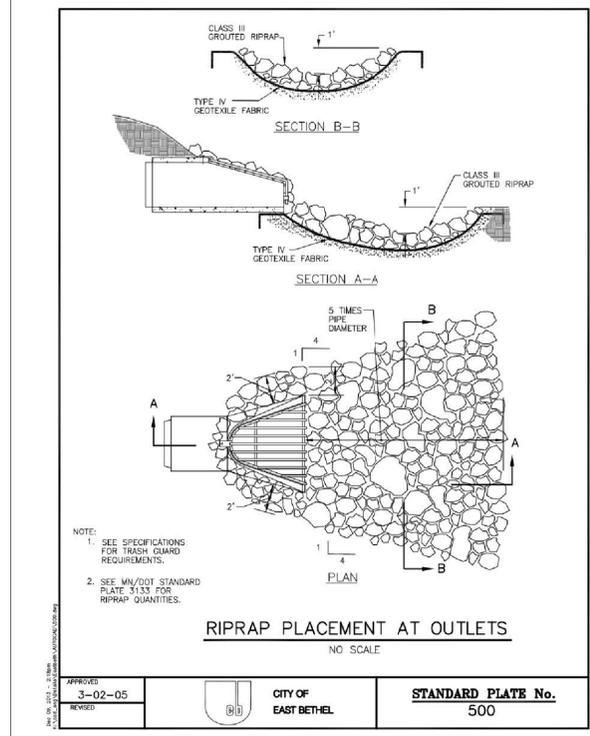
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REVISION			



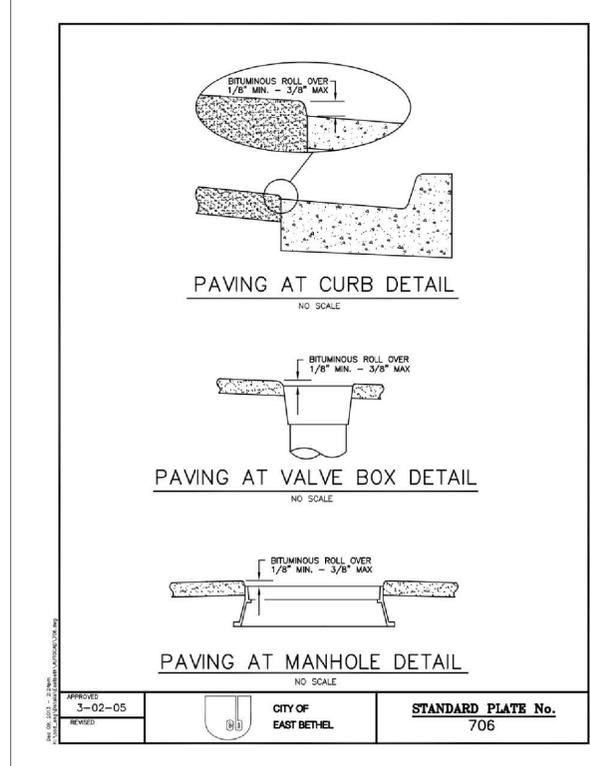
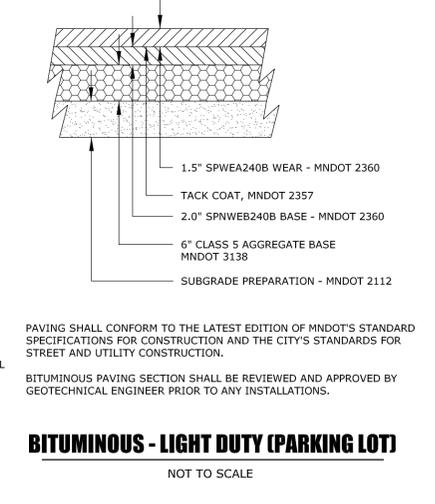
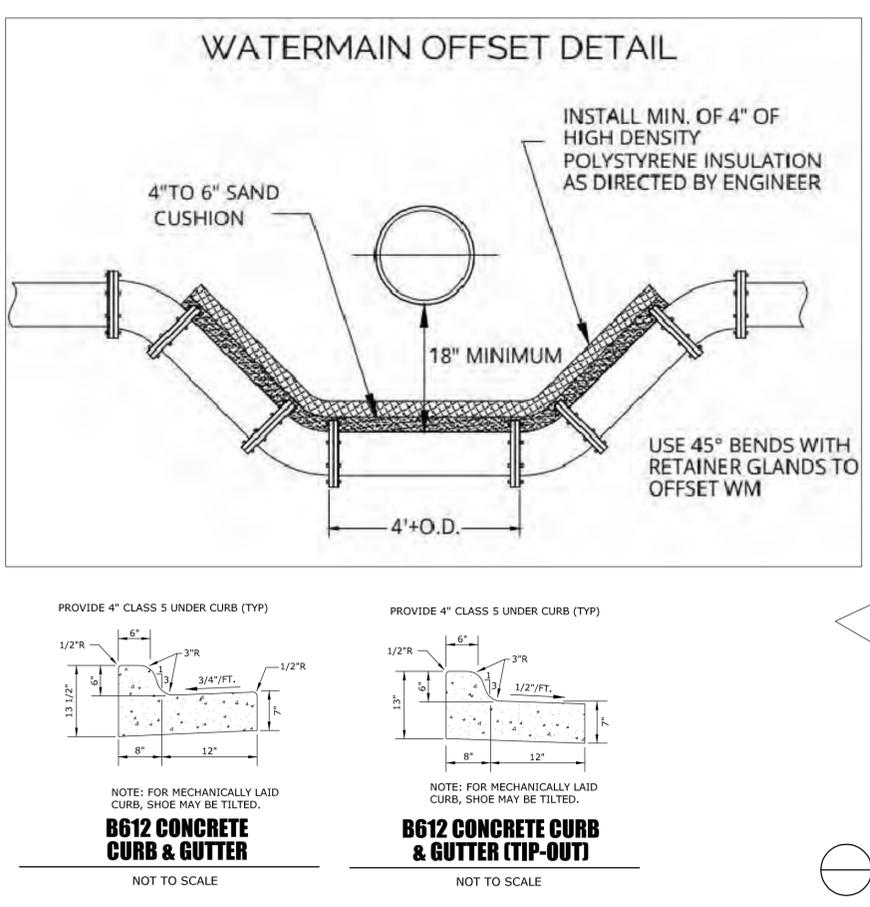
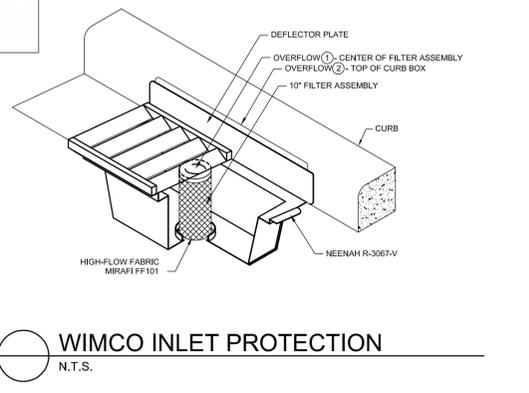
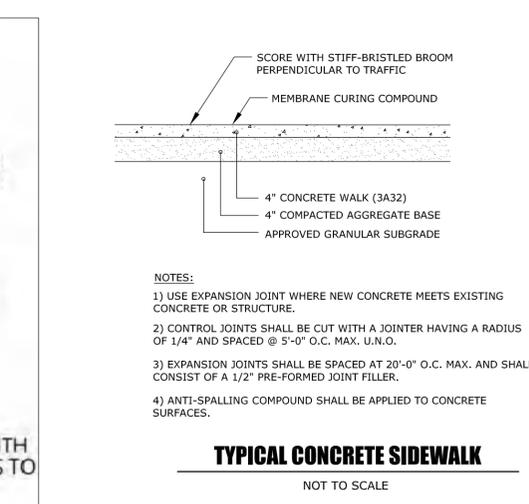
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REVISION			



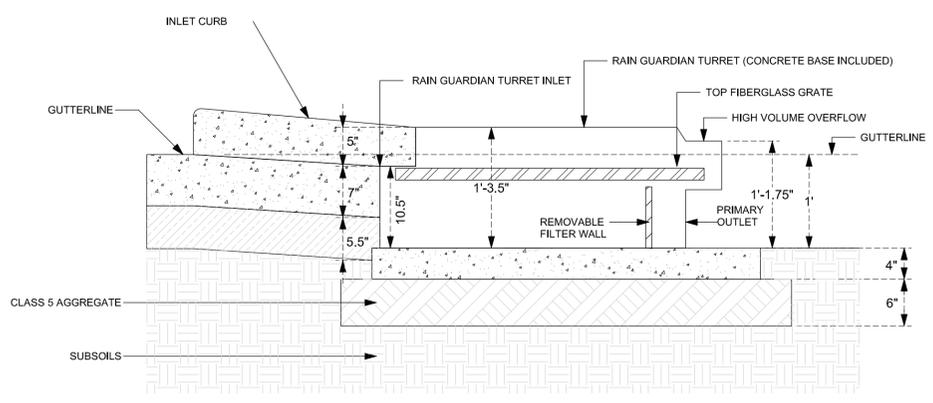
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REVISION			



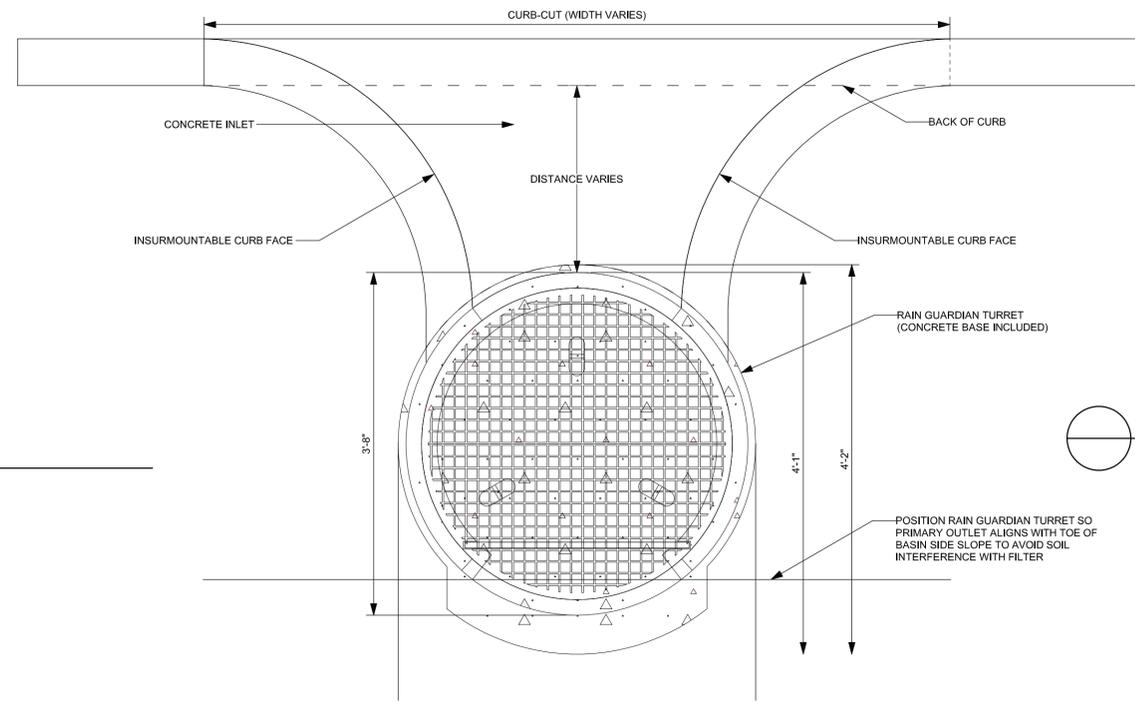
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REVISION			



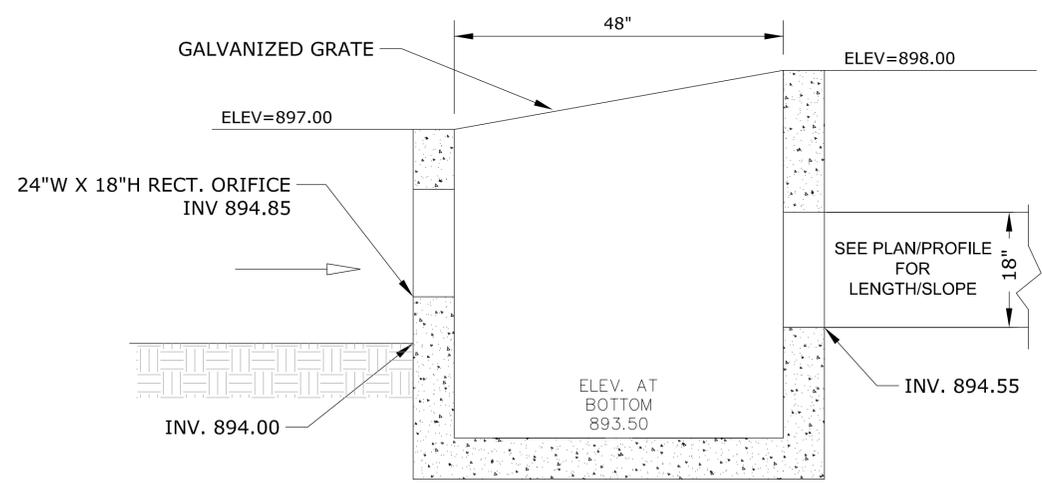
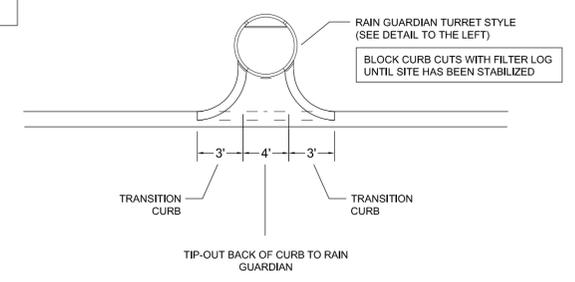
APPROVED	3-02-05	CITY OF EAST BETHEL	STANDARD PLATE No. 706
REVISION			



**RAIN GUARDIAN - TURRET STYLE**  
 N.T.S.



**CURB CUTS @ RAIN GUARDIAN**  
 N.T.S.

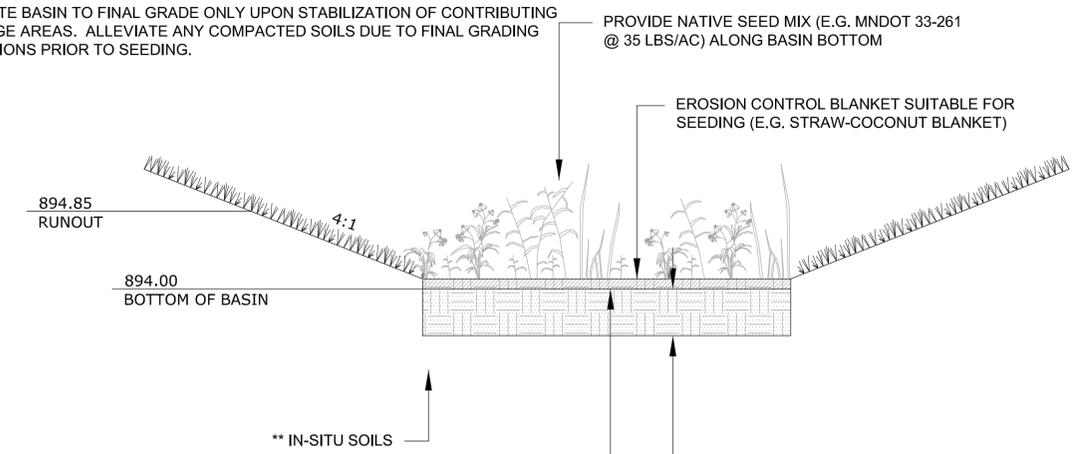


**OUTLET CONTROL STRUCTURE A (OCS A)**  
 N.T.S.

**NOTES**

1. MARK-OFF BASIN AREA (E.G. FENCING, SILT FENCE, ETC.) TO PREVENT CONSTRUCTION TRAFFIC FROM ENTERING BASIN AREA.
2. USE LOW-IMPACT, EARTH MOVING EQUIPMENT (WIDE TRACK OR MARSH TRACK EQUIPMENT, OR LIGHT-EQUIPMENT WITH TURF-TYPE TIRES) WITHIN BASIN.
3. PROTECT BASIN FROM RUN-OFF DURING CONSTRUCTION ACTIVITIES
4. DO NOT EXCAVATE BASIN TO FINAL GRADE UNTIL UPSTREAM DRAINAGE AREAS HAVE BEEN STABILIZED.
5. REMOVE ANY TOPSOIL AND/OR UNSUITABLE SOILS WITHIN INFILTRATION BASIN FOOTPRINT. ANY SEDIMENT THAT IS WASHED INTO THE BASIN SHALL BE REMOVED.
6. NO MINING OF SANDY SOILS ALLOWED IN BASIN AREA.
7. EXCAVATE BASIN TO FINAL GRADE ONLY UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREAS. ALLEVIATE ANY COMPACTED SOILS DUE TO FINAL GRADING OPERATIONS PRIOR TO SEEDING.

AFTER INFILTRATION BASIN AREA HAS BEEN EXCAVATED TO FINAL GRADE, PERFORM A DOUBLE-RING INFILTRMETER TEST TO VERIFY INFILTRATION CAPACITY OF IN-SITU SOILS.



**INFILTRATION BASIN (8P)**  
 N.T.S.

\*\* ALLEVIATE ANY COMPACTED SOILS (BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL PLOW, RIPPER OR SUBSOILER) TO A DEPTH NECESSARY TO ALLEVIATE COMPACTION

- (1) REMOVE ANY EXISTING TOPSOIL OR FILL DEEMED UNSUITABLE FOR INFILTRATION (GEOTECHNICAL ENGINEER TO REVIEW ON-SITE SOILS)
  - (2) IN AREAS OF FILL, PLACE SALVAGED ON-SITE SANDY SOILS SUITABLE FOR INFILTRATION WITH <5% FINES (AS DETERMINED BY GEOTECHNICAL ENGINEER)
- NOTE: MIX IN SALVAGED ON-SITE TOPSOIL INTO TOP 6" (MAX.) OF INFILTRATION AREA

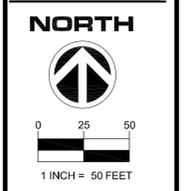
DATE	REVISION DESCRIPTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
**QASEM M. ABUGHAZLEN** LIC. NO. 56289  
 DATE: 10.23.2025

**AMBA EAST BETHEL COMMERCIAL BUILDING**  
 EAST BETHEL, MINNESOTA  
 DETAILS & NOTES

PREPARED FOR:  
**MITCHELL WEBB**

**PLOWE ENGINEERING, INC.**  
 SITE PLANNING & ENGINEERING  
 6776 LAKE DRIVE  
 SUITE 110  
 LINO LAKES, MN 55014  
 PHONE: (651) 361-8210  
 FAX: (651) 361-8701



**C4.3**

November 13, 2025

Grace Gerard, City Planner  
City of East Bethel  
2241 221<sup>st</sup> Avenue NE  
East Bethel, MN 55011

RE: Site Plan Review No. 1 – Amba East Bethel

Dear Grace:

As requested, we have reviewed the Site Plan submitted for Amba East Bethel. The project is located on Lot 2 of Block 1 of the Classic Commercial Park 2nd Addition. The following information has been submitted for review:

1. Preliminary Civil Site Plans Sheets C0, C1, C2, C3, C4.1, C4.2, and C4.3 by Plowe Engineering, Inc., dated October 23, 2025.
2. Stormwater drainage report by Plowe Engineering, Inc., dated October 23, 2025.

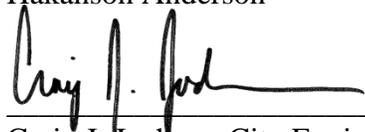
We offer the following comments:

1. This site will require a NPDES construction permit. Submit the Stormwater Pollution Prevention Plan. Acquire the permit before the start of construction.
2. The site may require a Minnesota DNR Water Appropriations Permit?
3. Remove the “Preliminary” stamp from the plans.
4. East Bethel is a permitted MS4 City and is responsible for inspecting and enforcing maintenance practices on all stormwater facilities within its corporate boundary. A maintenance agreement needs to be executed and recorded for the proposed infiltration basins.
5. An escrow or letter of credit will need to be established for the disturbance in the City right-of-way and for security of the landscaping. The Owner needs to provide an estimate from the contractor for these items for review and approval.
6. The applicants Contractor will be responsible to protect and reconstruct the City’s tracer wire and boxes on the water stubs and hydrant. The tracer wire was installed per City Standard Plate 201 and 204.
7. The applicant is required to meet all requirements of the Department of Labor and Industry.
8. The applicant’s engineer shall review and approve shop drawing information for the sewer and water service construction and then forward this information to the City for approval.

9. The project will need to be reviewed by the City Fire Chief to ensure additional hydrants are not needed within the site for fire protection.
10. There are downstream catch basins on Ulysses Street. Provide inlet protection in the existing catch basins.
11. Add the Metropolitan Council and City utilities to the plans that are just north of the north property line.
12. Provide a detail for the proposed wet tap.
13. The connection shown to the 18-inch RCP will not be allowed. This connection is on private property.
14. Provide a 100-year model using the ATLAS 14 rainfall depth. Set the HWL on the basin to the east and the infiltration basin with this model. The existing water level for the basin to the east is cut off and not legible. Also add the HWL elevation for this basin.
15. All grading within 50 feet of any wetland requires double perimeter barriers. The water body to the east of this site is a wetland mitigation area. Do the wetlands to the north encroach on this site? Field verify.
16. Provide a soil boring for the infiltration basin.
17. On Sheet C0, revise all the notes regarding notice to the City to a minimum of 72 hours.
18. Are any removal needed at the tie-in point on Ulysses Street? Provide a concrete apron.
19. Note on the plan that both the 6 inch and 2-inch water valves shall have the Rhino post markers. Place the 2-inch curb stop 1 foot east of the property line in the easement.
20. All lighting shall meet the requirements of Section 26 of the Zoning Code. Lighting must be used to illuminate all off-street parking areas or other structures or areas and shall be arranged to deflect light away from any adjoining property or from the public street. No light source or combination thereof which casts light on a public street shall exceed one footcandle meter reading as measured from the centerline of said street, nor shall any light source or combination thereof which casts light on adjacent property exceed 0.5 footcandle as measured at any point of the property line. There must be a minimum of 0.5 footcandle illumination for all off-street parking areas.

If you have any questions, please call me at 763-852-0485.

Sincerely,  
Hakanson Anderson

  
\_\_\_\_\_  
Craig J. Jochum, City Engineer



**MEMORANDUM**

**November 6, 2025**

ESA# 125-25

**TO:** Michell Webb

**RE:** Wetland Boundary of north property line at  
1880x Ulysses St. NE, East Bethel MN 55011 (Anoka Co. PID# 32-33-23-21-0012)

As requested, Earth Science Associates, Inc. delineated the wetland boundary along the north line of the above referenced parcel. This property had been converted into buildable land in the late 90s to early 2000s. ESA had assisted in the wetland consulting activities at that time.

Current conditions indicate that wetland remains 5 to 10 feet inside the lot for approximately 100 feet along the north property line.

Respectfully,

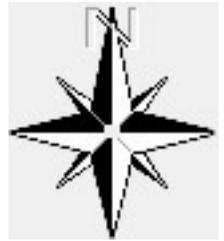
**Earth Science Associates, Inc.**



---

Kenneth E. Meek, PG, CPG  
Principal Hydrogeologist

Registered Professional Geologist (MN) #30221  
AIPG Certified Professional Geologist (USA) #08600  
OSHA 40 hour HAZWOPER Certified 1992  
MDH Licensed Monitoring Well Contractor #788, #1685  
Certified Wetland Delineator #1199



60'

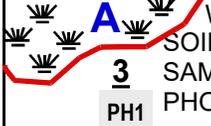


Property ID: 32-33-23-21-0012  
Address:  
City: EAST BETHEL  
State: MN  
Zip Code: 55011  
Plat Name: CLASSIC COMMERCIAL PARK 2ND ADDITION  
Estimated Acres: 4.37

ESA Project #125-25 31OCT25



**EARTH SCIENCE ASSOCIATES, INC.**  
37445 Grand Avenue  
North Branch, MN 55056  
esa332@gmail.com 612.718.0413  
earthsciencemn.com



WETLAND  
SOIL AND VEGETATION  
SAMPLE LOCATION  
PHOTOS

**WETLAND DELINEATION  
NORTH PROPERTY LINE**

