

City of East Bethel
Planning Commission Agenda
Planning Commission Regular Meeting
Date: September 23, 2025



Two or more Council Members and/or the Mayor may be in attendance at this meeting.
If two or more Council Members and the Mayor attend the event, there will be a quorum of Council Members.

This meeting may be monitored live via the following means:
Cable Channel 10, MidcoTV Channel 77, or the City of East Bethel YouTube channel
(www.youtube.com/channel/UC8_7ShcME-XG14pN5JrmBGg/live)

1. Call To Order
2. Adopt Agenda
3. Council Liaison Update
4. Approval of Minutes: August 26, 2025 (Pg. 2-4)
5. **Public Hearing.** Consider a Site Plan and Conditional Use Permit for Atlas Villas Memory Care at PIN #32-33-23-24-0015 and #32-33-23-24-0016 (City file 25-023) (Pg. 5-50)
6. **Public Hearing.** Consider a Zoning Map Amendment for 4 properties along Johnson St. NE from I – Light Industrial to R-2 – Single-Family and Townhome Residential (PIN #29-34-23-31-0005, #29-34-23-31-0006, #29-34-23-31-0007 and #29-34-23-31-0008) (City file 25-025) (Pg. 51-59)
7. Staff Update
8. Adjourn

DRAFT MINUTES: NOT YET APPROVED

EAST BETHEL PLANNING COMMISSION MEETING August 26, 2025

MEMBERS PRESENT: Chair Sharon Johnson, Glenn Terry, Brian Downie, Kristina Pagnac, and Kory Jorgensen.

MEMBERS ABSENT: Tanner Balfany

ALSO PRESENT: Grace Gerard, City Planner
Brian Mundle, City Council Liaison

1.0 Call to Order

Chair Johnson called the Planning Commission regular meeting to order at 7:00 pm.

2.0 Adopt Agenda

Commissioner Downie moved, and Commissioner Pagnac seconded to adopt the agenda as presented. Johnson asked any discussion? To the motion, all in favor say aye. **All in favor.** Johnson asked any opposed? That motion passes. **Motion passes unanimously.**

3.0 Council Liaison Update

Council Liaison Mundle updated the Commission on recent Council actions. He noted that new playground equipment will be added to Booster West Park. He stated that the Barndominium ordinance was passed at Council. The garage floors at the fire station will be redone. He stated that the Council is interested in doing a City facility needs study. He noted that they will have a Town Hall Meeting in November.

The next Planning and Zoning Commission meeting is scheduled for September 23, 2025.

4.0 Approve June 24, 2025, meeting minutes

Terry noted a correction on page 4, line 118, to change “he agrees with the larger acres for these properties” to “he agrees with the need for larger acres for these buildings.”

Commissioner Downie moved and Commissioner Terry seconded to adopt the June 24, 2025, regular meeting minutes as written. Johnson asked any discussion? To the motion, all in favor say aye. **All in favor.** Johnson asked any opposed? That motion passes. **Motion passes unanimously.**

5.0 Public Hearing – Consider the request by applicants, Troy and Laurie Slater, for Variances at 22206 Durant St. NE

Gerard reviewed the staff’s report stating Troy and Laurie Slater have applied for two variances to allow for the construction of a 60 x 150 foot (9,000 square foot) accessory structure for agricultural use. This property is 29.82 acres. It is zoned A - Agriculture and guided RR – Rural Residential. The property to the west is zoned and guided A – Agriculture, and the properties to the north, south, and east are guided and zoned RR – Rural Residential. The City Council approved a rezoning from RR – Rural Residential to A – Agriculture on March 10, 2025 (Ordinance 2025-01). This would be the 5th accessory structure on this property. The 4 other accessory structures on the property total 1,652 square feet. The addition of this structure would bring the property to a total accessory structure square footage of 10,652 square feet.

Gerard noted that the first variance is to allow a 5th accessory structure on a property limited to 4 structures. The second variance is to allow 10,652 square feet of accessory structure, where a maximum of 8,760 square feet is allowed.

Gerard stated that both variances would be necessary for the applicant to construct a 9,000 square foot building. The first variance could be approved without approval of the second, though the applicant would be limited to the 8,760 square footage total. The second could also be approved without the approval of the first, though the applicant would have to demolish another one of the structures to comply with the 4 structure limit.

Gerard added that the staff has provided findings of fact for both approval and denial of the variance requests in the staff report. A draft resolution for approval and denial has been provided and may be modified to reflect the findings of the Planning Commission.

Johnson opened the public hearing at 7:14 p.m.

Johnson closed the public hearing at 7:15 p.m.

Johnson noted that she will abstain from voting.

Downie stated that by looking at the existing buildings, it looks like one of the smaller buildings could be demolished and replaced with a larger one. He noted that the proposed square footage of the building seems massive and could be sized down. He added that he is not in favor of the variances at the moment.

Terry stated that the explanation does not justify the reasons for coming up with a variance. He also noted that one of the smaller structures could be taken down, so there would not be a need for the first variance.

Pagnac noted that she would like clarification on what each structure is being used for. She noted that the square footage proposed for the additional building looks acceptable.

Jorgensen stated that he has no issue with these variances.

Johnson noted that she also sees no issue with it and sees it to be very reasonable to need the extra space.

Troy Slater provided insight into the additional structures on his property. He stated that some of the structures have historical value and he would not demolish them. He stated that the other structures are full of farming equipment and bee supplies.

Downie noted that he is still set on the uniqueness factor. He added that he is worried about setting a precedent.

Terry added that every property is unique, so he is not worried about setting a precedent.

Commissioner Terry moved, and Commissioner Pagnac seconded to recommend approval to City Council with the conditions set forth in the provided Resolution. Johnson asked any discussion? To the motion, all in favor say aye. **Terry, Jorgensen, Pagnac – Aye; Downie- Nay; Johnson- Abstain.** Johnson asked any opposed? That motion passes. **Motion passes.**

This item goes before City Council on September 8, 2024.

6.0 Public Hearing – Consider the request by applicant, Tom Carlisle of Sherco Construction, for a Rezoning, PUD Preliminary Plan, and Preliminary Plat at Property PIN# 12-33-23-14-0002

Gerard reviewed the staff's report stating the City received an application for a three-lot subdivision named "Cliffs Anderson Acres" located on the north side of 217th Avenue NE. The total area of the parcel is approximately 20.35 acres. The parcel is guided Rural Residential and zoned RR- Rural Residential within the Special Natural Environmental Overlay District. The properties to the south and west of this parcel are all guided and zoned the same. The properties to the north of this parcel are guided and zoned Park/Natural Area within the Gordie Mikkelson Wildlife Management Area. The properties to the east are within Linwood Township's "Dellwood County Estates" subdivision.

93 Gerard stated that there are three requests in this application. The first is for a rezoning to the planned
94 unit development overlay. She noted that this is required by the zoning ordinance for properties within
95 that SNEA overlay. The second is for the approval of a PUD preliminary plan. The third is for the
96 approval of a preliminary plat. She stated that the City's discretion in approving a preliminary plat is
97 limited to whether the proposed plat meets the standards outlined in the City's Subdivision and Zoning
98 Ordinance and the conditions of the preliminary plat approval. If it meets these standards, the City must
99 approve the plat.

100 Gerard noted that the Rezoning, PUD, and Preliminary Plat request meets the standards in the Code and
101 matches the concept plan previously reviewed by the City. The requests are consistent with the
102 comprehensive plan and density allowed for these parcels.

103 Johnson opened the public hearing at 7:40 p.m.

104 Tom Carlisle noted that they will have a tree row along the road that they will have driveways in, and he
105 added that this will not disturb any other trees.

106 Johnson closed the public hearing at 7:42

107 **Commissioner Terry moved and Commissioner Jorgensen seconded to recommend approval of**
108 **the rezoning to a plan unit development overlay and to recommend approval of the PUD**
109 **preliminary plan to City Council with the conditions set forth in the provided Resolution.** Johnson
110 asked any discussion? To the motion, all in favor say aye. **All in favor.** Johnson asked any opposed?
111 That motion passes. **Motion passes unanimously.**

112 **Commissioner Terry moved, and Commissioner Pagnac seconded to recommend approval of the**
113 **preliminary plat to City Council with the conditions set forth in the provided Resolution.** Johnson
114 asked any discussion? To the motion, all in favor say aye. **All in favor.** Johnson asked any opposed?
115 That motion passes. **Motion passes unanimously.**

116 This item goes before City Council on September 8, 2025.
117

118 7.0 Staff Update

119 Gerard updated that the City has approved the hire of a temporary part-time staff member to the
120 Community Development Department. She stated that this employee will help digitize the City's paper
121 files. She noted that there will be at least one, maybe 2-3 projects up for review at the next Planning
122 Commission meeting.
123

124 8.0 Adjournment

125 **Commissioner Downie moved and Commissioner Jorgensen seconded to adjourn at 7:51 pm.**
126 Johnson asked any discussion? To the motion, all in favor say aye. **All in favor.** Johnson asked any
127 opposed? That motion passes. **Motion passes unanimously.**

128 Submitted by:

129 Sylvia Rokosz

130 *TimeSaver Off Site Secretarial, Inc.*

**City of East Bethel
Planning Commission Meeting
Agenda Item Information**



Meeting Date: September 23, 2025

Agenda Item Number: 5

Request: PUBLIC HEARING. Consider a Site Plan and Conditional Use Permit (CUP) for Atlas Villas Memory Care located east of Ulysses St. and north of 185th Ave. NE (PIN #32-33-23-24-0015 and #32-33-23-24-0016) (City file 25-023).

Review Deadline: October 20, 2025

Background/Context

On August 21, 2025, staff received an application from Stone Construction for a Site Plan Review, CUP, and Easement Vacation to allow the construction and operation of Atlas Villas Memory Care at PIN #32-33-23-24-0015 and #32-33-23-24-0016. The vacation is reviewed only by the City Council.

The applicant is proposing a 17,236 sq. ft. residential care facility offering routine and specialized care to individuals with memory challenges beyond what would typically be provided by an assisted living facility. This facility would contain 26 rooms (two of which are reserved for hospice care), dining and kitchen space, and activity and enrichment spaces, and a secure yard for outdoor recreation. The applicant proposes to combine two lots to form one 4.35-acre lot, pending the vacation of a drainage and utility easement currently adjoining the lots to be reviewed at the October 13th City Council meeting. Combining the two lots is a condition of the site plan approval. The operators of this facility have an existing location in Centerville which has been operational since 2023.

The applicant's submitted plans show a possible addition to this facility to be completed at a later date. This is not up for consideration at this time, and the applicant would be required to seek the necessary land use approvals, including a Conditional Use Permit Amendment and Site Plan Review, prior to expanding the facility.

This property is zoned B-3 – Highway Commercial and guided Commercial. The properties to the north are zoned and guided the same. The property to the south is zoned B-3 – Highway Commercial and guided Mixed Use. The property to the west is zoned and guided I – Light Industrial. Highway 65 borders the eastern side of the property.

“Residential Care Facility – Serving seven or more persons” requires a CUP within the B-3 – Highway Commercial Zoning District. A site plan review is required for all new construction commercial buildings.

Analysis

When reviewing a Site Plan and a Conditional Use Permit (CUP), the City's discretion is limited to whether the proposed site plan and CUP meet the standards outlined in the City's Subdivision and Zoning Ordinance. If they do, the City must approve the site plan and the CUP. However, both items should be reviewed independently.

Conditional Use Permit

The B-3 district lists “Residential Care Facility – Serving seven or more persons” as a conditional use. Section 1, Subd. 9 defines “Residential Care Facility” as “Any public or private facility required to be licensed by a governmental agency, that provides one or more persons with 24-hour-per-day care, food, lodging, training,

education, supervision, habilitation, rehabilitation, and treatment they need, but which for any reason cannot be furnished in the person's own home”.

The Planning Commission should evaluate the request for compliance with the general CUP ordinance standards in Section 4, Subd. 9. (D) of the Zoning Ordinance as noted below:

1) The planning commission shall consider if the proposed use is consistent with the general purpose and intent of this chapter and the comprehensive plan. Its judgment shall be based upon, but not limited to, the following:

a) The impact of the proposed use on the health, safety, and general welfare of the occupants of the surrounding lands;

The CUP will have a limited impact on the health, safety, and general welfare of the occupants of surrounding land. The City’s Fire Department has reviewed this project and has not shared any concerns regarding health and safety of the facilities occupants or the facility’s impacts on the City’s emergency services. Staffing policies and emergency management procedures will be subject to State review for the applicant’s licensure. The facility will have a minimal day-to-day impact on the existing intensity and use of surrounding properties.

b) Existing and anticipated traffic conditions, including parking facilities on adjacent streets and lands;

The CUP is expected to produce an increase in traffic, but not beyond what is typical for this area of the City. This facility is likely to produce a slight increase in traffic in the area by staff, visitors of residents, and, at times, emergency services. The anticipated level of traffic is typical of a commercial use, would be dispersed throughout the day, and would not be out of place in this area. Located to the southeast of this site is the East Bethel Village Apartments which sees a comparable level of traffic. This traffic is handled adequately by the adjacent streets. Located to the west of this site along Ulysses St. are several industrial businesses which see a steady flow of trucking and personal traffic during typical business hours. The anticipated traffic created by this use is unlikely to cause disruption in this area.

All parking for this facility will be handled on site. Section 22, Subd. 7(C) of the Zoning Ordinance requires one parking space for every four residents in group living facilities. For 26 residents, seven parking spaces are required. The applicant’s site plan for this facility includes 43 parking spaces (including two accessible spaces) exceeding the minimum requirement by 36 spaces. The parking lot meets the standards established in Section 22 of the Zoning Ordinance.

c) The effect of the proposed use on public utilities;

This site is within the 2040 Metropolitan Urban Service Area and would be connected to City sewer and water infrastructure. The City Engineer and Public Works Manager have reviewed the plans and provided feedback to the applicant. Compliance with the City Engineer’s comments has been added as a condition of approval.

d) The effect of the proposed use on property values;

This use is not anticipated to have a negative impact on surrounding property values. The plans for this facility show that it would meet the City’s architectural and landscaping standards. The development of this site will have a limited impact on surrounding properties.

e) The effect of the proposed use on the comprehensive plan;

This property is guided Commercial. This is a compatible use within the last use designation.

f) The ability of the proposed use to meet the standards of this chapter;

The applicant is not requesting any variances pertaining to the development of this site. The proposal meets the standards within the Code for this use within this zoning district.

g) The results of a market feasibility study, if requested by the city, when the purpose for which the conditional use is being requested relies on a business market for its success;

N/A.

h) The effects of the proposed use on groundwater, surface water, and air quality;

The Civil Plans for this property show two infiltration basins to account for the increased impervious surface on the site. The City Engineer has reviewed the grading, drainage, and erosion control plan and drainage report and provided comments. These comments have been added to the resolution as conditions of approval.

i) The proposed use is allowed with a CUP or IUP in the zoning district in which it is proposed; and

Section 47 of the Zoning Code lists "Residential Care Facility – Serving seven or more persons" is listed as a conditional use within the B-3 Zoning District.

j) The effect of the proposed use on natural resources.

The use is not expected to have a significant impact on natural resources. This lot is currently vacant. Seven trees currently on the site are expected to be removed to accommodate the construction of the building and infiltration basins, and the site will be graded. The City does not have a tree preservation ordinance.

Site Plan

The Planning Commission should evaluate the request for compliance with the Site Plan ordinance standards in Section 4, Subd. 12. (E.6) of the Zoning Ordinance as noted below:

6) In evaluating its recommendation and approval, the planning and commission and city council shall take into consideration the following:

a) Consistency with the city comprehensive plan;

This property is guided Commercial and zoned B-3 - Highway Commercial. The use is compatible with the land use anticipated in this district and consistent with the future land uses planned for this area in the Comprehensive Plan.

b) Compliance with this ordinance;

This site is located in the B-3- Highway Commercial. The following requirements must be met:

Setbacks and Coverage

The structure and parking lot must meet the required setbacks. The plans as shown comply with the setbacks required within the B-3 Zoning District:

Setback	Required	Proposed
Front from City right-of-way	40 feet	>40 feet
Front from State/County right-of-way	100 feet	>100 feet
Side Yard Interior	10 feet	>10 feet
Front Yard Parking	10 feet	>10 feet
Side Yard Parking	5 feet	>5 feet

The site plan shows a lot coverage of 27.1% for the proposed building, parking, and landscaping on the site. The maximum lot coverage allowed within the B-3 Zoning District is 80%.

Driveway

This site will have two access points from Ulysses Street which is allowed in the B-3 Zoning District. The City Engineer’s comments note that Ulysses Street is expected to extend south in the future with a T intersection at 185th Avenue. At that time, the property owner will be responsible for all costs associated with reconstructing the south driveway access. The City Engineer’s comments also note that the applicant will need to revise the current plans to show that the south driveway access will not interfere with a gravel drive used to access the vacant lot to the south. Compliance with the City Engineer’s comments has been added as a condition of approval.

Landscaping

The applicant has submitted a landscape plan for the site showing 9 new deciduous trees and 58 shrubs to be planted on the property. Section 27, Subd. 3(C) requires one overstory deciduous shade tree or one coniferous tree for every 2,000 sq. ft. of building area and one shrub for every 300 sq. ft. of building area. Nine trees and 58 shrubs are required for a 17,276 sq. ft. facility. The applicant will be removing seven of the property’s existing trees. As noted earlier, the City does not have a tree preservation ordinance.

Stormwater Management

The applicant has submitted a Stormwater Management Plan prepared by Plowe Engineering. This plan will need to be reviewed and approved by the City Engineer. Compliance with the City Engineer’s comments pertaining to drainage and stormwater management have been added as a condition of approval.

c) The preservation of the site in its natural state, to the extent practicable, by minimizing tree loss, soil removal, and grading;

This site is currently vacant with a small number of trees located throughout the site. The impacts of new impervious surface will be accommodated by two infiltration basins on the site. It is unlikely additional trees can be preserved, but the site’s landscaping plan does comply with requirements in Section 27 of the City Zoning Ordinance.

d) The harmonious relationships between buildings, open spaces, natural site features, architectural details, and vehicular and pedestrian circulation;

This site will have two access points located along Ulysses St. NE to the proposed parking lot located in front of the proposed facility. The City Engineer and Public Works Department have provided comments to the applicant regarding these access points. Compliance with these

comments has been included as a condition of approval. The proposed parking lot meets the requirements for circulation established in Section 22, Subd. 9 of the Zoning Ordinance. Exterior lighting is located on the building and from four proposed light posts on the western side of the property. Compliance with the City Engineer's comments regarding lighting is a condition of approval. The site's trash enclosure is located in the southeastern corner of the parking lot. Site plans show the current screening material of the enclosure is chain-link. The screening material will need to be of masonry or brick construction with a wooden, or other comparable material, gate as established by Section 23, Subd. 3 of Zoning Ordinance. This has been added as a condition of approval.

The proposed building complies with the architectural standards for the B-3 Zoning District established in Section 28, Subd. 2 of the Zoning Ordinance. Both sides of the structure facing Right of Way are covered by at least 20% glass. The western and eastern sides of the structure facing Right of Way will be comprised of a mix of manufactured stone and Hardie Board siding. The northern and southern sides of the building, not facing ROW, will be a majority Hardie Board siding. While fiber cement board siding (Hardie Board) is not explicitly allowed by the Code as an exterior wall finish, Section 28, Subd. 2(A) lists "Other comparable or superior material approved by City Council" as allowable exterior wall finishes. Staff believes fiber cement board siding is a comparable or superior material to those listed in the Ordinance. The eastern side of this property is a proposed yard with a fountain, walking path, gardens, green house, and chicken coop bound by a 6 ft. vinyl chainlink fence. The applicant will be required to comply with all provisions of City Code Chapter 10 Article V Section 10-151(j)C pertaining to chickens. The applicant must obtain a building permit prior to the construction of a chicken coop or greenhouse larger than 200 square feet. An infiltration basin is located between the fenced area and the eastern and southern property lines. Existing vegetation within the ROW of State Highway 65 will screen this yard from the ROW.

e) The protection of adjacent and neighboring properties.

This property is located within an existing commercial park with several industrial businesses. The lot south of this property is currently vacant and zoned the same. Located southeast of this site is the East Bethel Village Apartments. The addition of a memory care facility to this area with the proposed architecture, landscaping, and screening would not be out of place within this area of the City. The site's drainage plan also limits the impact of the proposed building on neighboring properties.

Summary

The application for a Site Plan and CUP to allow the construction and operation of a memory care facility located at PIN #32-33-23-24-0015 and #32-33-23-24-0016 (pending combination) requires 2 items that need individual review. The approval of the Site Plan and CUP is dependent on the approval of a vacation of a drainage and utility easement located between the lots, which will be reviewed by the City Council on October 13th.

Staff has prepared a resolution of approval with conditions recommend by staff. The Planning Commission may recommend additional conditions of approval. A resolution for denial can be prepared at the request of the Planning Commission.

Requested Action

In consideration of the request, the Planning Commission has the following options:

A. Recommend Approval

Based on the contents of this report, public testimony, and other evidence available to the Planning Commission, the Planning Commission should recommend approval of the requests for a Site Plan and CUP for a memory care facility located at PIN #32-33-23-24-0015 and #32-33-23-24-0016. A draft Resolution has been provided for approval and may be modified to reflect the recommendation of the Planning Commission.

B. Recommend Denial

Based on the contents of this report, public testimony, and other evidence available to the Planning Commission, the Planning Commission could recommend denial of the Site Plan and CUP.

- This option should be utilized if the Planning Commission can specifically identify one or more provisions of City Code that are not being met by the request. The Planning Commission should provide findings of fact for denial.

Attachments:

1. Draft Resolution of approval
2. Location map
3. Narrative dated 08/29/2025
4. Site plans
5. Civil plans
6. City Engineer's comments dated 9/9/2025

**CITY OF EAST BETHEL
COUNTY OF ANOKA
STATE OF MINNESOTA**

RESOLUTION NO. 2025-XX

A RESOLUTION **APPROVING** A SITE PLAN AND **GRANTING** A CONDITIONAL USE PERMIT FOR A MEMORY CARE FACILITY LOCATED AT ON A PROPERTY LOCATED PIN: #32-33-23-24-0015 and #32-33-23-24-0016 LEGALLY DESCRIBED AS:

LOTS 5 AND 6 BLOCK 2, SAUTER’S COMMERCIAL PARK

WHEREAS, Atlas Ventures LLC., the owner of Lots 5 and 6, Block 2 of Sauter’s Commercial Park, and project manager, Stone Construction Inc., have applied for a site plan and conditional use permit for Atlas Villas Memory Care, a 17,236 sq. ft 26 room memory care facility, and;

WHEREAS, the East Bethel Review Committee has reviewed the plans and provided comments; and

WHEREAS, the Planning Commission held a public hearing on September 23, 2025; and,

WHEREAS, as a result of such public hearing, the Planning Commission recommends approval of the Site Plan and Conditional Use Permit to the City Council.

WHEREAS, the City finds:

1. This property is zoned (B-3) Highway Commercial and “Residential Care Facility – Serving seven or more persons” is allowed as a Conditional Use within this district.
2. The application submitted on August 21, 2025 and additional materials received on August 29, 2025 complies with the general Conditional Use Permit (CUP) standards in Section 4, Subd. 9. (D) of the Zoning Ordinance, as outlined in the September 23, 2025 Planning Commission report, except as amended below.
3. The application submitted on August 21, 2025 and additional materials received on August 29, 2025, complies with the Site Plan standards in Zoning Ordinance, as outlined in the September 23, 2025 Planning Commission report, except as amended below.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of East Bethel hereby approves the site plan and conditional use permit for the property located at PIN: #32-33-23-24-0015 and #32-33-23-24-0016, subject to the following conditions:

1. The applicant must obtain a building permit from the City of East Bethel prior to the commencement of the work.

2. Site Plan approval is contingent upon approval from the East Bethel City Council for the vacation of the drainage and utility easement adjoining lots PIN: #32-33-23-24-0015 and #32-33-23-24-0016
3. The applicant must combine lots PIN: #32-33-23-24-0015 and #32-33-23-24-0016 at Anoka County and provide proof lot combination with the application for a building permit.
4. The applicant must comply with the conditions of the City Engineer's memo dated September 9, 2025 and any and all other comments. The City Engineer will determine when all items have been addressed.
5. An Operation and Maintenance Agreement between the property owner and the City of East Bethel, approved by the City Attorney, must be filed prior to any grading or construction activity.
6. A Site Improvement Performance Agreement between the property owner and the City of East Bethel, approved by the City Attorney, must be filed prior to any grading or construction activity.
7. The trash enclosure fence must be constructed of masonry or brick on all sides visible from public right of way or adjacent property, and the gate must be made of a solid, non-chain-link material. Plans must be submitted for City staff review and approval.
8. The plans must be revised to show that the south driveway access does not interfere with the gravel drive extending south from Ulysses Street.
9. If Ulysses Street is extended south at any point in the future, the property owner will be responsible for all costs associated with the removal and reconstruction of the south driveway and other site features.
10. The property owner must obtain a building permit from the City prior to the construction of the fence or any accessory structures exceeding 200 sq. ft. in size.
11. The facility must maintain all licensure required for the operation of a facility of this type.
12. These approvals apply only to the proposed 17,236 sq. ft memory care facility. Any expansion of this use and facility will require a CUP Amendment and Site Plan approval.

Adopted this 13th day of October, 2025 by the City Council of the City of East Bethel.

CITY OF EAST BETHEL

ATTEST

Ardie Anderson, Mayor

Matt Look, City Administrator

Atlas Villas Memory Care Location Map



-  Parcels
-  City Mask

1 inch equals 557 feet



Atlas Villas Memory Care — East Bethel, MN

Atlas Villas Memory Care — East Bethel will be a 26-room residential care facility dedicated to serving individuals with memory challenges such as dementia and Alzheimer's disease. Of these rooms, two will be reserved for hospice and/or respite care, ensuring the community can meet both ongoing and short-term specialized care needs.

Residents at East Bethel will require a higher level of care than in a traditional assisted living environment. They will not have the capability to drive and will only leave the facility for supervised outings, such as doctor visits or planned group day trips.

Facility Features

The East Bethel facility is designed to provide a safe, secure, and enriching home-like environment, featuring:

- 43 surveillance cameras throughout the facility, strategically placed to provide continuous coverage of common areas, hallways, and exterior entries. This ensures resident safety, supports staff accountability, and provides peace of mind for families.
- Secured entry doors monitored by staff to prevent unauthorized access or unsafe exiting.
- A concrete-encased multipurpose room that doubles as a storm shelter, movie theater, and virtual sensory room. This immersive environment will offer visual, audio, tactile, and scent-based experiences that rotate weekly (e.g., a Caribbean beach setting complete with sounds, sand, coconut props, and ocean scents).
- A faux sky ceiling system designed to mimic sunrise and sunset through light and sound, supporting improved sleep cycles for residents affected by dementia-related disruptions.
- Individualized exteriors for each resident room (vinyl siding, exterior-style doors, and porches) to foster community identity and a welcoming neighborhood atmosphere.

Staffing Model

The East Bethel facility will be staffed to ensure consistent, person-centered care, engagement, and oversight. Staffing includes:

- 3 caregivers on-site per shift (day, evening, overnight) for strong resident support.
- Full-time Director of Nursing (DON) to oversee clinical care and compliance.

- On-call nursing service available during all hours the DON is not present, ensuring 24/7 nursing availability.
- Full-time Activities Director to design and implement engaging life enrichment programming.
- Weekend Activities Coordinator to maintain consistent programming seven days a week.
- Full-time Kitchen Manager responsible for meal planning, preparation, and dietary compliance.
- Two part-time cooks providing additional culinary coverage and support.

This staffing model exceeds minimum requirements and reflects our commitment to providing a safe, stimulating, and supportive environment.

Operations

Day-to-day operations at East Bethel will follow best practices refined at our Centerville location. Family and community involvement are strongly encouraged, and while the facility experiences regular traffic from families, vendors, and health professionals, this flow of visitors is considered an important part of maintaining a vibrant and connected community.

- Regular site traffic: Families frequently visit their loved ones, medical providers come for routine and specialty care, and vendors deliver food and supplies on a scheduled basis.
- Security oversight: All visitor and vendor activity is supported by the facility's 43-camera surveillance system and monitored entrances, ensuring safety while allowing residents to stay engaged with family and community connections.
- Collaborative care approach: Caregivers, activities staff, and culinary staff work closely under the supervision of the DON to promote quality of life, safety, and well-being.
- Emergency readiness: Designated storm shelter/virtual room, staff trained in 911 and medical response, and on-call nursing available.

Emergency Management Plan

Atlas Villas Memory Care — East Bethel has developed a comprehensive emergency management plan to ensure resident and staff safety in the event of medical, environmental, or security emergencies.

Staff Training: All staff receive extensive training at hire on emergency preparedness, including fire safety, elopement prevention, severe weather response, and medical

emergencies. Training is reinforced annually as part of ongoing education requirements. Emergency procedures and safety topics are also reviewed during regular staff meetings, ensuring that preparedness remains an active, ongoing priority.

Drills and Practice: Fire drills are conducted in accordance with the State of Minnesota requirements, rotating times of day and staff assignments to ensure staff are confident in all scenarios. Elopement drills are conducted to test staff response to missing resident scenarios, reinforcing the use of secured entry systems, search procedures, and communication protocols. All drills are documented, reviewed, and discussed with staff to identify lessons learned and strengthen response times.

Emergency Response Protocols: Staff immediately call 911 in life-threatening situations and follow established protocols while waiting for emergency responders. Staff maintain current resident medical profiles, including health care directives, to provide to responders. Residents and staff utilize the concrete-encased multipurpose room as a storm shelter in the event of severe weather. Secured entry doors and the 43-camera surveillance system provide layers of monitoring and control. Staff are trained to respond immediately to any security concern or unauthorized access. After any emergency, staff promptly notify families, document the incident, and communicate with the DON and on-call nurse.

Continuous Improvement: Following each drill or emergency event, leadership reviews staff response and updates procedures as needed. Policies and training materials are updated annually, and staff sign acknowledgments confirming their participation in training.

Policies and Procedures

Atlas Villas will continue to maintain detailed policies and procedures to ensure staff are equipped to handle emergencies and daily operations with professionalism and compassion. These include, but are not limited to:

1. Emergency / 911 Policy – Clear directives for staff in medical emergencies.
2. Emergency Contacts – Posted and accessible contact numbers for on-call staff and emergency services.
3. Fall Protocol – Immediate assessment, nurse consultation, and detailed documentation for all resident falls.

Commitment

Atlas Villas Memory Care — East Bethel is committed to providing a secure, enriching, and compassionate environment for seniors experiencing memory loss. By blending thoughtful design, robust staffing, innovative sensory engagement, 43-camera security monitoring, and strong family involvement, we will deliver a home that promotes dignity, safety, and

meaningful daily life for every resident.

ATLAS VILLAS MEMORY CARE

COMMERCIAL PLAN REVIEW

GENERAL INFORMATION

- A. PROJECT NAME: Atlas Villas Memory Care
 B. PROJECT LOCATION: East Bethel, Minnesota
 C. ZONING AND LAND USE: B-3, Highway Business
 D. LOT SIZE: 4.36 Acres 189,771 s.f.
 E. IMPERVIOUS: 51,416 S.F./ 189,771 s.f. = 27.1% < 80% MAX

APPLICABLE CODES:

- A. EAST BETHEL ZONING ORDINANCE Current Edition
 B. MINNESOTA STATE BUILDING CODE (MSBC) - INCLUDING -
 C. CHAPTER 1305 - INT'L BUILDING CODE 2020 Edition
 D. CHAPTER 1311 - INT'L EXISTING BUILDING CODE 2020 Edition
 E. CHAPTER 1315 - NATIONAL ELECTRIC CODE 2023 Edition
 F. CHAPTER 1322/23 - INT'L ENERGY CONSERVATION CODE 2024 Edition
 G. CHAPTER 1341 - MN ACCESSIBILITY CODE 2020 Edition
 H. CHAPTER 1346 - INT'L MECHANICAL CODE 2020 Edition
 I. CHAPTER 4714 - MN PLUMBING CODE 2020 Edition

BUILDING CLASSIFICATION

A. OCCUPANCY GROUPS/ TYPE OF CONST (IBC Chpt 3 & IBC Chpt 6)

1. Supervised Living Facility
 - Group I-2, Condition 1
 - Type of Construction - V-A
 - Area - 17,276 s.f.
 - Proposed Height - ±21'-6", 1 Story
 2. Mixed Occupancy (IBC 508)
 - Group I-2 Does Not Contain Mixed Occupancies
 3. Incidental Uses (IBC 509)
 - Laundry Room 111
 - Storage Rooms 109, 114, 120
 - Mechanical Rooms 111, 117

B. FIRE-RESISTANCE-RATED CONSTRUCTION

1. Building Elements (IBC Tables 601 & 602)

Element	Rating
Structural Frame	1 Hours
Exterior Bearing Walls	1 Hours
Interior Bearing Walls	1 Hours
Exterior Non-Bearing Walls	1 Hours
Interior Non-Bearing Walls	0 Hours
Floor Construction	N/A
Roof Construction	1 Hours

2. Exterior Wall Openings (IBC Table 705.8)

- Separation Distance Greater Than 30 Feet

Classification	Area of Opening
Unprotected	No Limit
Protected	No Limit

3. Fire Walls (IBC 706)

- Not Required -

4. Fire Barriers (IBC 707)

Fire Barrier	Rating	Opening
Laundry Room 110	1 Hour	45 Minute
Storage Rooms 109, 114, 120	1 Hour	45 Minute
Mech Rooms 111, 117	1 Hour Or Sprinkler	45 Min Or Self-Closing

5. Fire Partitions (IBC 708)

- Not Required -

6. Smoke Partitions (IBC 710)

Fire Partition	Rating	Opening
Corridor Walls	0 Hours	0 Minute

C. ROOF AND INTERIOR FINISH REQUIREMENTS

1. Minimum Wall And Ceiling Finish Requirement (IBC Table 803.13)

Building Component	Finish Class
Vertical Exits/Exit Passageways	Class B
Exit Access Corridors/Other Exit ways	Class B
Rooms and Enclosed Spaces	Class B

2. Minimum Roof Covering Classification (IBC Table 1505.1) = Class B - (Contractor To Provide Class A Roof Assembly)

AUTOMATIC SPRINKLER REQUIREMENTS

A. AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM IS PROVIDED THROUGHOUT THE BUILDING (IBC 903.3.1.1)

1. Required Location(s) (IBC 903.2)
 - Throughout The Building When The Fire Area Contains Group I-2

ALLOWABLE HEIGHT, ALLOWABLE AREA

A. ALLOWABLE HEIGHT (IBC Table 504.3/504.4)

1. Group I-2, Type V-A
 - Sprinklered 50'-0", 1 Story
 2. Height Check
 - 1 Story ≤ 1 Story
 - 21'-6" < 50'-0"

B. ALLOWABLE AREA (IBC Table 506.2)

1. Group I-2, Type V-A
 - Tabular Area = 38,000 s.f.
 - Frontage Increase (IBC 506.3)

$$50 \times \left(\frac{627 \text{ Feet} - 25}{30} \right) = 7,125 \text{ s.f.}$$

$$\text{Per Floor} = 45,125 \text{ s.f.}$$

2. Area Check
 - Whole Building Area Check
 $\frac{17,276/45,125}{100} = 38.3\% < 100\%$

MEANS OF EGRESS

A. DESIGN OCCUPANT LOAD (IBC Chpt 1004)

1. Care Recipients = 26 Units At 1/Unit = 26 Occupants
 2. Employee Areas = 14 Occupants
 3. Common Spaces
 Theater = 24 Fixed Seats At 1/Seat = 24 Occupants
 Dining Room = 682 S.F. At 1/15 = 45 Occupants
 Living Room = 742 S.F. At 1/15 = 49 Occupants
 118 Occupants

B. EXIT/EXIT ACCESS

1. Number Required (IBC Table 1006.2.1, 1006.3.2) = 2
 2. Number of Accessible Required (IBC 1009) = 2
 3. Arrangement (IBC 1007)
 - Not Less Than 1/3 Overall Diagonal (Sprinklered Building)
 4. Travel Distance Maximums
 - Exit Access (IBC 1017) = 200'
 - Common Path of Egress (IBC 1006.2.1) = 75'
 - 50' At Sleeping Rm = 20'
 - Dead Ends (IBC 1020.4)
 5. Sizing (The Greater of Two Conflicting Widths Shall Be Used)
 - Design Egress Sizing (IBC 1005.3)
 Stairways (Occ Load x .3) = N/A
 Other Components (Occ Load x .2) = 31.6"
 - Stairways (IBC 1011.2) = 44"
 - Corridors (IBC 1020.2) = 44"
 - Exit Passageways (IBC 1024.2) = 44"
 - Exit Doors (IBC 1010.1.1) = 32" Min Clear
 48" Max Nom

6. Doors
 - Swing (IBC 1010.1.2.1)
 - Side Hinged Swinging Out At Occupant Load Of 50 Or More
 - Landings (IBC 1010.1.6)
 Width Not Less Than Width of Door Or Stairway
 Length in Direction of Travel Not Less Than 44"
 - Thresholds (IBC 1010.1.7)
 Max Height = 1/2" - 1/2 Beveled Edge If 1/4" - 1/2"
 - Door Arrangement (IBC 1010.1.8) 48" + Door Width Apart
 - Lock or Latch (IBC 1010.1.9)
 Operable From Egress Side Without Use of Knowledge or Keys.
 Manually Operated Flush Bolts Permitted on Inactive leaf.
 - Panic/ Fire Exit Hardware (IBC 1010.1.10)
 Not Required At Exit/Exit Access Doors

PLUMBING FIXTURES

A. NUMBER FIXTURES REQUIRED (IBC 2902.1)

1. Care Recipients - 26 Occupants
- | Fixture | Required | Provided |
|--------------------|----------|----------|
| Water Closets | 26 | 26 |
| Urinals | - | - |
| Lavatories | 26 | 26 |
| Bathubs/ Showers | 1.73 | 26 |
| Drinking Fountains | 0.26 | See Note |
| Service Sink | 1 | 1 |

2. Visitors

- 14 Occupants
 - 7 Female Occupants, 7 Male Occupants
- | Fixture | Required |
|--------------------|--------------------|
| Water Closets | 14 At 1/25 = 0.56 |
| Urinals | - |
| Lavatories | 14 At 1/35 = 0.40 |
| Bathubs/ Showers | - |
| Drinking Fountains | 14 At 1/100 = 0.14 |
| Service Sink | 1 |

3. Total Number of Plumbing Fixtures Required

Fixture	Required	Provided
Water Closets	94 At 1/75 = 1.25	
Urinals	-	
Lavatories	94 At 1/100 = 0.94	
Bathubs/ Showers	-	
Drinking Fountains	94 At 1/500 = 0.19	
Service Sink	1	1

2. Visitors

- 118 Occupants - 24 Care Recipients = 94 Visitors
 - 59 Female Occupants, 59 Male Occupants
- | Fixture | Required |
|--------------------|--------------------|
| Water Closets | 94 At 1/75 = 1.25 |
| Urinals | - |
| Lavatories | 94 At 1/100 = 0.94 |
| Bathubs/ Showers | - |
| Drinking Fountains | 94 At 1/500 = 0.19 |
| Service Sink | 1 |

3. Total Number of Plumbing Fixtures Required

Fixture	Required	Provided
Water Closets	1.81	2
Urinals	-	-
Lavatories	1.34	2
Bathubs/ Showers	-	1
Drinking Fountains	0.33	See Note
Service Sink	1	1

Note: Footnote i. - Where Water Is Served Drinking Fountains Are Not Required

B. LOCATION OF FIXTURES (IBC 2902.3.3)

- Not More Than 1 Story Above Or Below Regular Working Area
 - Travel Distance Less Than 500 ft

C. SIGNAGE (IBC 2902.4)

- A Legible Sign For Each Sex Shall Be Provided Near The Entrance To The Toilet Facility

OTHER

- A. ACCESSIBILITY
 1. Building is Accessible
 B. GUARDS (IBC 1015)
 1. 42" High Minimum Guards Shall Be Installed Where A Change In Levels Drops 30" Or More.

C. ROOF ACCESS (IBC 306.5)

1. Not Required, Roof Edge Is Less Than 16 Feet

D. CONCEALED SPACES

1. Floors (IBC 718.3)
 - Draftstops Not Required in Sprinklered Building
 2. Attics (IBC 718.4)
 - Draftstops Not Required in Sprinklered Building

E. VENTILATION

1. Attics (IBC 1202.2)
 - 1 s.f./ 300 s.f. With Vapor Barrier
 2. Under-Floors (IBC 1202.4)
 N/A

F. ATTIC ACCESS (IBC 1208.2)

1. 20"x30" Minimum Access Panel Required
 G. SAFETY GLAZING (IBC 2406)
 1. Safety Glazing Shall Be Installed in Hazardous Locations As Specified in IBC 2406.4

H. RECYCLING SPACE (MSBC 1303.1500)

1. 0.025 x 17,276 s.f. = 43 s.f. Required

J. FIRE ALARM AND DETECTION SYSTEMS

1. Manual and Automatic Fire Alarm System Required (IBC 907.2.6.2)
 2. If Required Provide Audible And Visible Alarm Notification Devices (IBC 907.5, NFPA 72)

K. SOUND TRANSMISSION (IBC 1206)

1. Walls, Partitions, and Floor/Ceiling Assemblies Separating Sleeping Units From Each Other, or From Public or Service Areas Shall Have an STC Rating And A IIC Rating of Not Less Than 50

L. PARKING AND MANUEVERING (EAST BETHEL Zoning Ordinance)

1. Parking Stall Calculation

1/4 RESIDENTS	7 Stalls
Total Stalls Required	7 Stalls
Total Stalls Provided	43 Stalls
Accessible Requirement Per 43 Stalls (IBC Table 1106.1)	2 Stalls

2. Stall Size
 - 9'-0" x 20'-0" 3. Aisle Size - 26'-0" 4. Striping - 4" White Stripes

5. Pavement Design

- All Drive Aisles And Truck Maneuvering Areas
 2" Bituminous Wear Course
 2" Bituminous Binder Course
 8" Compacted Class 5 Base
 - All Parking Areas
 1 1/2" Bituminous Wear Course
 1 1/2" Bituminous Binder Course
 6" Compacted Class 5 Base
 - Verify With Existing Soil Conditions And Adjust Accordingly
 - Provide Geo-Fabric Under All Bituminous Pavement

M. WATER AND SEWER CONNECTION

1. Building Served By City Water And Sewer.

ENVELOPE COMPLIANCE

ANSI/ASHRAE STANDARD 90.1-2019

Note: Compliance Is For Building Envelope Only. The Design-Build HVAC and Electrical Designers Must Submit Documentation Proving Compliance With HVAC, Lighting, And Water Heating

GENERAL

- A. Space Conditioning Category (5.1.2)
 1. Nonresidential Conditioned Space
 B. Climate (5.1.4)
 1. Zone 6 - Southern Minnesota

COMPLIANCE PATH

- A. Prescriptive Building Envelope Option (5.2)

MANDATORY PROVISIONS

- A. Components Of The Building Envelope Shall Comply With Section 5.4
 1. Insulation (5.4.1) Shall Comply With Section 5.8.1
 2. Fenestration/ Door Performance (5.4.2) Shall Comply With Section 5.8.2
 3. Air Leakage (5.4.3)
 The Building Envelope Shall Contain An Air Barrier And Be Sealed At The Following Areas:
 - Joints Around Fenestration And Door Frames
 - Junctions Between Walls and Floors, Walls At Building Corners, Walls and Roofs or Ceilings
 - Penetrations Of Utility Services At Walls, Floors, and Roofs
 - Building Assemblies Used As Ducts Or Plenums
 - Joints, Seams, Conn. Between Planes Or Changes In Air Barrier Materials
 Fenestration and Doors - According To 5.4.2
 Loading Dock Weatherseals - Required According To 5.4.3.2
 Vestibules - Required at Building Entrances According To 5.4.3.3

PRESCRIPTIVE REQUIREMENTS

Table 5.5-6 Building Component	Maximum Assembly	Minimum Insulation	Proposed
ROOF: Attic	U-0.021	R-49	R-49
WALLS: Wood Framed	U-0.051	R-19+R-5 (ci)	R-19+R-5 (ci)
S. O. G. FLOORS: Heated	F-0.688	F-0.64	F-0.64
OPAQUE DOORS: Swinging	U-0.370	U-0.20	U-0.20
OPAQUE DOORS: Non-Swinging	U-0.310	U-0.147	U-0.147
FENESTRATION: 0-40% Glazing	U-0.340 (0.38 SHGC)	U-0.340	U-0.340

SUBMITTALS

- A. Contractor To Provide Product Submittals If Requested By The Building Official

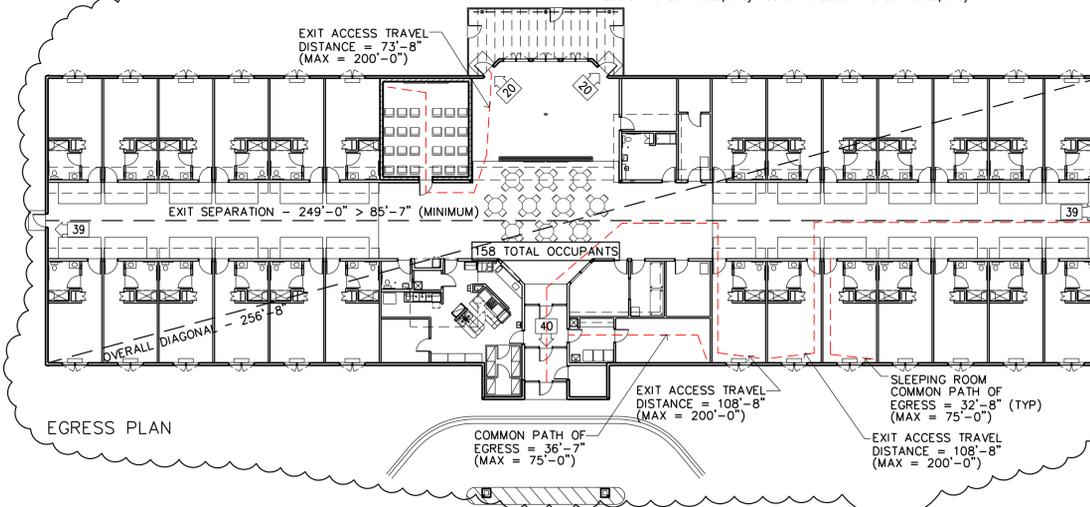
PRODUCT INFORMATION AND INSTALL. REQ.

- A. Building Components Must Identify R-Values Or U-Values Clearly Labeled On The Product In Accordance With Section 5.8

LIFE SAFETY PLAN REVIEW

OTHER

- A. LIFE SAFETY COMPLIANCE (4.4)
 1. Prescriptive Option - Must Comply With Chapters 1-4, 6-11, 32, And 43
 B. OCCUPANCY (6.1.9)
 1. Residential Board And Care (Large Facility)
 C. RESIDENTIAL BOARD AND CARE FACILITY (CHAPTER 32)
 1. Type of Construction - V(111) (32.3.1.3)
 2. EGRESS (32.3.2)
 a. Each Sleeping Room Has Access To A Primary Means Of Escape (Door)
 b. Corridor Width = 60" Minimum
 c. Common Path Of Escape - 75 Feet Maximum
 d. Dead End - 30 Feet Maximum
 e. Exit Travel Distance - 250 Feet Maximum
 3. SEPARATION PROTECTION (32.3.3)
 a. Boiler Rooms = 1-Hour Rated
 b. Laundry Rooms Larger Than 100 s.f. = 1-Hour Rated
 c. Storage Room Larger Than 100 s.f. = 1-Hour Rated
 d. Interior Finish
 - Exits - Class A
 - Lobbies/ Corridors - Class B
 - Enclosed Rooms - Class B
 e. Detection Alarm And Communication System
 - Initiation By Manual Means At Central Control Point
 - Automatic Sprinkler System Required
 - Detection System Required
 - Occupant and Emergency Forces Notification to be Automatic
 - Smoke Alarm Required Inside Sleeping Room And Outside Sleeping Area
 - Carbon Monoxide Detectors Required in Rooms With Fuel Burning Appliances And At First Supply Register in Occupied Spaces
 f. Subdivision Of Building Spaces
 - Smoke Barrier Not Required On Stories That Do Not Contain A Residential Board And Care Occupancy Above The Board And Care Occupancy



DEVELOPMENT TEAM

CONTRACTOR

STONE CONSTRUCTION
 2181 107th Lane Northeast
 Blaine, MN. 55434
 Phone: 763-784-1950
 Contact: Andrew Osterheim

ARCHITECT

LAMPERT ARCHITECTS
 420 Summit Ave
 St. Paul, MN 55102
 Phone: 763-755-1211
 Contact: James Berthiaume

OWNER

ATLAS VILLAS MEMORY CARE
 1825 Main Street
 Centerville, MN. 55038
 Phone: 651-219-4953
 Contact: Amber and Rick Gonion

CIVIL ENGINEER

PLOWE ENGINEERING
 6776 Lake Drive, Suite 110
 Lino Lakes, MN 55014
 Phone: 651-361-8210
 Contact: Mohammad Abughazleh

ENGINEER

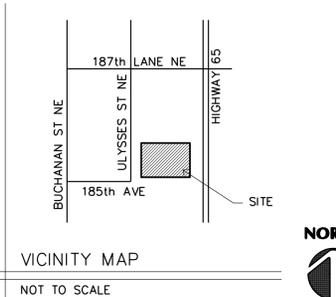
STROH ENGINEERING

P.O. Box 1058
 Jerome, AZ 86331
 Phone: 808-463-2256
 Contact: Bernie Stroh

SHEET SCHEDULE

Sheet	Description
T1	Title Sheet
A1	Site Plan
L1	Landscape Plan
L2	Schematic Site Lighting Plan
A2.1	Partial Floor Plan (North)
A2.2	Partial Floor Plan (South)
A3.1	Partial Reflected Ceiling Plan (North)
A3.2	Partial Reflected Ceiling Plan (South)
A4.1	Partial Roof Plan (North)
A4.2	Partial Roof Plan (South)
A5	Building Elevations
A6	Building Section, Typ Unit Plan, Restroom Details
A7	Door Types, Wall Types, Window Types
A8	Wall Sections
S1.1	Partial Footing & Foundation Plan (North)
S1.2	Partial Footing & Foundation Plan (South)
S2.1	Partial Roof Framing Plan (North)
S2.2	Partial Roof Framing Plan (South)
S3	General Notes, Structural Details

VICINITY MAP



VICINITY MAP
 NOT TO SCALE

NOTE TO ALL DESIGN/BUILD CONTRACTORS AND THEIR SUB-CONTRACTORS:

THE DESIGN/BUILD CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER, OR ANY OTHER DESIGN/BUILD SUB-CONTRACTOR'S DOCUMENTS AS PERTAINING TO THE WORK FOR THIS PROJECT. IT IS THE DESIGN/BUILD CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE DESIGN/BUILD CONTRACTOR OF ANY CONFLICTS WITH THE ARCHITECTURAL AND STRUCTURAL DOCUMENTS DUE TO SIZES, LOCATIONS, QUANTITIES, ROUGH-IN DIMENSIONS AND CODE INTERPRETATIONS. THE DESIGN/BUILD CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT IMMEDIATELY OF ANY ARCHITECTURAL REVISIONS REQUIRED DUE TO THE COORDINATION OF EACH DESIGN/BUILD SUB-CONTRACTOR'S DOCUMENTS.

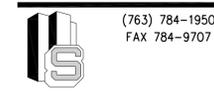
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 lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.



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ATLAS VILLAS MEMORY CARE

East Bethel, Minnesota

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Leonard Lampert Architects Inc.

Project Designer: JAMES B

Drawn By: JRB

Checked By: LL

Revisions

7/8/25	PRELIMINARY
8/1/25	FINAL REVIEW
8/4/25	ISSUE FOR PERMIT

LANDSCAPE PLAN

Sheet Number

L1

Project No. 250522-4

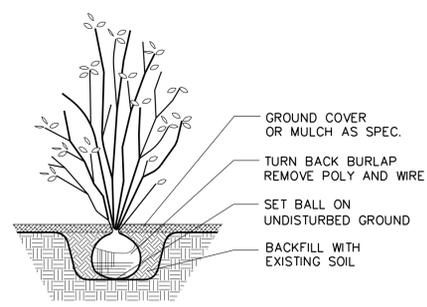
PLANTING SCHEDULE						
QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	MTHD	REMARKS
2	IH	IMPERIAL HONEYLOCUST	GLEDITSIA TRICANTHOS	2.5" CAL.	BB	
4	CT	COFFEE TREE	GYMNOCLADUS DIOICUS	2.5" CAL.	BB	
3	SO	SWAMP WHITE OAK	QUERCUS BICOLOR	2.5" CAL.	BB	
14	BN	BIRDS NEST SPRUCE	PICEA ABIES NIDIFORMIS	18"-24" TALL	CONT.	
16	GG	GREEN GEM BOXWOOD	BUXUS	18"-24" TALL	CONT.	
10	LD	LITTLE DEVIL NINEBARK	PHYSOCARPUS OPULIFOLIUS	18"-24" TALL	CONT.	
10	GM	GREEN MOUND ALPINE CURRANT	RIBES ALPINUM	18"-24" TALL	CONT.	
8	PA	PYRAMIDAL ARBORVITAE	THUJA OCCIDENTALIS	18"-24" TALL	CONT.	

- LANDSCAPE NOTES:**
- SEED/SOD AREAS AS SHOWN ON THE PLAN.
 - SEE PLAN FOR PLANTINGS LOCATED IN ROCK MULCH BED. ROCK MULCH BEDS SEPARATED FROM SOD BY BLACK VINYL EDGER. OTHER PLANTINGS TO HAVE WOOD MULCH RING TO PREVENT WEED GROWTH AND CONSERVE WATER.
 - UNDERGROUND IRRIGATION SYSTEM TO BE PROVIDED FOR ALL FOUNDATION PLANTINGS AND TURF AREAS. PROVIDE MOISTURE SENSOR. IRRIGATION DESIGN BY CONTRACTOR.
 - SEE PLAN FOR EXISTING TREES TO BE SAVED OR REMOVED

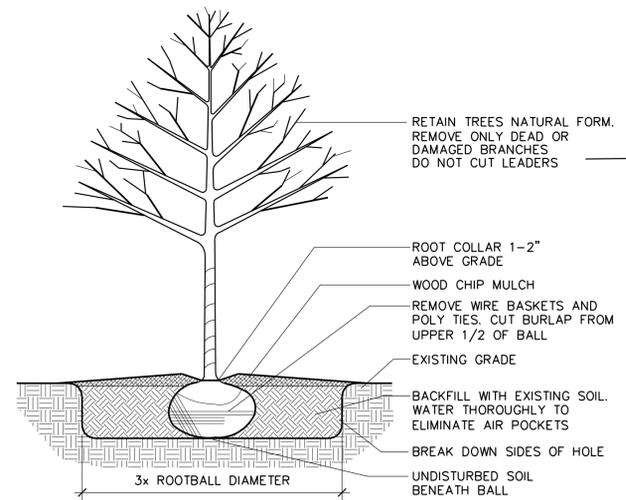
LANDSCAPE REQUIREMENT:

OVERSTORY/CONIFEROUS
17,276 S.F. AT 1/2,000 = 9 TREES REQUIRED
9 TREES PROVIDED

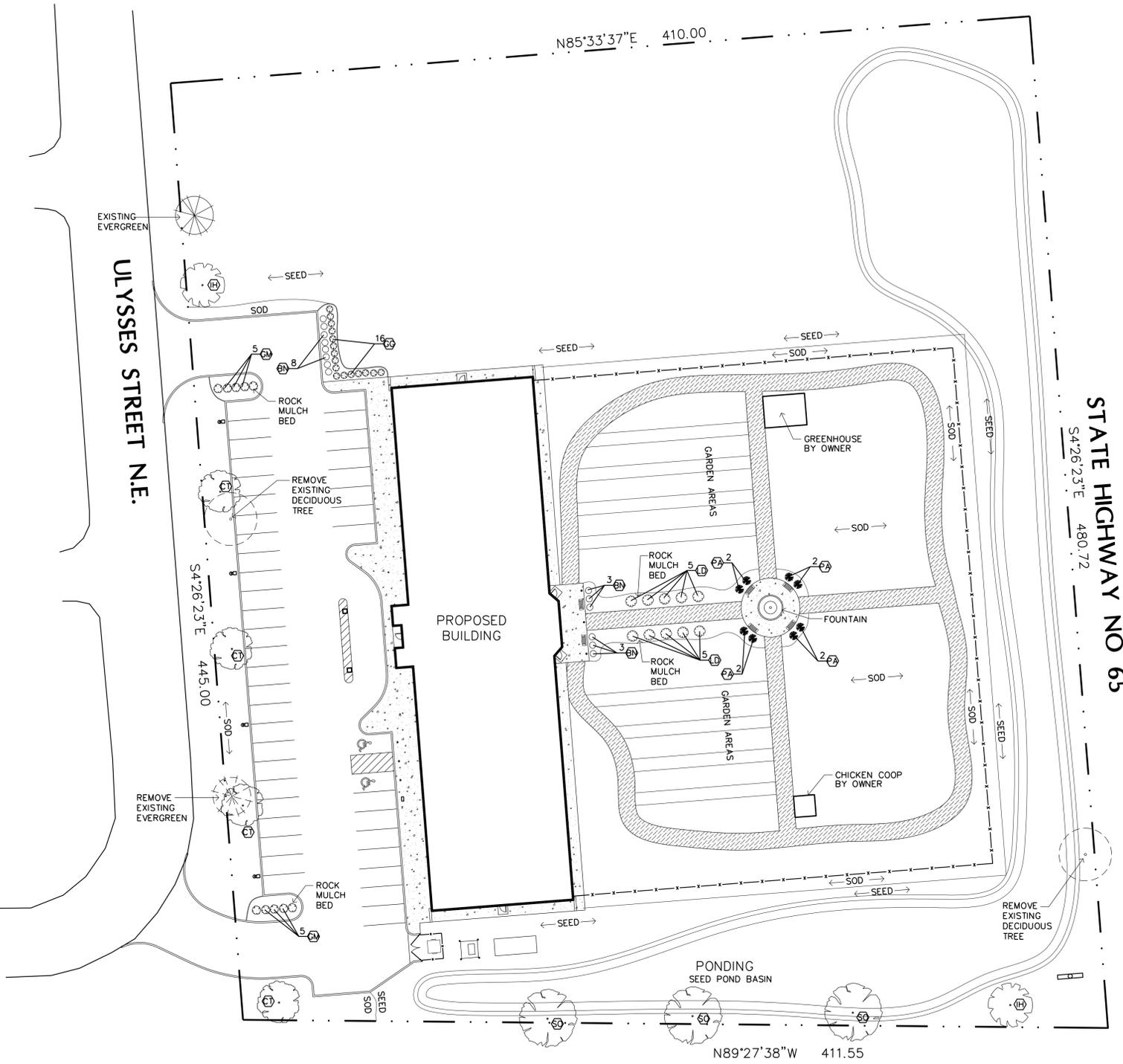
SHRUBS
17,276 S.F. AT 1/300 = 58 SHRUBS REQUIRED
58 SHRUBS PROVIDED



3 SHRUB PLANTING DETAIL
L1 SCALE: NOT TO SCALE



2 TREE PLANTING DETAIL
L1 SCALE: NOT TO SCALE



1 LANDSCAPE PLAN
L1 SCALE: 1" = 30'-0"



Filename: ATLAS MEMORY CARE\ATLAS MEMORY CARE-L1



PLAN NOTES:

1. LIGHTING SHOWN FOR SCHEMATIC PURPOSES ONLY. LIGHTING IS DESIGN-BUILD BY ELECTRICAL CONTRACTOR. VERIFY SIZE, STYLE, QUANTITY, AND LOCATION W/ OWNER AND CONTRACTOR. PROVIDE LIGHTING PHOTOMETRICS IF NECESSARY AT CITY'S REQUEST.
2. ALL LIGHTING IS TO BE SHIELDED/DIRECTED AWAY FROM ADJACENT PROPERTIES AND STREET RIGHT OF WAYS.
3. PROVIDE EMERGENCY EXIT LIGHTING AT ALL EXIT DOORS.

1 SCHEMATIC SITE LIGHTING
L2 SCALE: 1" = 30'-0"



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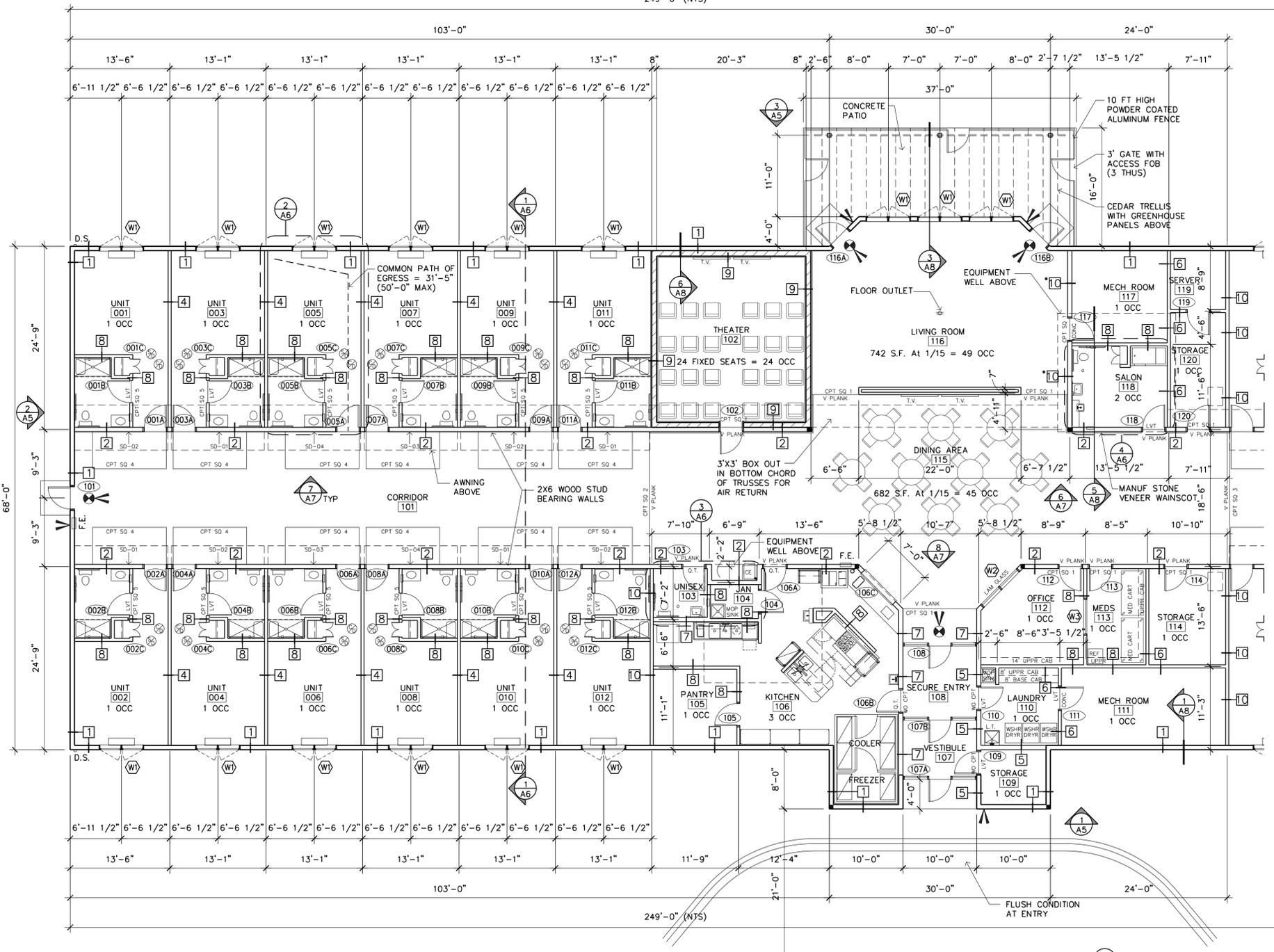
ATLAS VILLAS MEMORY CARE
East Bethel, Minnesota

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Project Designer: JAMES B
Drawn By: JRB
Checked By: LL
Revisions

8/1/25	FINAL REVIEW
8/4/25	ISSUE FOR PERMIT

SCHEMATIC SITE LIGHTING

Sheet Number
L2
Project No. 250522-4



- PLAN NOTES**
- EXIT SIGNAGE. PROVIDE EMERGENCY BACK-UP POWER
 - EMERGENCY LIGHTING. PROVIDE EMERGENCY BACK-UP POWER AND (1) FOOT CANDLE AT THE WALKING SURFACE.
 - F.E. = FIRE EXTINGUISHER. VERIFY SIZE AND SPACING WITH BUILDING OFFICIAL.
 - SMOKE DETECTOR. PRIMARY POWER SHALL BE OTHER THAN BATTERY POWER. ACTIVATION SHALL CAUSE A VISUAL DISPLAY ON THE CORRIDOR SIDE OF THE ROOM.
 - CARBON MONOXIDE DETECTOR. PRIMARY POWER SHALL BE OTHER THAN BATTERY POWER.
 - KITCHEN EQUIPMENT DESIGN IS BY TRIMARK. VERIFY EQUIPMENT SIZE, LAYOUT, AND ROUGH-INS WITH EQUIPMENT PLAN.
 - THE OFFICE IS CONSTRUCTED AS REQUIRED FOR CORRIDORS AND IS ALLOWED TO BE OPEN TO THE CORRIDOR (IBC 407.2.2).
THE SALON, DINING ROOM, AND LIVING ROOM IS CONSTRUCTED AS REQUIRED FOR CORRIDORS AND IS ALLOWED TO BE OPEN TO THE CORRIDOR (IBC 407.2.5).
THE KITCHEN IS CONSTRUCTED AS REQUIRED FOR CORRIDORS AND IS ALLOWED TO BE OPEN TO THE CORRIDOR (IBC 407.2.6).

1 FLOOR PLAN
SCALE: 1/8" = 1'-0"
NORTH

FLOORING TRANSITIONS
CPT SQ TO LVT
MANNINGTON MAT EDGING 3/16" 420 (ALMOND 403) OR EQUAL
CPT SQ TO Q.T.
SCHLUTER "RENO-TK" STAINLESS STEEL
LVT TO Q.T.
SCHLUTER "RENO-U" STAINLESS STEEL

- GENERAL FINISHES**
- FLOORING**
- V PLANK = VINYL PLANK MANNINGTON ADURA FLEX PLANK (FXP030), DOCKSIDE "SEASHELL" 6"x48" - 1/3 STAGGERED PATTERN
 - CPT SQ 1 = CARPET SQUARES NOBLESSE TILE TEXTURED LOOP WITH ECOWORX BACKING, PEWTER 80501 24"x24" - 1/4 TURN
 - CPT SQ 2 = CARPET SQUARES NOBLESSE TILE TEXTURED LOOP WITH ECOWORX BACKING, BLUE MARLIN 80400 24"x24" - 1/4 TURN
 - CPT SQ 3 = CARPET SQUARES NOBLESSE TILE TEXTURED LOOP WITH ECOWORX BACKING, TROPIC NIGHT 30301 24"x24" - 1/4 TURN
 - CPT SQ 4 = CARPET SQUARES NOBLESSE TILE TEXTURED LOOP WITH ECOWORX BACKING, MOONSCAPE 52502 24"x24" - 1/4 TURN
 - CPT SQ 5 = CARPET SQUARES NOBLESSE TILE TEXTURED LOOP WITH ECOWORX BACKING, PEWTER 80501 24"x24" - 1/4 TURN
 - Q.T. = QUARRY TILE QUARRY BASICS '507 PURITAN GRAY' 6"x6" - 1/8" GROUT JOINT (6" COVER BASE TO MATCH) CEG-IG 100% SOLIDS INDUSTRIAL GRADE EPOXY GROUT CUSTOM BUILDING PRODUCT #60 CHARCOAL
 - LVT = LUXURY VINYL TILE MANNINGTON ADURA FLEXITILE, FXR430, LEGACY RIGID TILE "WHITE WITH GREY" 12"x24", 1/3 STAGGERED TILE PATTERN
 - CONC = SEALED CONCRETE
- BASE**
- WOOD = 1/2"x6" PAINT GRADE POPLAR WITH EASED TOP EDGE PAINTED PT-01
 - Q.T. = QUARRY TILE QUARRY BASICS '507 PURITAN GRAY' 6"x6" COVER - 1/8" GROUT JOINT CEG-IG 100% SOLIDS INDUSTRIAL GRADE EPOXY GROUT CUSTOM BUILDING PRODUCT #60 CHARCOAL
 - VINYL = 6" RUBBER WITH COVE FLOOR EDGE
- WALLS**
- CT/WST = CERAMIC TILE WAINSCOT TO 5'-0" A.F.F. DALTILE LARGO LR94, "WHITE"
 - PT/GYP = PAINTED GYPSUM BOARD
 - PT-01 - SHERWIN WILLIAMS, DOVER WHITE (SW6385), SEMI-GLOSS LOCATION - DOOR FRAMES, BASE AND TRIM AND UNIT BATH VANITIES
 - PT-02 - SHERWIN WILLIAMS, SILVERSTRAND (SW7057), EGGSHELL LOCATION - UNIT WALLS
 - PT-03 - SHERWIN WILLIAMS, RAINWASHED (SW6211), EGGSHELL LOCATION - UNIT BATH WALLS
 - PT-04 - SHERWIN WILLIAMS, CHINA DOLL (SW7517), EGGSHELL LOCATION - LIVING AND DINING ROOM WALLS
 - PT-05 - SHERWIN WILLIAMS, GRASSLAND (SW6163), EGGSHELL LOCATION - THEATER WALLS
 - PT-06 - SHERWIN WILLIAMS, REPOSE GRAY (SW7015), EGGSHELL LOCATION - OFFICE, SALON WALLS
 - PT-07 - SHERWIN WILLIAMS, ACCESSIBLE BEIGE (SW7036), EGGSHELL LOCATION - KITCHEN, UNISEX, LIVING/DINING FEATURE WALLS
 - PT-09 - SHERWIN WILLIAMS, COLONIAL REVIVAL STONE (SW2827), FLAT LOCATION - EXTERIOR DOORS
- CEILING**
- PT/GYP = PAINTED GYPSUM BOARD
 - PT-08 - SHERWIN WILLIAMS, PURE WHITE (SW7005), FLAT LOCATION - CEILING
 - V. ACT = VINYL FACED CEILING TILES
- COUNTERS**
- HANSTONE QUARTZ (OR EQUAL) TRANQUILITY - RUG13 - 2CM WITH 4 CM EDGE (EASED)
- WALL PAPER**
- WP-01 - BLUE SKY AND CLOUDS PROVIDED BY OWNER, INSTALLED BY G.C. LOCATION - CORRIDOR CEILING
 - WP-02 - GREEN FOREST/PLANTS PROVIDED BY OWNER, INSTALLED BY G.C. LOCATION - CORRIDOR END WALLS
- UNIT CORRIDOR WALLS**
- SD-01 - 6" CEMENT BOARD LAP SIDING PAINTED SHERWIN WILLIAMS CT-158, OXFORD BLUE
 - SD-02 - 6" CEMENT BOARD LAP SIDING PAINTED SHERWIN WILLIAMS CT-159, SEAGRASS
 - SD-03 - 6" CEMENT BOARD LAP SIDING PAINTED SHERWIN WILLIAMS CT-204, CYPRESS
 - SD-04 - 6" CEMENT BOARD LAP SIDING PAINTED SHERWIN WILLIAMS CT-160, SILVER ASH
- MANUFACTURED STONE VENEER**
- BOULDER CREEK STONE - BLUFFSTONE "OUTBACK" INDIANA Limestone COMPANY - GRADE A, BEDFORD OR FULL COLOR BLEND ROCK FACE WITHOUT DRIP EDGE
- AWNING ROOF**
- GAF TIMERLINE HD "BARKWOOD" OR CERTINTEED LANDMARK PLUS "HEATHER BLEND"

ROOM#	DESCRIPTION	FLOOR	BASE	N.WALL	E.WALL	S.WALL	W.WALL	CLG.	HGHT	REMARKS
101	CORRIDOR	CPT SQ	WOOD	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	SEE PLAN FOR ACCENT CPT SQ
102	THEATER	CPT SQ	WOOD	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	7'-10"
103	UNISEX	Q.T.	Q.T.	CT/WST	SEE PLAN FOR LOCATIONS	PT/GYP	PT/GYP	PT/GYP	PT/GYP	8'-10.75"
104	JANITOR	Q.T.	Q.T.	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	8'-10.75"
105	PANTRY	Q.T.	Q.T.	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	8'-10.75"
106	KITCHEN	Q.T.	Q.T.	CT/WST	SEE PLAN FOR LOCATIONS	V. ACT	V. ACT	V. ACT	V. ACT	8'-0"
107	VESTIBULE	CPT SQ	WOOD	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	14'-10.75"
108	SECURE ENTRY	CPT SQ	WOOD	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	8'-10.75"
109	STORAGE	LVT	WOOD	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	14'-10.75"
110	LAUNDRY	LVT	WOOD	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	8'-10.75"
111	MECHANICAL	CONC	WOOD	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	8'-10.75"
112	OFFICE	CPT SQ	WOOD	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	8'-10.75"
113	MEDICATIONS	CPT SQ	WOOD	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	8'-10.75"
114	STORAGE	CPT SQ	WOOD	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	8'-10.75"
115	DINING ROOM	V PLANK	WOOD	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	VARIABLES
116	LIVING ROOM	CPT SQ	WOOD	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	8'-10.75"
117	MECHANICAL	CONC	VINYL	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	8'-10.75"
118	SALON	LVT	WOOD	CT/WST	SEE PLAN FOR LOCATIONS	PT/GYP	PT/GYP	PT/GYP	PT/GYP	8'-10.75"
119	SERVER	CPT SQ	WOOD	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	8'-10.75"
120	STORAGE	CPT SQ	WOOD	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	8'-10.75"
121	CORRIDOR	CPT SQ	WOOD	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	VARIABLES
001-026	UNITS	CPT SQ	WOOD	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	PT/GYP	8'-10.75"

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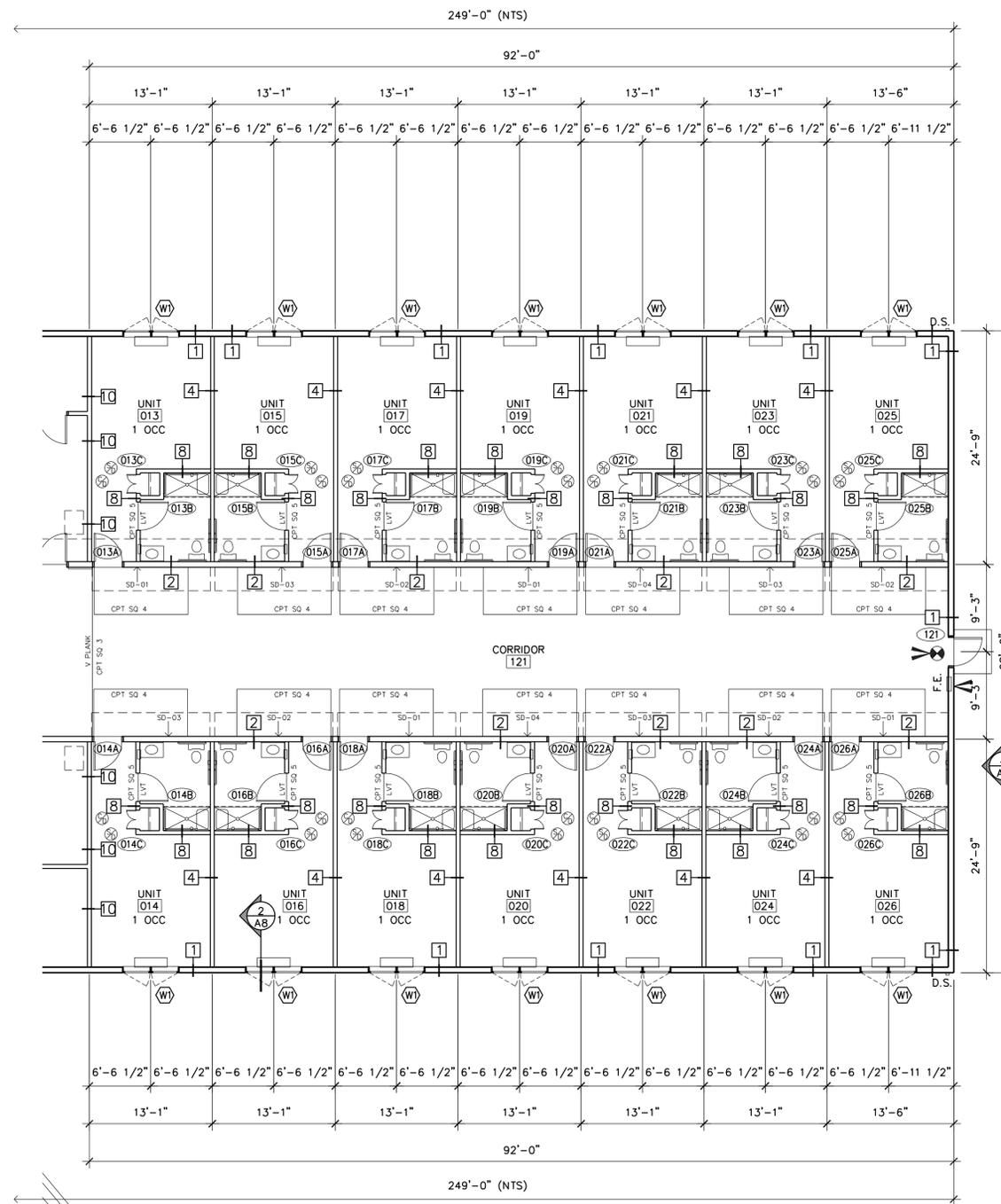
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8/1/25	FINAL REVIEW	
8/4/25	ISSUE FOR PERMIT	

PARTIAL FLOOR PLAN (NORTH)

Sheet Number

A2.1

Project No. 250522-4



PLAN NOTES

1. = EXIT SIGNAGE. PROVIDE EMERGENCY BACK-UP POWER
2. = EMERGENCY LIGHTING. PROVIDE EMERGENCY BACK-UP POWER AND (1) FOOT CANDLE AT THE WALKING SURFACE.
3. = FIRE EXTINGUISHER. VERIFY SIZE AND SPACING WITH BUILDING OFFICIAL.
4. = SMOKE DETECTOR. PRIMARY POWER SHALL BE OTHER THAN BATTERY POWER. ACTIVATION SHALL CAUSE A VISUAL DISPLAY ON THE CORRIDOR SIDE OF THE ROOM.
5. = CARBON MONOXIDE DETECTOR. PRIMARY POWER SHALL BE OTHER THAN BATTERY POWER.
6. KITCHEN EQUIPMENT DESIGN IS BY TRIMARK. VERIFY EQUIPMENT SIZE, LAYOUT, AND ROUGH-INS WITH EQUIPMENT PLAN.
7. THE OFFICE IS CONSTRUCTED AS REQUIRED FOR CORRIDORS AND IS ALLOWED TO BE OPEN TO THE CORRIDOR (IBC 407.2.2).
 THE SALON, DINING ROOM, AND LIVING ROOM IS CONSTRUCTED AS REQUIRED FOR CORRIDORS AND IS ALLOWED TO BE OPEN TO THE CORRIDOR (IBC 407.2.5).
 THE KITCHEN IS CONSTRUCTED AS REQUIRED FOR CORRIDORS AND IS ALLOWED TO BE OPEN TO THE CORRIDOR (IBC 407.2.6).

1 FLOOR PLAN
 A2.2 SCALE: 1/8" = 1'-0"



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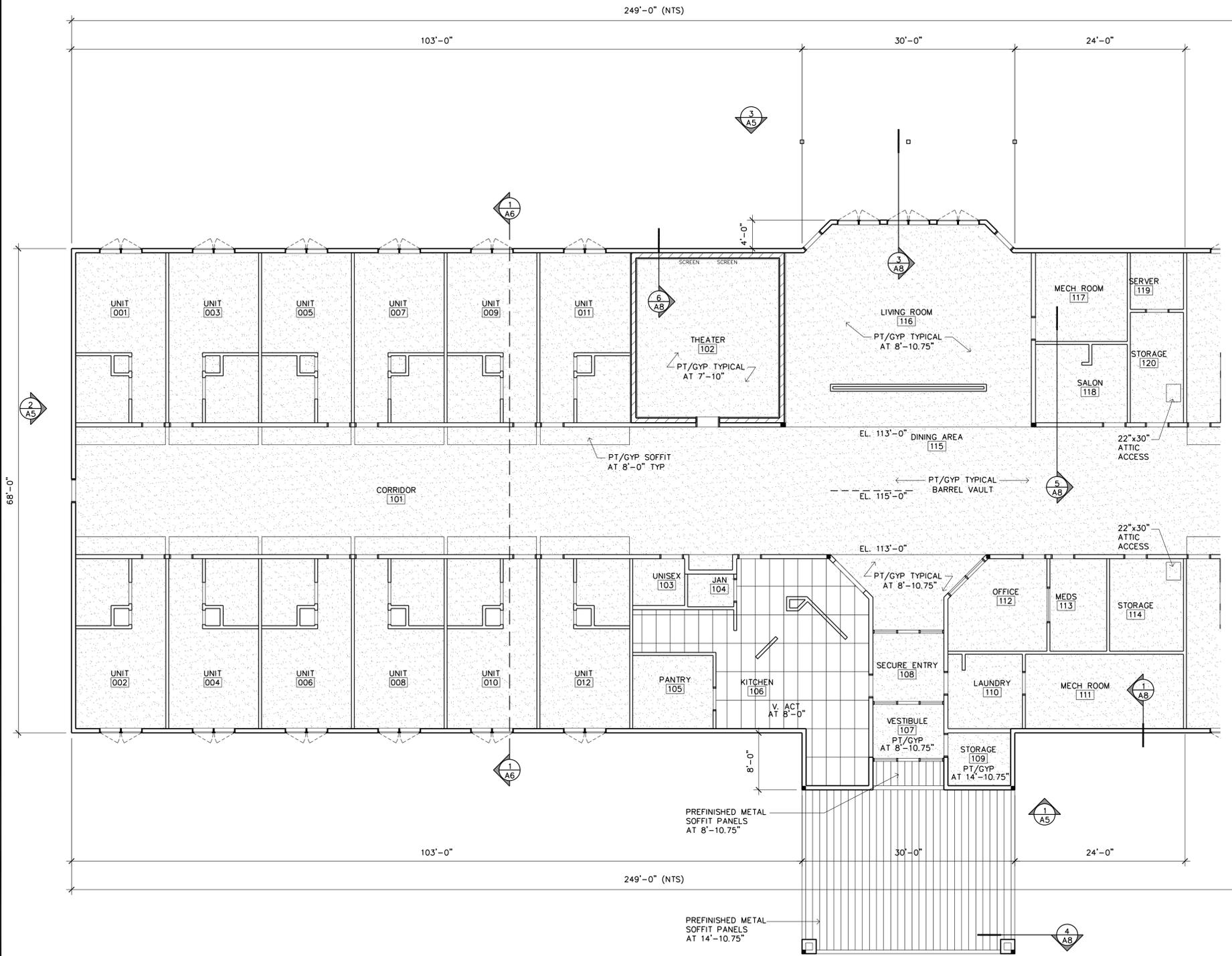
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PARTIAL FLOOR PLAN (SOUTH)

Sheet Number

A2.2

Project No. 250522-4



PLAN NOTES

- REFLECTED CEILING PLAN IS FOR APPROXIMATE GRID PLACEMENT ONLY. VERIFY LOCATION OF ALL DIFFUSERS, SPRINKLER HEADS, LIGHTS, ETC. WITH APPROPRIATE DESIGN BUILD CONTRACTOR

1 REFLECTED CEILING PLAN
A3.1 SCALE: 1/8" = 1'-0" NORTH

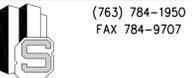


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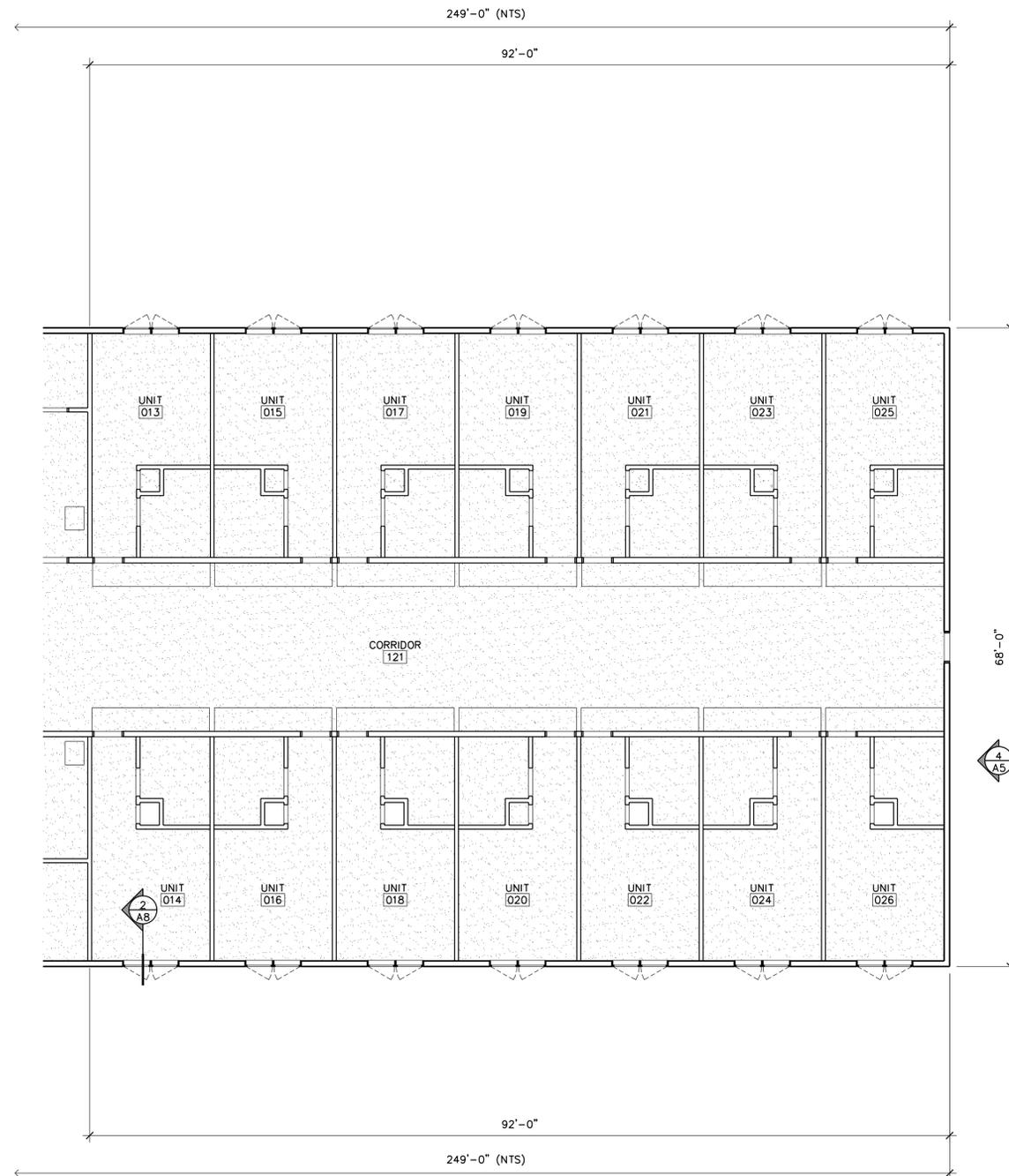
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**REFLECTEC
CEILING PLAN
(NORTH)**

Sheet Number

A3.1

Project No. 250522-4



1 REFLECTED CEILING PLAN
A3.2 SCALE: 1/8" = 1'-0" NORTH

PLAN NOTES
1. REFLECTED CEILING PLAN IS FOR APPROXIMATE GRID PLACEMENT ONLY. VERIFY LOCATION OF ALL DIFFUSERS, SPRINKLER HEADS, LIGHTS, ETC. WITH APPROPRIATE DESIGN BUILD CONTRACTOR



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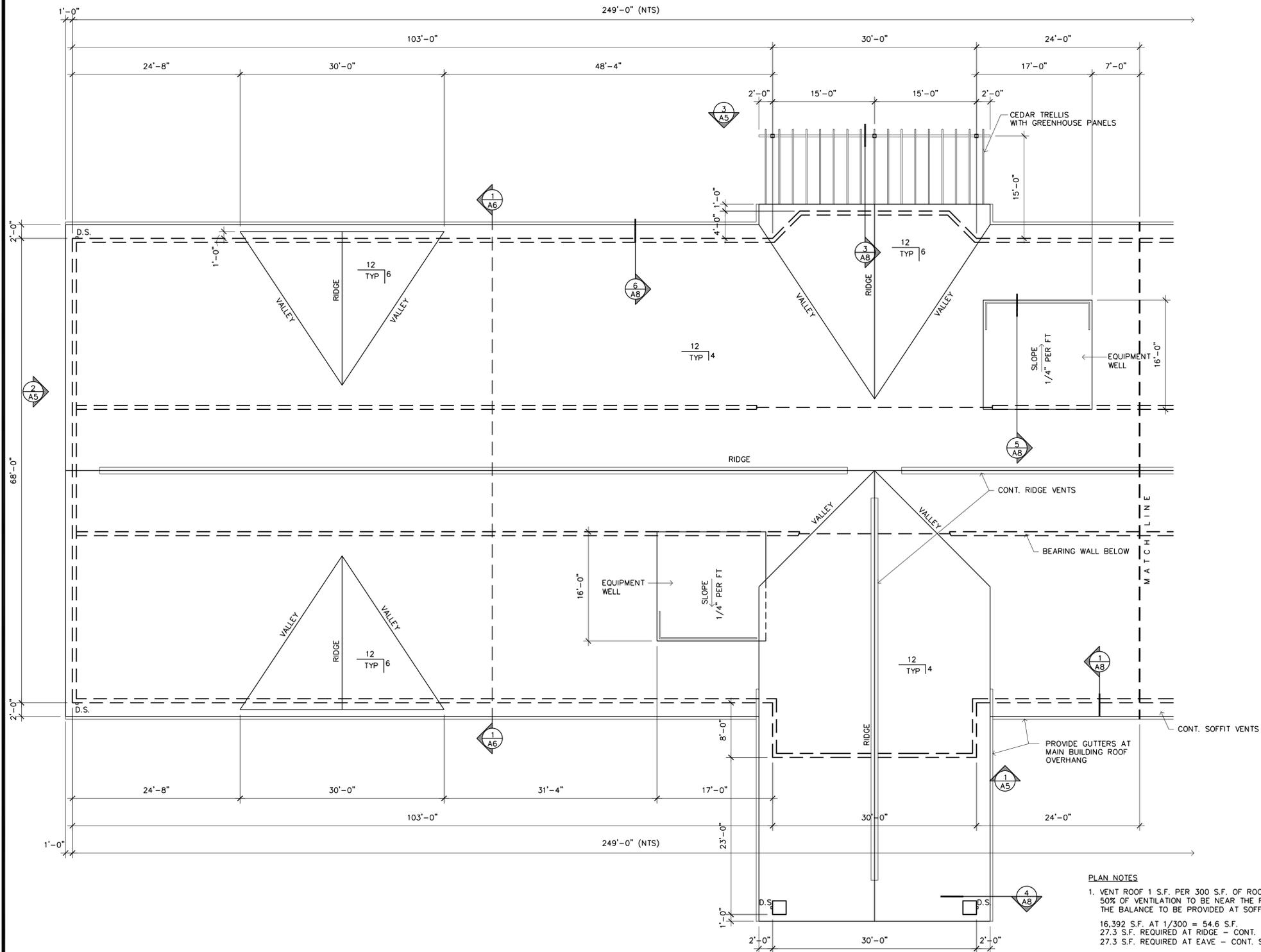
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**REFLECTEC
CEILING PLAN
(SOUTH)**

Sheet Number

A3.2

Project No. 250522-4



PLAN NOTES

- VENT ROOF 1 S.F. PER 300 S.F. OF ROOF AREA
50% OF VENTILATION TO BE NEAR THE RIDGE WITH THE BALANCE TO BE PROVIDED AT SOFFIT VENTS
16,392 S.F. AT 1/300 = 54.6 S.F.
27.3 S.F. REQUIRED AT RIDGE - CONT. RIDGE VENT PROVIDED
27.3 S.F. REQUIRED AT EAVE - CONT. SOFFIT VENTS PROVIDED
- ICE AND WATER SHIELD SHALL BE PROVIDED FROM THE ROOF EDGE TO 24" MINIMUM INSIDE THE EXTERIOR WALL LINE
ICE AND WATER SHIELD SHALL BE PROVIDED FOR THE FULL LENGTH OF ALL VALLEYS
MATERIALS SHALL BE SELF-ADHERING POLYMER MODIFIED BITUMIN SHEETS.
- GALVANIZED FLASHING TO BE USED AT ALL ROOF PENETRATIONS AND VALLEYS.

1 ROOF PLAN
A4.1 SCALE: 1/8" = 1'-0"
NORTH



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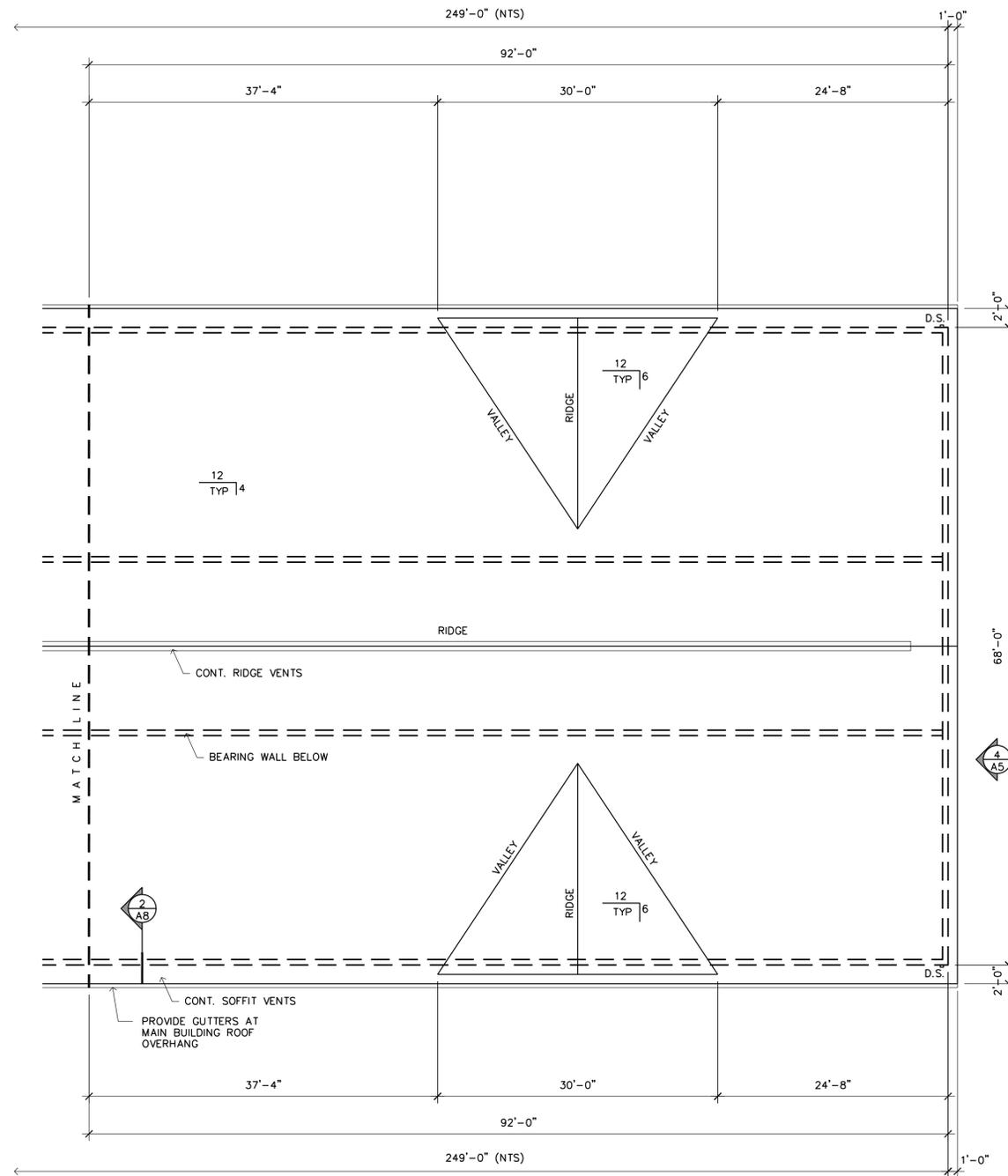
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PARTIAL ROOF PLAN (NORTH)
Sheet Number

A4.1

Project No. 250522-4



PLAN NOTES

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16,392 S.F. AT 1/300 = 54.6 S.F.
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ICE AND WATER SHIELD SHALL BE PROVIDED FOR THE FULL LENGTH OF ALL VALLEYS
MATERIALS SHALL BE SELF-ADHERING POLYMER MODIFIED BITUMIN SHEETS.
- GALVANIZED FLASHING TO BE USED AT ALL ROOF PENETRATIONS AND VALLEYS.

1 ROOF PLAN
A4.2 SCALE: 1/8" = 1'-0"



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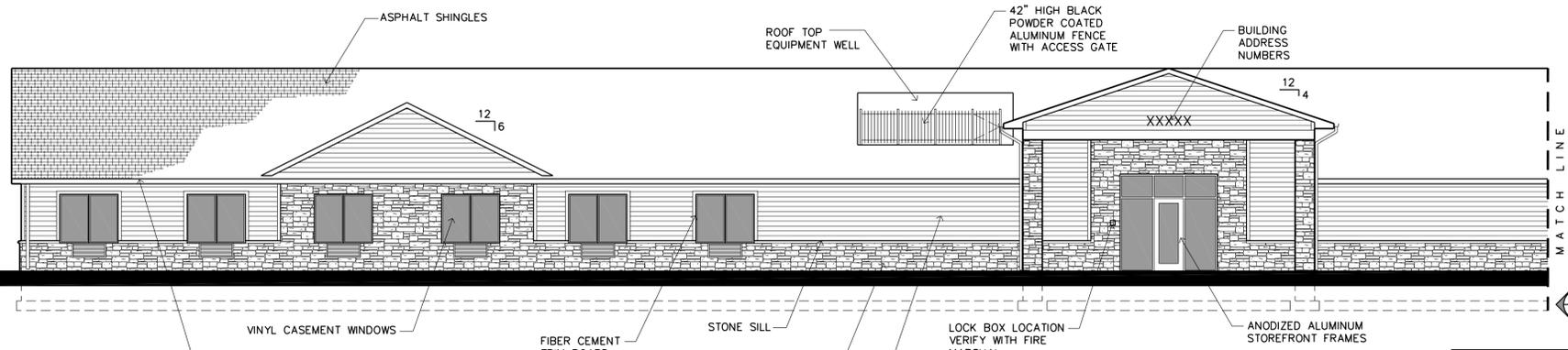
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PARTIAL ROOF PLAN (SOUTH)

Sheet Number

A4.2

Project No. 250522-4

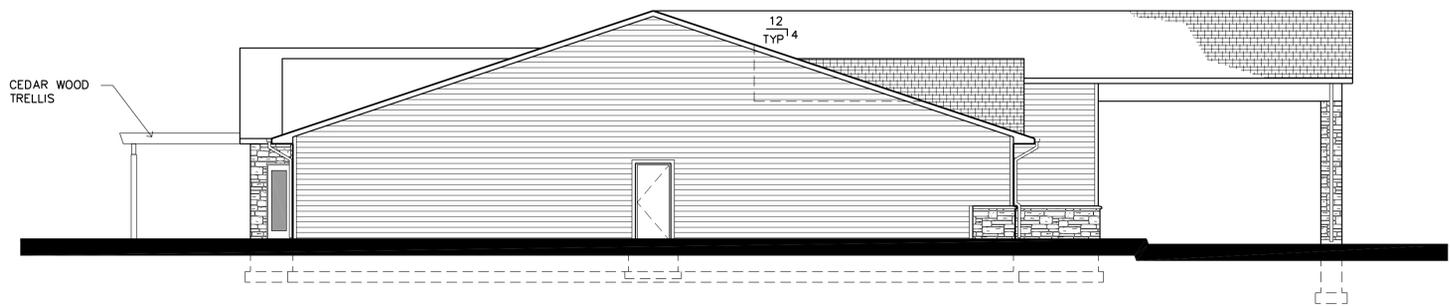


1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS - WEST
 FIBER CEMENT SIDING - 519 S.F. (23.0%)
 MANUF STONE - 1,038 S.F. (45.9%)
 WINDOWS - 703 S.F. (31.1%) > 20% MINIMUM FACING R.O.W.
 2,260 S.F. (100%)

MANUFACTURED STONE VENEER
 BOULDER CREEK STONE PRODUCTS
 BLUFFSTONE - OUTBACK
 STONE SILL
 2-1/4" HIGH X 2-1/2" DEEP X 6'-0" LONG
 INDIANA LIMESTONE COMPANY, GRADE A
 BEDFORD OR FULL COLOR BLEND, ROCK FACE WITH DRIP EDGE
 VINYL CASEMENT WINDOWS
 ANDERSEN 100 OR EQUAL - WHITE INTERIOR AND EXTERIOR
 ASPHALT SHINGLES
 GAF TIMBERLINE HD "BARKWOOD"
 ALT. CERTANTEED LANDMARK PLUS "HEATHER BLEND"
 ALUMINUM SOFFIT/FASCIA
 ROLLEX CORPORATION, COLOR: SHELL
 GUTTER AND DOWNSPOUT
 PREFINISHED METAL TO MATCH SOFFIT/FASCIA
 FIBER CEMENT BOARD SIDING
 JAMES HARDIE PAINTED SHERWIN WILLIAMS PEARL GRAY (SW0052)
 6" EXPOSURE
 FIBER CEMENT BOARD TRIM
 JAMES HARDIE PAINTED SHERWIN WILLIAMS CLASSIC LIGHT BUFF (SW0050)
 3-1/2" - WINDOW TRIM
 5-1/2" - CORNER/END TRIM
 7-1/4" - HORIZONTAL BANDING TRIM

TOP OF PEAK
 EL. = ±121'-6"
 TRUSS BEARING
 EL. = 109'-0"
 FINISHED FLOOR
 EL. = 100'-0"
 TOP OF FOOTING
 EL. = 97'-0"



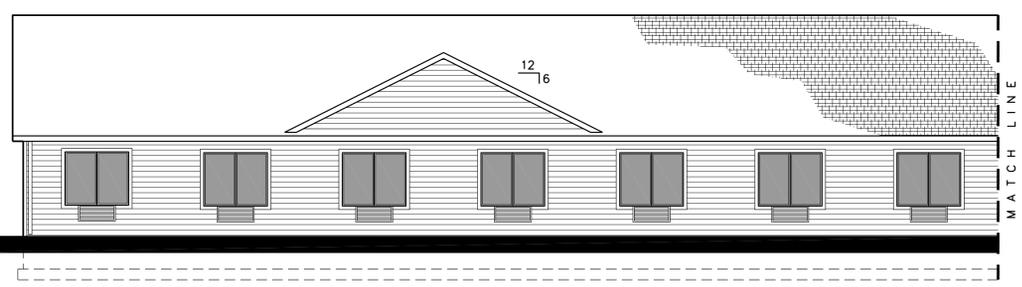
2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS - NORTH
 FIBER CEMENT SIDING - 1,101 S.F. (93.1%)
 MANUF STONE - 58 S.F. (4.9%)
 WINDOWS - 24 S.F. (2.0%) > 20% MINIMUM FACING R.O.W.
 1,183 S.F. (100%)



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS - EAST
 FIBER CEMENT SIDING - 1,494 S.F. (70.3%)
 MANUF STONE - 132 S.F. (6.2%)
 WINDOWS - 498 S.F. (23.5%) > 20% MINIMUM FACING R.O.W.
 2,124 S.F. (100%)



4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS - SOUTH
 FIBER CEMENT SIDING - 1,101 S.F. (93.1%)
 MANUF STONE - 58 S.F. (4.9%)
 WINDOWS - 24 S.F. (2.0%) > 20% MINIMUM FACING R.O.W.
 1,183 S.F. (100%)



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BUILDING ELEVATIONS

Sheet Number

A5

Project No. 250522-4

Filename: ATLAS MEMORY CARE-A5



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2181 - 107th LANE N.E.
BLAINE, MINNESOTA 55434

ATLAS MEMORY CARE
East Bethel, Minnesota

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Leonard Lampert Architects, Inc.

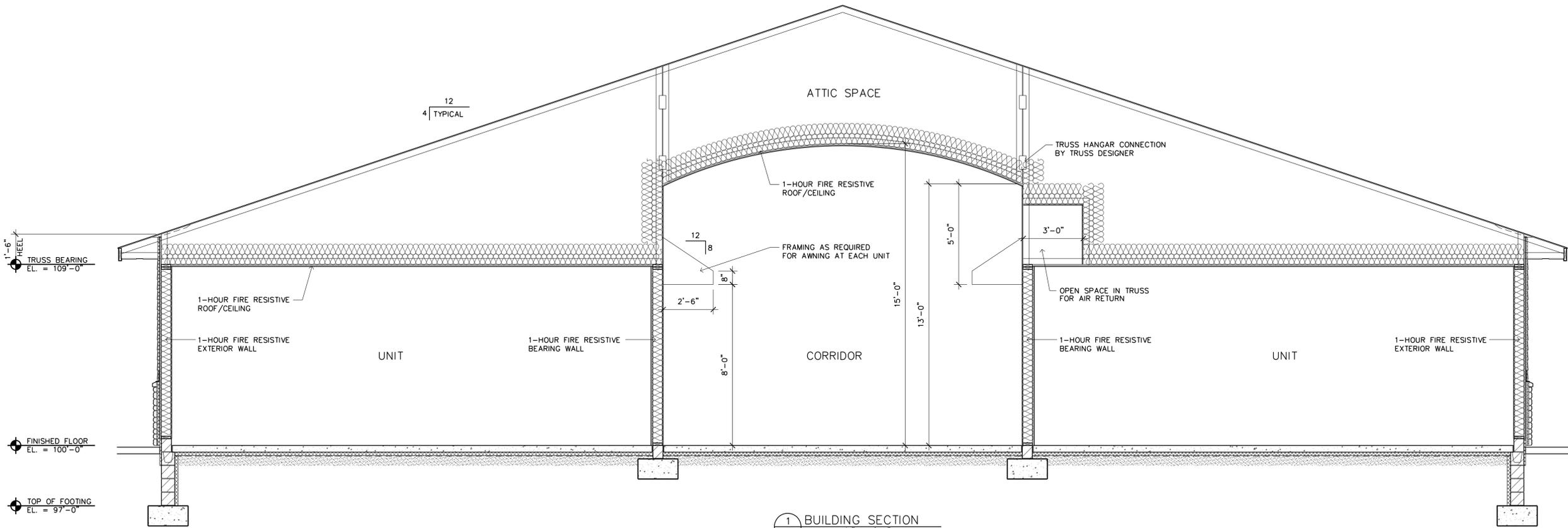
Project Designer: JAMES B
Drawn By: JRB
Checked By: LL
Revisions

8/1/25	FINAL REVIEW
8/4/25	ISSUE FOR PERMIT

UNIT PLAN
RESTROOM DETAILS
BUILDING SECTION
Sheet Number

A6

Project No. 250522-4



1 BUILDING SECTION
A6 SCALE: 3/8" = 1'-0"

SHOWER NOTES

A SHOWER SPRAY UNIT WITH A HOSE AT LEAST 59" LONG THAT CAN BE USED BOTH AS A FIXED SHOWER HEAD AND AS A HAND-HELD SHOWER SHALL BE PROVIDED.

THRESHOLDS SHALL BE 1/2" MAX IN HEIGHT AND MUST BE BEVELED 1 UNIT VERT IN 2 UNITS HORIZ.

IF PROVIDED, ENCLOSURES FOR SHOWERS SHALL NOT OBSTRUCT CONTROLS OR TRANSFER FROM WHEEL CHAIRS ON TO SEATS OR INTO BATHTUBS.

WATER SHALL BE DELIVERED AT 120 DEGREES F MAXIMUM.

THE SEAT SHALL BE CAPABLE OF SUPPORTING 250 LBS.

GRAB BARS

GRAB BARS SHALL BE 1 1/4"-2" IN DIAMETER. THE SPACE BETWEEN THE GRAB BAR AND THE WALL SHALL BE 1 1/2". A 1 1/2" MINIMUM CLEARANCE SHALL BE PROVIDED BELOW AND AT END OF THE GRAB BAR. A 12" MINIMUM CLEARANCE SHALL BE PROVIDED ABOVE THE GRAB BAR EXCEPT AT SHOWER CONTROLS. GRAB BARS SHALL NOT ROTATE IN THEIR FITTING AND SHALL SUPPORT 250 POUNDS MINIMUM.

FLUSH CONTROLS

FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC. HAND OPERATED CONTROLS SHALL COMPLY WITH REQUIREMENTS FOR ACCESSIBLE OPERABLE PARTS. FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET, EXCEPT IN AMBULATORY ACCESSIBLE COMPARTMENTS WHERE CONTROLS ARE PERMITTED ON EITHER SIDE OF THE WATER CLOSET.

ACCESSORIES

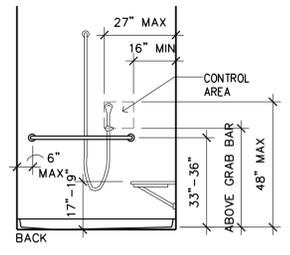
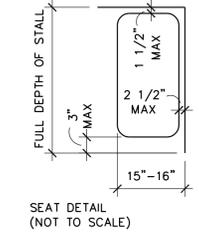
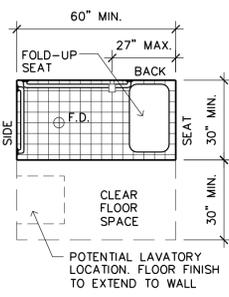
ALL WALL-MOUNTED DISPENSERS, WASTE DISPOSAL CONTAINERS, OR SIMILAR TOILET ACCESSORIES SHALL BE MOUNTED SO THAT THE OPERABLE PORTIONS OF SUCH ACCESSORIES COMPLY WITH AN UNOBSTRUCTED FRONT OR SIDE REACH. THE MAXIMUM UNOBSTRUCTED REACH RANGE IS BETWEEN 15" AND 48" ABOVE THE FINISHED FLOOR. OBSTRUCTIONS PROTRUDING 20-25 FROM A WALL SHALL LIMIT THE HIGH REACH TO 44" MAXIMUM ABOVE THE FINISHED FLOOR.

INTERIOR FINISHES

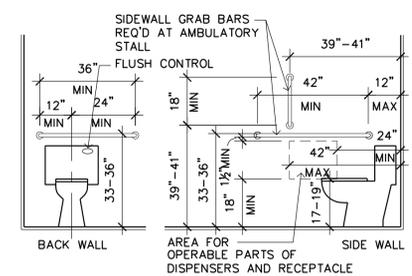
FLOORS IN TOILET, SHOWER, AND BATHING ROOMS ACCESSIBLE TO THE PUBLIC SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE SUCH AS CERAMIC TILE AND SHALL EXTEND UP THE WALLS AT LEAST 4". (IBC 1209.2.1) WALLS WITHIN 2 FEET OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE, TO 4 FEET A.F.F. (IBC 1209.2.2) SHOWER COMPARTMENT AND BATHTUB WALLS WITH SHOWER HEADS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE SUCH AS CERAMIC TILE TO 72" ABOVE THE DRAIN. (IBC 1209.2.3)

SIGNAGE

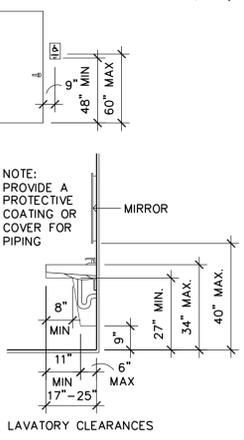
IDENTIFICATION SIGNAGE SHALL BE PROVIDED AT TOILET ROOMS. THE SIGNAGE SHALL INCLUDE TACTILE LETTERS INDICATING THE NAME OF THE SPACE, THE INT'L SYMBOL OF ACCESSIBILITY, AND BRAILLE CHARACTERS ACCORDING TO CHAPTER 703. MOUNT THE SIGN CENTERED AT 9" FROM THE LATCH SIDE OF THE DOOR AND MOUNT THE SIGN 48"-60" ABOVE THE FIN. FLR. WITH AN 18"x18" CLEAR FLOOR SPACE CENTERED ON THE SIGN.



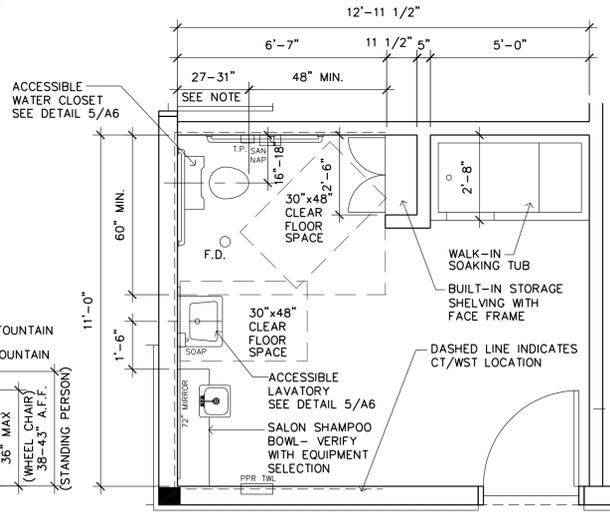
6 SHOWER PLAN, DETAILS, AND NOTES
A6 SCALE: 3/8" = 1'-0"



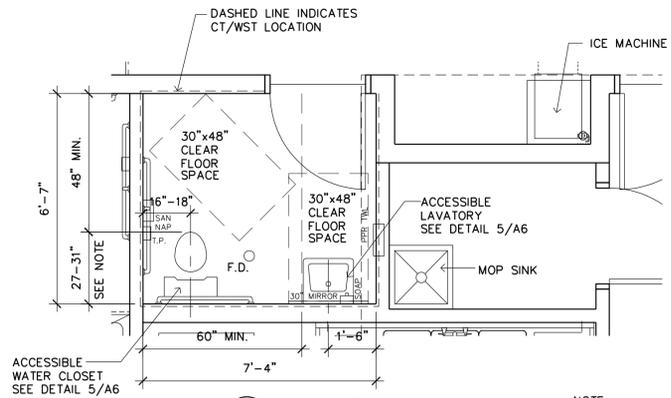
5 RESTROOM DETAILS AND NOTES
A6 SCALE: 3/8" = 1'-0"



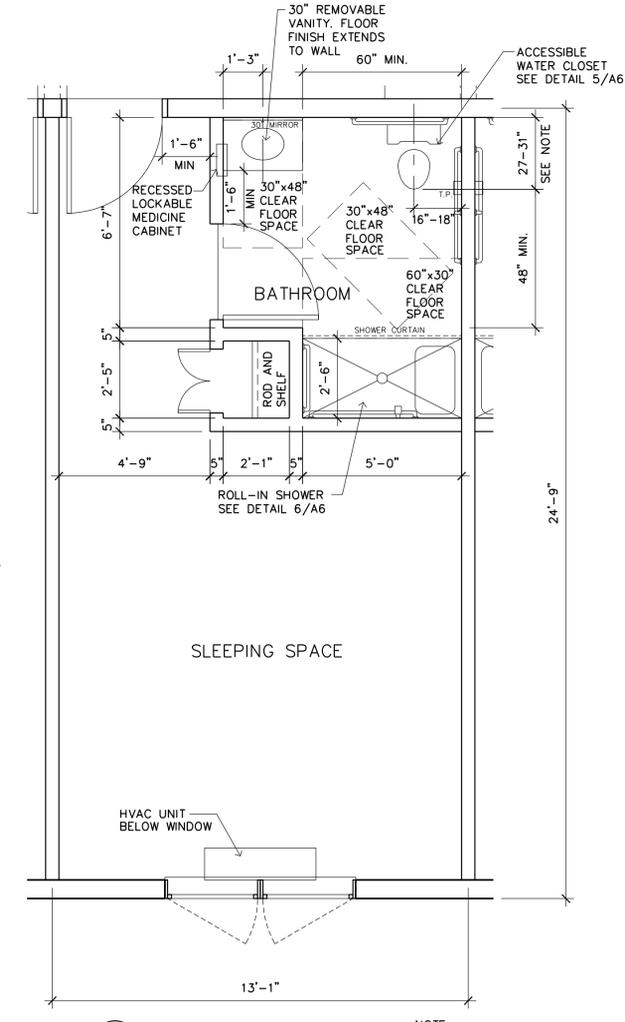
4 ENLARGED RESTROOM PLAN
A6 SCALE: 3/8" = 1'-0"



4 ENLARGED RESTROOM PLAN
A6 SCALE: 3/8" = 1'-0"

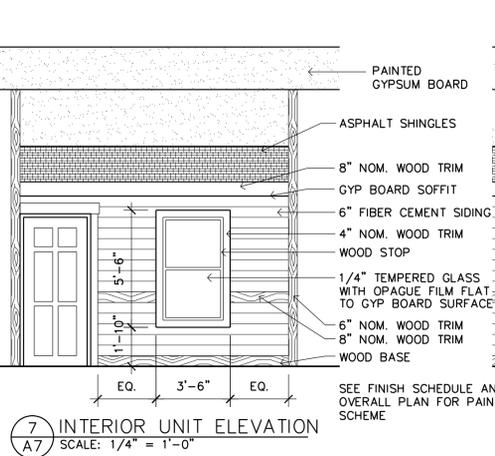


3 ENLARGED RESTROOM PLAN
A6 SCALE: 3/8" = 1'-0"

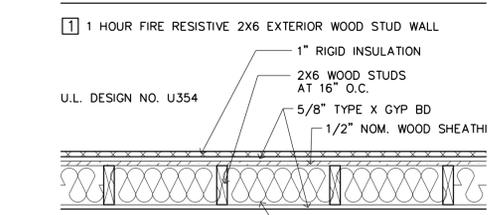
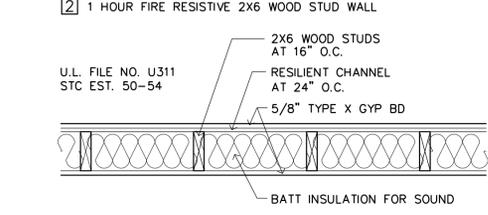
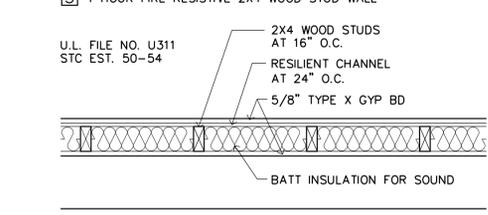
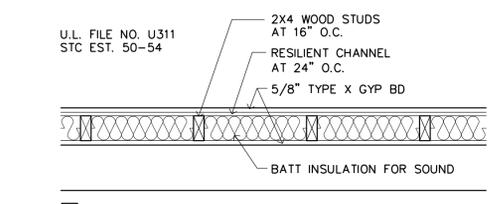
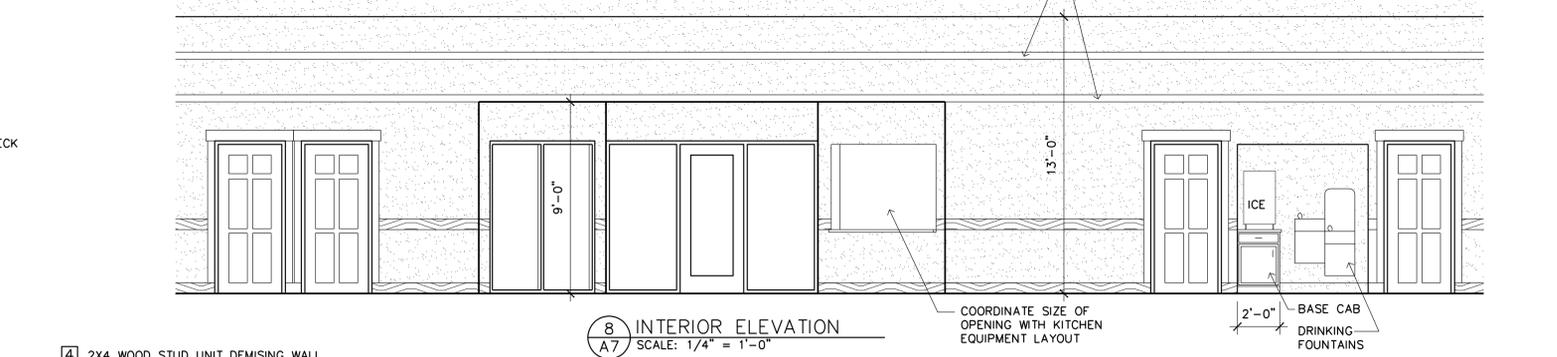
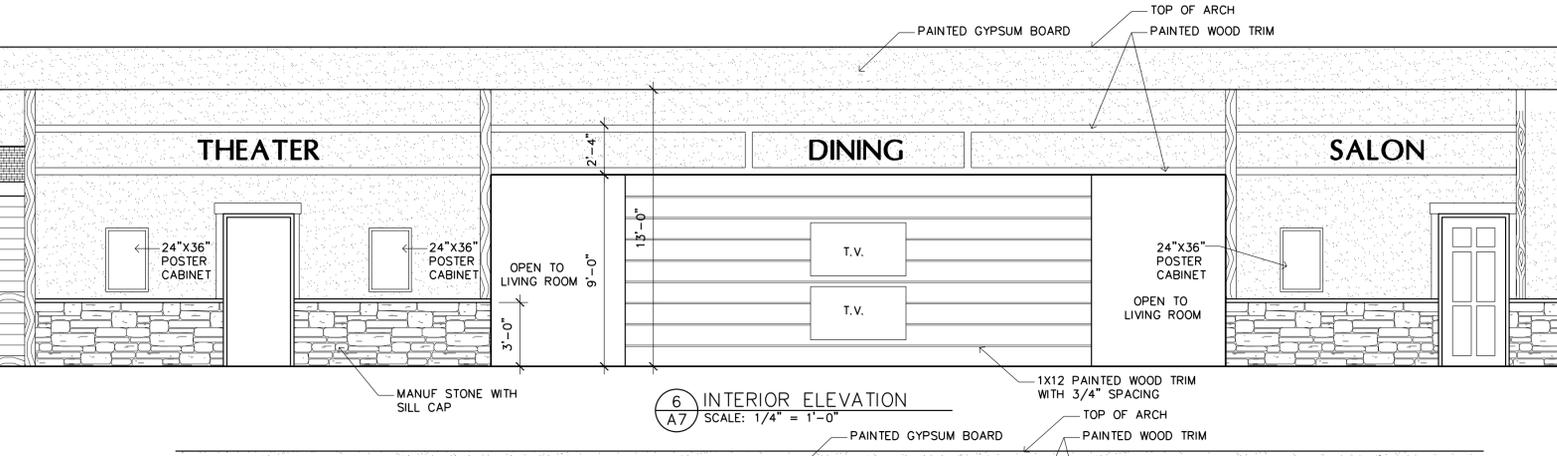
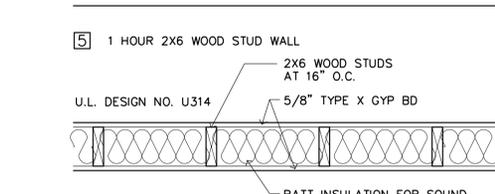
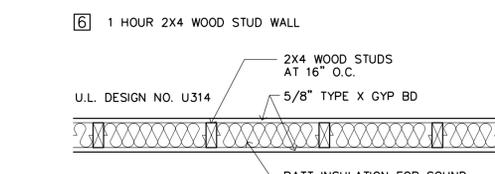
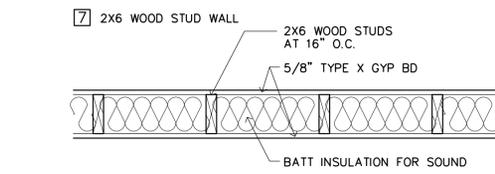
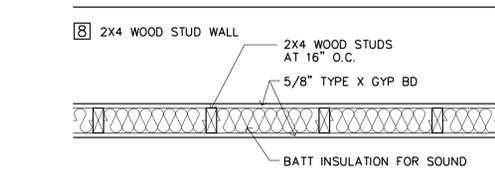
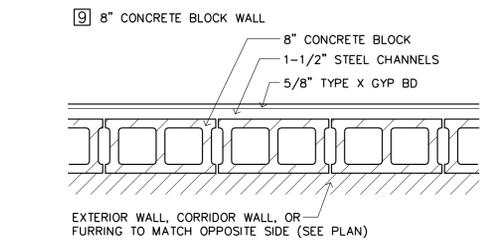
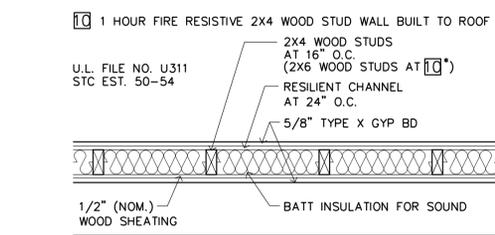


2 ENLARGED UNIT PLAN
A6 SCALE: 3/8" = 1'-0"

Filename: ATLAS MEMORY CARE ATLAS MEMORY CARE-A6

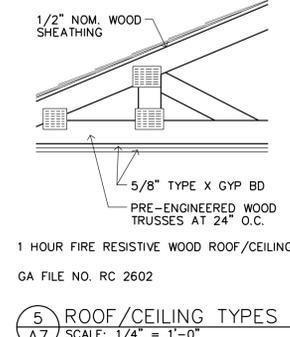
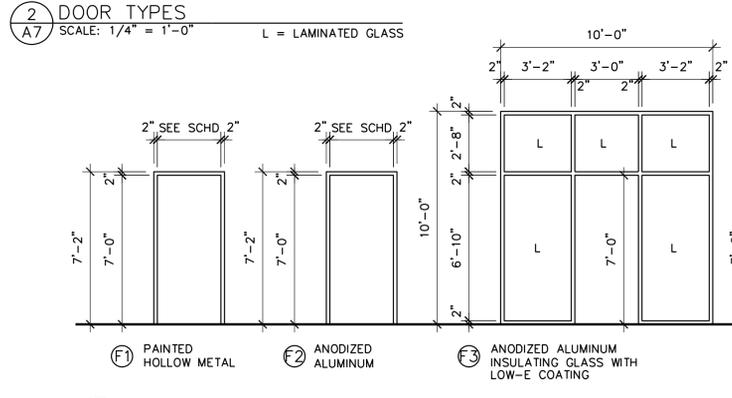
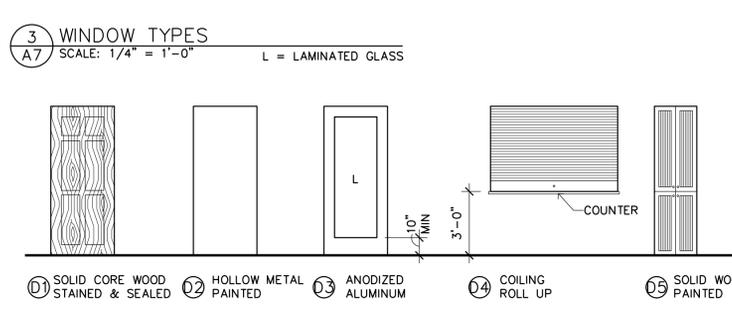
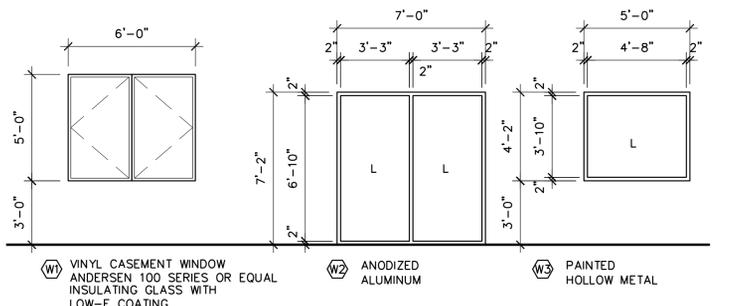


NOTE: SHEAR WALL SHEATHING TO BE FASTENED TO THE INTERIOR STUDS FOR STRUCTURAL PURPOSES. THE ADDITION OF STRUCTURAL SHEATHING TO THE FRAMING MEMBERS WITHIN THE WALL ASSEMBLY SHALL BE ALLOWED CONTINGENT ON BUILDING OFFICIAL REVIEW, 1300.0110, SUBP. 13, ALTERNATIVE MATERIALS, DESIGN, AND METHODS OR CONSTRUCTION



NOTE: EXTERIOR SHEATHING TO BE FASTENED TO THE EXTERIOR STUDS FOR STRUCTURAL PURPOSES. THE ADDITION OF STRUCTURAL SHEATHING TO THE FRAMING MEMBERS WITHIN THE WALL ASSEMBLY SHALL BE ALLOWED CONTINGENT ON BUILDING OFFICIAL REVIEW, 1300.0110, SUBP. 13, ALTERNATIVE MATERIALS, DESIGN, AND METHODS OR CONSTRUCTION

4 WALL TYPES
A7 SCALE: 1/4" = 1'-0"



DR #	DOOR SIZE	THICK	DOOR	FRAME	REMARKS
101	3'-0"x7'-0"	1-3/4"	D3	F2	CL, INSUL GLASS, PH, MAG. LOCK
102	3'-0"x7'-0"	1-3/4"	D2	F1	LOCKSET, GASKETS, SWEEP
103	3'-0"x7'-0"	1-3/4"	D1	F1	PRIVACY SET
104	3'-0"x7'-0"	1-3/4"	D2	F1	LOCKSET
105	3'-0"x7'-0"	1-3/4"	D2	F1	LOCKSET
106A	3'-0"x7'-0"	1-3/4"	D1	F1	LOCKSET
106B	3'-0"x7'-0"	1-3/4"	D1	F1	LOCKSET
107A	3'-0"x7'-0"	1-3/4"	D3	F3	CL, INSULATING GLASS, PH
107B	3'-0"x7'-0"	1-3/4"	D3	F4	CL
108	3'-0"x7'-0"	1-3/4"	D3	F4	PH, CL, MAG. LOCK
109	3'-0"x7'-0"	1-3/4"	D1	F1	45 MINUTE RATED, LOCKSET
110	3'-0"x7'-0"	1-3/4"	D1	F1	45 MINUTE RATED, LOCKSET
111	3'-0"x7'-0"	1-3/4"	D2	F1	45 MINUTE RATED, LOCKSET
112	3'-0"x7'-0"	1-3/4"	D1	F1	LOCKSET
113	3'-0"x7'-0"	1-3/4"	D1	F1	LOCKSET
114	3'-0"x7'-0"	1-3/4"	D1	F1	45 MINUTE RATED, LOCKSET
116A	3'-0"x7'-0"	1-3/4"	D3	F2	CL, INSUL GLASS, PH, MAG. LOCK
116B	3'-0"x7'-0"	1-3/4"	D3	F2	CL, INSUL GLASS, PH, MAG. LOCK
116C	6'-0"x4'-0"	1-3/4"	D4	---	---
117	3'-0"x7'-0"	1-3/4"	D1	F1	CL, LOCKSET
118	3'-0"x7'-0"	1-3/4"	D1	F1	PRIVACY SET
119	3'-0"x7'-0"	1-3/4"	D2	F1	45 MINUTE RATED, LOCKSET
120	3'-0"x7'-0"	1-3/4"	D1	F1	45 MINUTE RATED, LOCKSET
121	3'-0"x7'-0"	1-3/4"	D3	F2	CL, INSUL GLASS, PH, MAG. LOCK

DR #	DOOR SIZE	THICK	DOOR	FRAME	REMARKS
001A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
001B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
001C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
002A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
002B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
002C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
003A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
003B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
003C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
004A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
004B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
004C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
005A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
005B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
005C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
006A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
006B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
006C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
007A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
007B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
007C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
008A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
008B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
008C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
009A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
009B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
009C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
010A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
010B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
010C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
011A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
011B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
011C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
012A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
012B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
012C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
013A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
013B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
013C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
014A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
014B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
014C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
015A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
015B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
015C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
016A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
016B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
016C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
017A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
017B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
017C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
018A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
018B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
018C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
019A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
019B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
019C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
020A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
020B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
020C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
021A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
021B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
021C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
022A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
022B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
022C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
023A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
023B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
023C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
024A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
024B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
024C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
025A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
025B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
025C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---
026A	3'-0"x7'-0"	1-3/4"	D1	F1	PEEP HOLE, FOB, GASKETS, SWEEP
026B	3'-0"x7'-0"	1-3/4"	D1	PREHUNG	PRIVACY SET
026C	(2) 1'-0"x7'-0"	1"	D5	FACE FRM	---

NOTES:
 1. ALL DOOR HARDWARE TO BE SPECIFIED & PROVIDED BY CONTRACTOR
 2. ALL EXIT HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. MOUNT HARDWARE BETWEEN 34"-48" (ANSI A117.1-404.2.6)
 3. PROVIDE A KNOX BRAND FIRE DEPARTMENT KEY BOX AS SPECIFIED BY THE FIRE MARSHAL
 4. MAGNETIC LOCKS TO COMPLY WITH IBC 1010.1.9.7
 5. PH = PANIC HARDWARE
 6. CL = CLOSER REQUIRED



LAMPERT ARCHITECTS

420 Summit Avenue
 St. Paul, MN 55102
 Phone: 763.755.1211 Fax: 763.757.2849
 lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Leonard Lampert
 SIGNATURE
LEONARD LAMPERT
 PRINT NAME
 LICENSE NO. 13669
 8/4/25
 DATE

(763) 784-1950
 FAX 784-9707

STONE CONSTRUCTION, INC.
 2181 - 107th LANE N.E.
 BLAINE, MINNESOTA 55434

ATLAS MEMORY CARE
 East Bethel, Minnesota

Copyright 2025
 Leonard Lampert Architects Inc.
 Project Designer: JAMES B
 Drawn By: JRB
 Checked By: LL
 Revisions

8/1/25	FINAL REVIEW
8/4/25	ISSUE FOR PERMIT

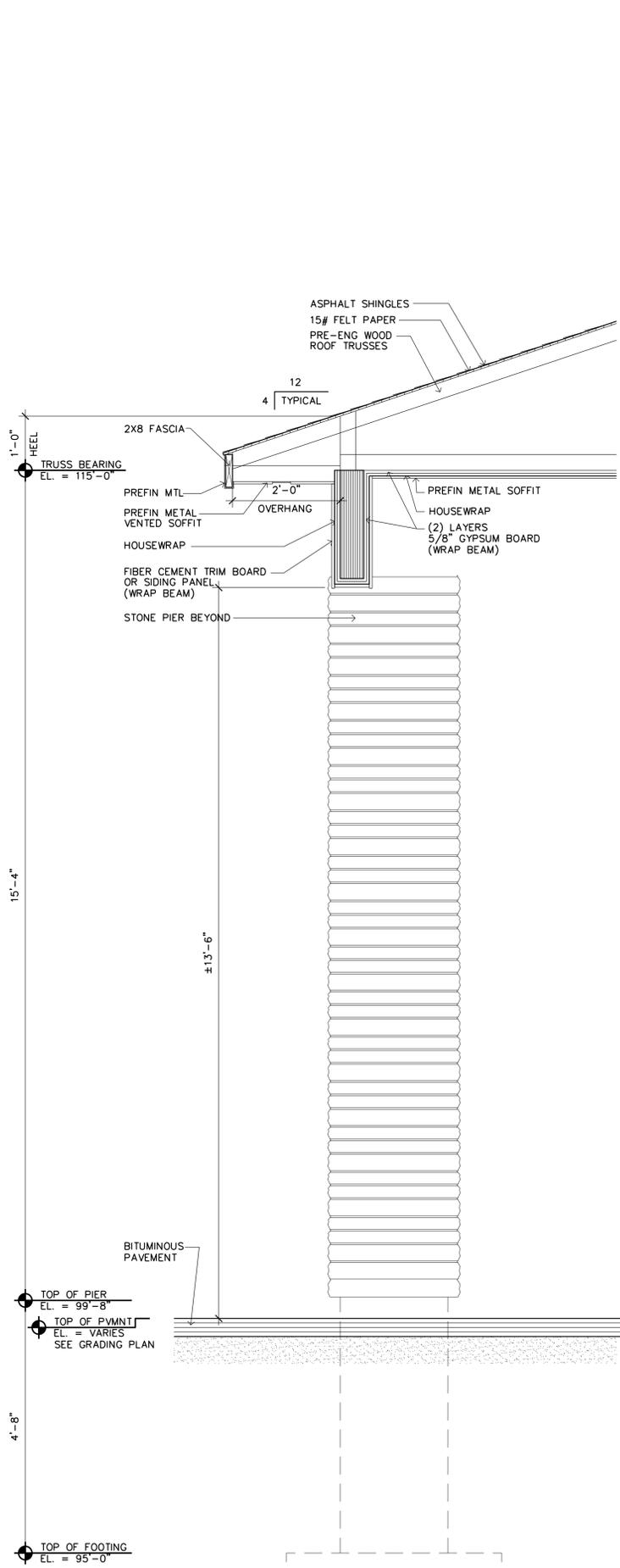
**DOOR TYPES
 WINDOW TYPES
 WALL TYPES**

Sheet Number

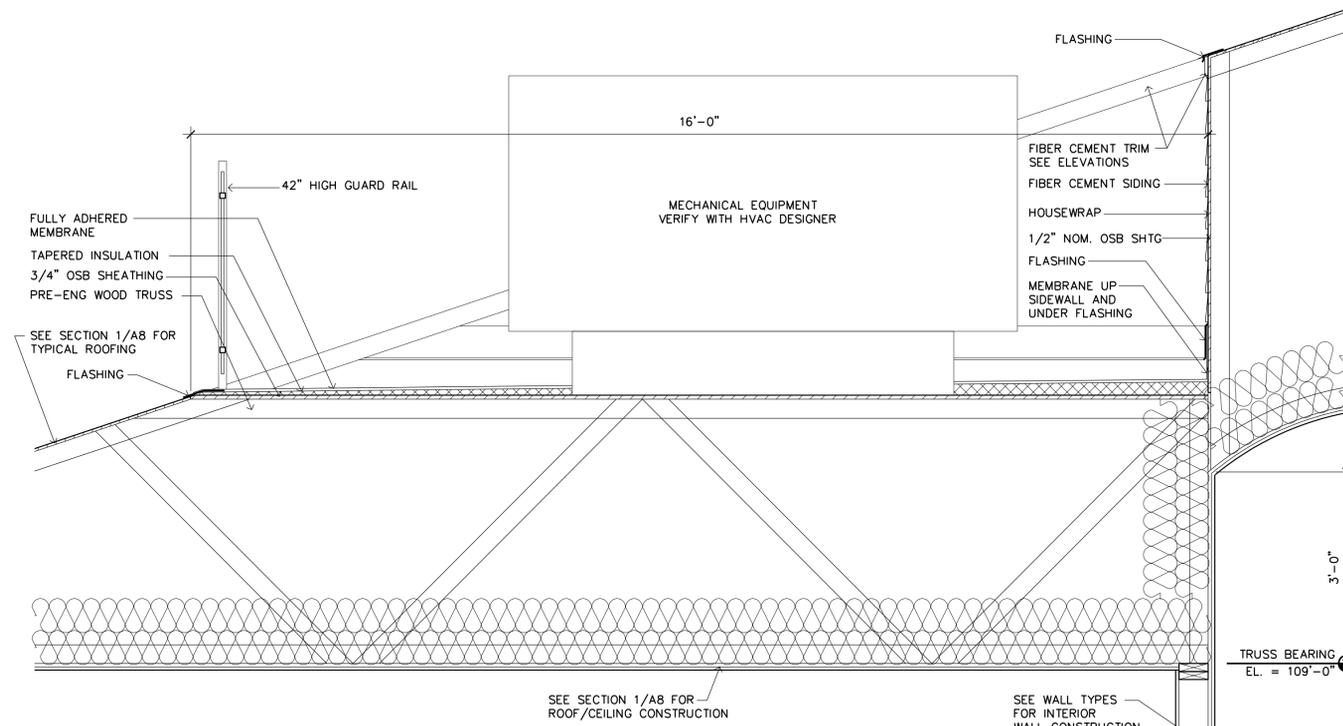
A7

Project No. 250522-4

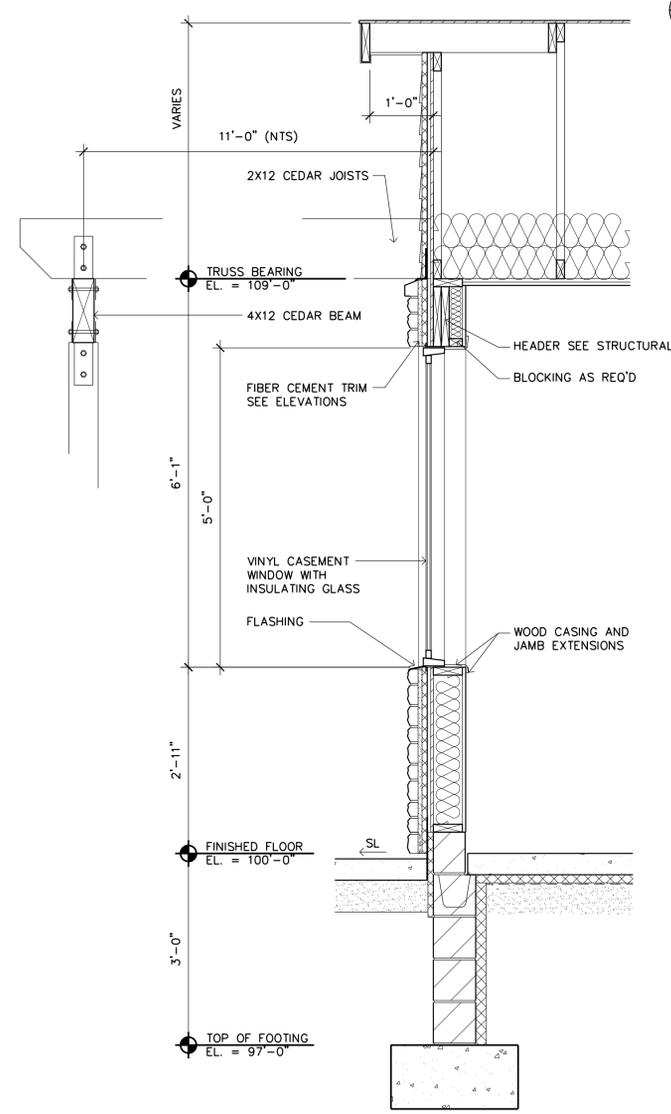
Filename: ATLAS MEMORY CARE \ATLAS MEMORY CARE - A8



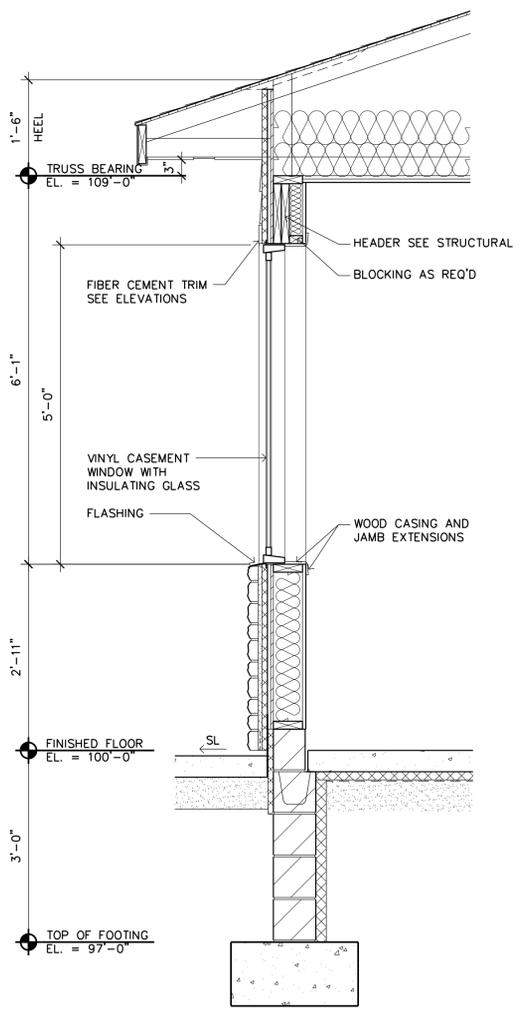
4 WALL SECTION AT CANOPY
A8 SCALE: 3/4" = 1'-0"



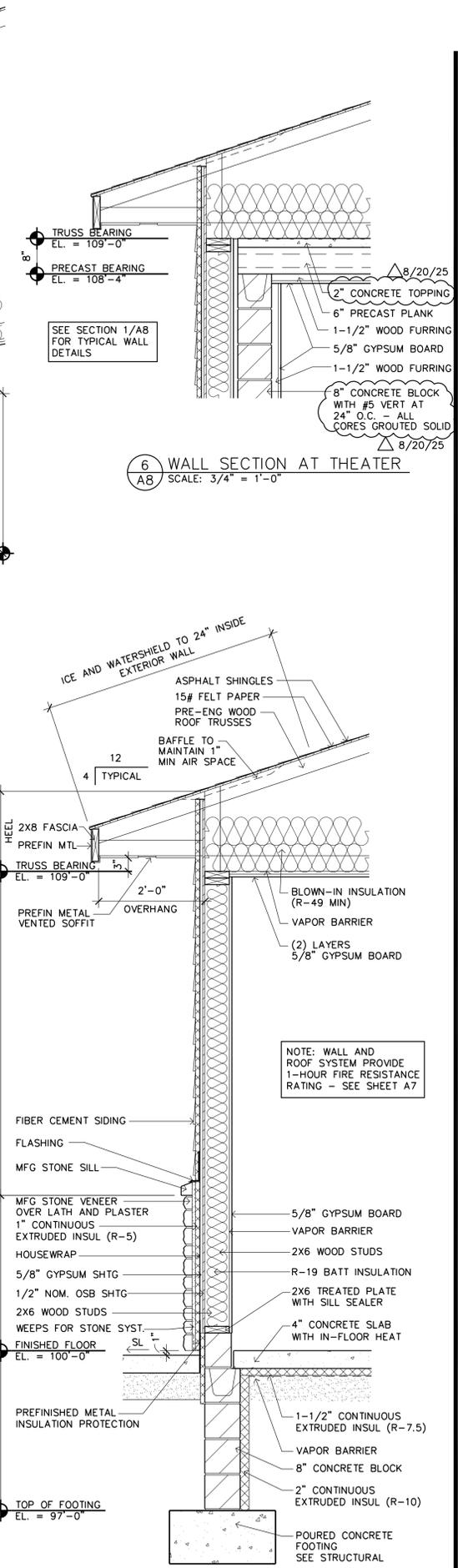
5 WALL SECTION AT EQUIPMENT WELL
A8 SCALE: 3/4" = 1'-0"



3 WALL SECTION AT PATIO
A8 SCALE: 3/4" = 1'-0"



2 WALL SECTION AT WINDOW
A8 SCALE: 3/4" = 1'-0"



1 TYPICAL WALL SECTION
A8 SCALE: 3/4" = 1'-0"

LAMPERT ARCHITECTS

420 Summit Avenue
St. Paul, MN 55102
Phone: 763.755.1211 Fax: 763.757.2849
lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Leonard Lampert
SIGNATURE
LEONARD LAMPERT
PRINT NAME
13669
LICENSE NO.
8/4/25
DATE

(763) 784-1950
FAX 784-9707

STONE CONSTRUCTION, INC.
2181 - 107th LANE N.E.
BLAINE, MINNESOTA 55434

ATLAS MEMORY CARE
East Bethel, Minnesota

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Leonard Lampert Architects Inc.
Project Designer: JAMES B
Drawn By: JRB
Checked By: LL
Revisions

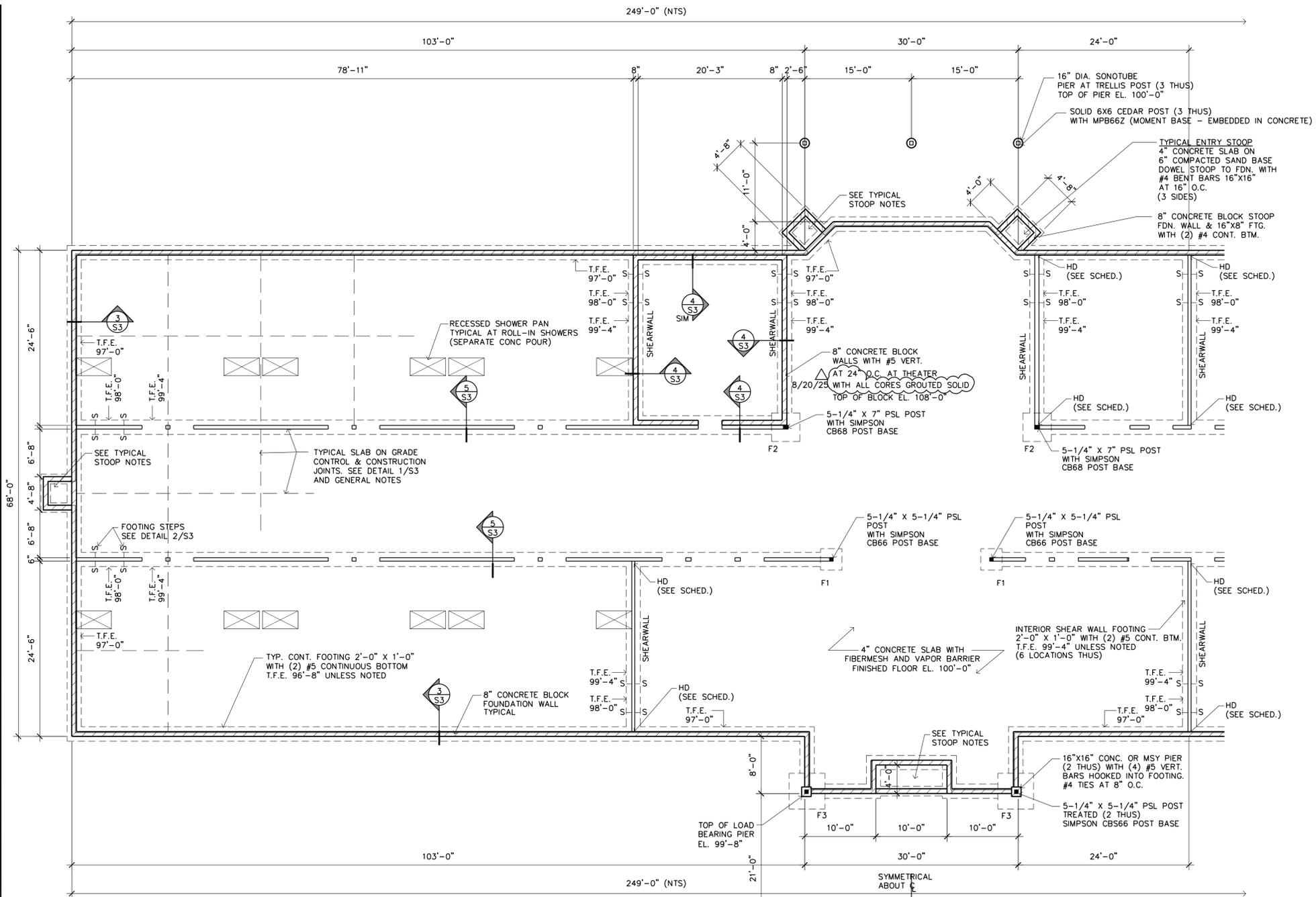
DATE	REVISION
8/1/25	FINAL REVIEW
8/4/25	ISSUE FOR PERMIT

WALL SECTIONS

Sheet Number

A8

Project No. 250522-4



BRACED WALL DESIGN PER IBC 2306.3 & AWC SDPWS

ALL EXTERIOR WALLS SHEATHED WITH 15/32" PLYWOOD OR OSB SHEATHING. ALL WOOD FRAMED INTERIOR WALLS DESIGNATED ON THIS PLAN AS SHEARWALLS ARE SHEATHED WITH 15/32" PLYWOOD OR OSB ON ONE FACE ONLY.

BRACED WALL PANEL DESIGN IS BASED ON SEGMENTED WALL DESIGN FOR 'UNBLOCKED' ASSEMBLY. ALL EXTERIOR WALLS ARE CONTINUOUSLY SHEATHED.

FASTENER SCHEDULE:

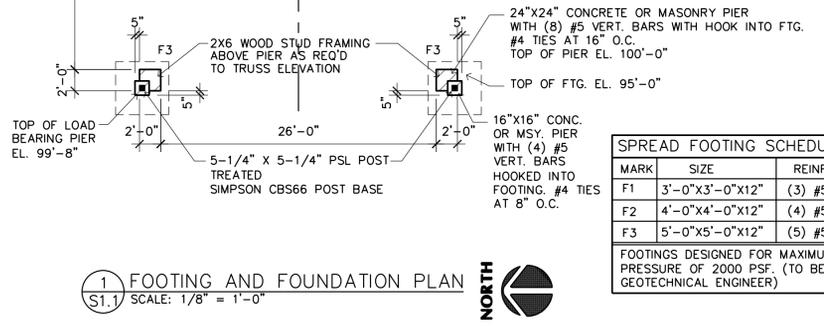
NORTH AND SOUTH WALLS
15/32 PLY. OR OSB SHEATHING INSTALLED WITH COMMON 10d NAILS AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. IN FIELD.

EAST AND WEST WALLS
15/32 PLY. OR OSB SHEATHING INSTALLED WITH COMMON 10d NAILS AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. IN FIELD.

HOLD-DOWN (HD) SCHEDULE:

SIMPSON HOLD-DOWN BRACKETS ARE ONLY REQUIRED AT DESIGNATED WOOD FRAMED SHEARWALLS ON THIS PLAN (ORIENTED IN EAST-WEST DIRECTION) INSTALL SIMPSON HHD014-SDS2.5 HOLD-DOWNS WITH (2) 2X6 STUDS AT EACH END OF EACH DESIGNATED WOOD FRAMED WALL.

TREATED PLATES AT ALL EXTERIOR WALLS AND DESIGNATED SHEARWALLS SHALL HAVE BENT 1/2" DIA. ANCHOR BOLTS WITH MINIMUM 7" EMBEDMENT IN CONCRETE. ALL ANC. BOLTS SHALL HAVE SQUARE STEEL WASHERS MIN. 0.23"x3"x3". MAX. SPACING OF ANCHOR BOLTS SHALL BE 48".



1
S1.1 FOOTING AND FOUNDATION PLAN
SCALE: 1/8" = 1'-0"
NORTH

SPREAD FOOTING SCHEDULE		
MARK	SIZE	REINFORCING EACH WAY
F1	3'-0"x3'-0"x12"	(3) #5 EACH WAY BOTTOM
F2	4'-0"x4'-0"x12"	(4) #5 EACH WAY BOTTOM
F3	5'-0"x5'-0"x12"	(5) #5 EACH WAY BOTTOM

FOOTINGS DESIGNED FOR MAXIMUM SOIL BEARING PRESSURE OF 2000 PSF. (TO BE FIELD VERIFIED BY GEOTECHNICAL ENGINEER)



ENGINEER CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: *B. Stroh*
PRINT NAME: **BERNIE STROH**
PRINT NAME: **14269**
LICENSE NO.: **8/4/25**
DATE:

(763) 784-1950
FAX 784-9707

STONE CONSTRUCTION, INC.
2181 - 107th LANE N.E.
BLAINE, MINNESOTA 55434

ATLAS MEMORY CARE
East Bethel, Minnesota

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Structural Engineer: B STROH
Drawn By: JRB
Checked By: BS
Revisions

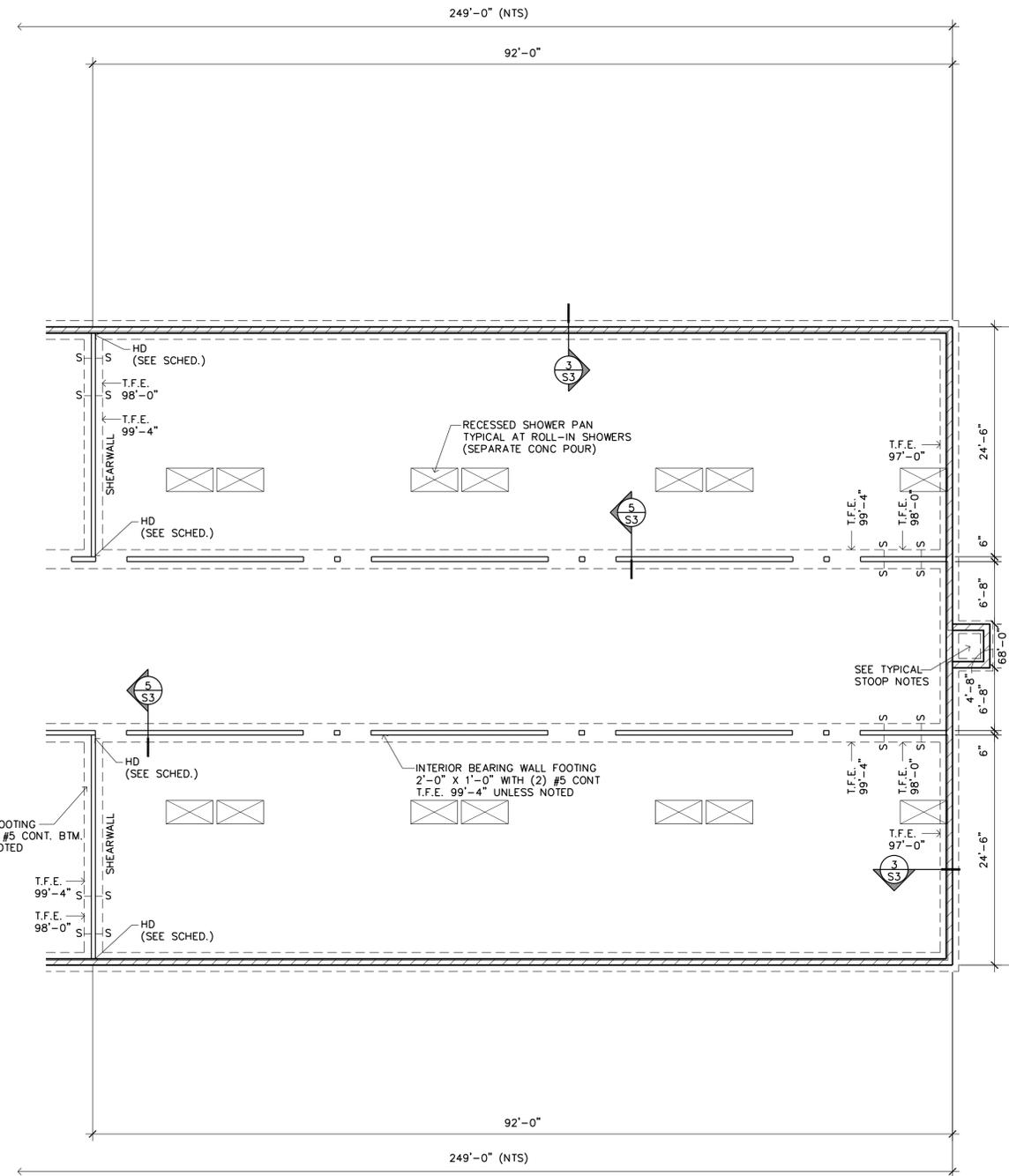
DATE	REVISION
8/1/25	FINAL REVIEW
8/4/25	ISSUE FOR PERMIT

FOOTING AND FOUNDATION PLAN (NORTH)

Sheet Number

S1.1

Project No. 250522-4



BRACED WALL DESIGN PER IBC 2306.3 & AWC SDPWS

ALL EXTERIOR WALLS SHEATHED WITH 15/32" PLYWOOD OR OSB SHEATHING.
ALL WOOD FRAMED INTERIOR WALLS DESIGNATED ON THIS PLAN AS SHEARWALLS ARE SHEATHED WITH 15/32" PLYWOOD OR OSB ON ONE FACE ONLY.

BRACED WALL PANEL DESIGN IS BASED ON SEGMENTED WALL DESIGN FOR 'UNBLOCKED' ASSEMBLY. ALL EXTERIOR WALLS ARE CONTINUOUSLY SHEATHED.

FASTENER SCHEDULE:

NORTH AND SOUTH WALLS
15/32 PLY. OR OSB SHEATHING INSTALLED WITH COMMON 10d NAILS AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. IN FIELD.

EAST AND WEST WALLS
15/32 PLY. OR OSB SHEATHING INSTALLED WITH COMMON 10d NAILS AT 6" O.C. AT ALL PANEL EDGES AND 12" O.C. IN FIELD.

HOLD-DOWN (HD) SCHEDULE:

SIMPSON HOLD-DOWN BRACKETS ARE ONLY REQUIRED AT DESIGNATED WOOD FRAMED SHEARWALLS ON THIS PLAN (ORIENTED IN EAST-WEST DIRECTION) INSTALL SIMPSON HHDD014-SDS2.5 HOLD-DOWNS WITH (2) 2X6 STUDS AT EACH END OF EACH DESIGNATED WOOD FRAMED WALL.

TREATED PLATES AT ALL EXTERIOR WALLS AND DESIGNATED SHEARWALLS SHALL HAVE BENT 1/2" DIA. ANCHOR BOLTS WITH MINIMUM 7" EMBEDMENT IN CONCRETE. ALL ANC. BOLTS SHALL HAVE SQUARE STEEL WASHERS MIN. 0.23"x3"x3". MAX. SPACING OF ANCHOR BOLTS SHALL BE 48".

1
S1.2 FOOTING AND FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



SPREAD FOOTING SCHEDULE		
MARK	SIZE	REINFORCING EACH WAY
F1	3'-0"x3'-0"x12"	(3) #5 EACH WAY BOTTOM
F2	4'-0"x4'-0"x12"	(4) #5 EACH WAY BOTTOM
F3	5'-0"x5'-0"x12"	(5) #5 EACH WAY BOTTOM

FOOTINGS DESIGNED FOR MAXIMUM SOIL BEARING PRESSURE OF 2000 PSF. (TO BE FIELD VERIFIED BY GEOTECHNICAL ENGINEER)



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SIGNATURE: *B. Stroh*
PRINT NAME: **BERNIE STROH**
LICENSE NO.: **14269**
LICENSE NO.: **8/4/25**
DATE:

STONE CONSTRUCTION, INC.
2181 - 107th LANE N.E.
BLAINE, MINNESOTA 55434
(763) 784-1950
FAX 784-9707

ATLAS MEMORY CARE
East Bethel, Minnesota

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Structural Engineer: B STROH
Drawn By: JRB
Checked By: BS

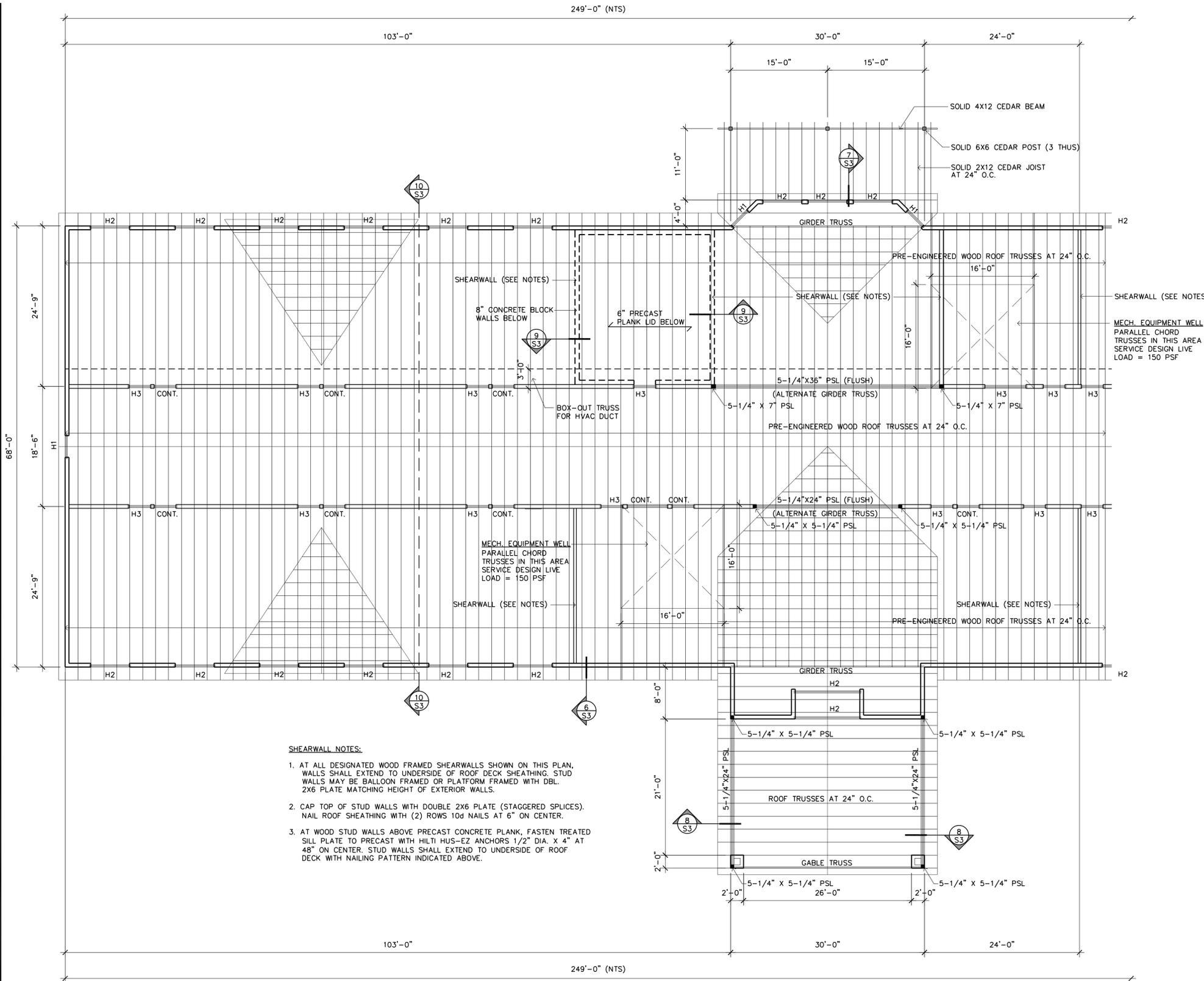
Revisions	DATE	DESCRIPTION
	8/1/25	FINAL REVIEW
	8/4/25	ISSUE FOR PERMIT

FOOTING AND FOUNDATION PLAN (SOUTH)

Sheet Number

S1.2

Project No. 250522-4



SHEARWALL NOTES:

- AT ALL DESIGNATED WOOD FRAMED SHEARWALLS SHOWN ON THIS PLAN, WALLS SHALL EXTEND TO UNDERSIDE OF ROOF DECK SHEATHING. STUD WALLS MAY BE BALLOON FRAMED OR PLATFORM FRAMED WITH DBL. 2X6 PLATE MATCHING HEIGHT OF EXTERIOR WALLS.
- CAP TOP OF STUD WALLS WITH DOUBLE 2X6 PLATE (STAGGERED SPLICES). NAIL ROOF SHEATHING WITH (2) ROWS 10d NAILS AT 6" ON CENTER.
- AT WOOD STUD WALLS ABOVE PRECAST CONCRETE PLANK, FASTEN TREATED SILL PLATE TO PRECAST WITH HILTI HUS-EZ ANCHORS 1/2" DIA. X 4" AT 48" ON CENTER. STUD WALLS SHALL EXTEND TO UNDERSIDE OF ROOF DECK WITH NAILING PATTERN INDICATED ABOVE.

WOOD HEADER SCHEDULE			
MARK	HEADER	BEARING STUDS OR POSTS	KING STUDS
H1	(2) 2X10	(1) 2X6 STUD	(1) 2X6 STUD
H2	(2) 2X12	(2) 2X6 STUDS	(2) 2X6 STUDS
H3	(2) 1-3/4 X 9-1/2" LVL	(2) 2X6 STUDS	(1) 2X6 STUD

NOTES:

- HEADERS TO BE DROPPED BELOW TRUSSES UNLESS NOTED.
- ALL HEADER DIMENSIONS AND LOCATIONS TO BE VERIFIED WITH ARCHITECTURAL DRAWINGS.
- ALL LVL HEADERS TO BE MICROLAM F62900, E2.0 OR EQUAL.

1 ROOF FRAMING PLAN
S2.1 SCALE: 1/8" = 1'-0"



ENGINEER CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *B. Stroh*
PRINT NAME: **BERNIE STROH**
PRINT NO.: 14269
LICENSE NO.: 8/4/25
DATE:

(763) 784-1950
FAX 784-9707
STONE CONSTRUCTION, INC.
2181 - 107th LANE N.E.
BLAINE, MINNESOTA 55434

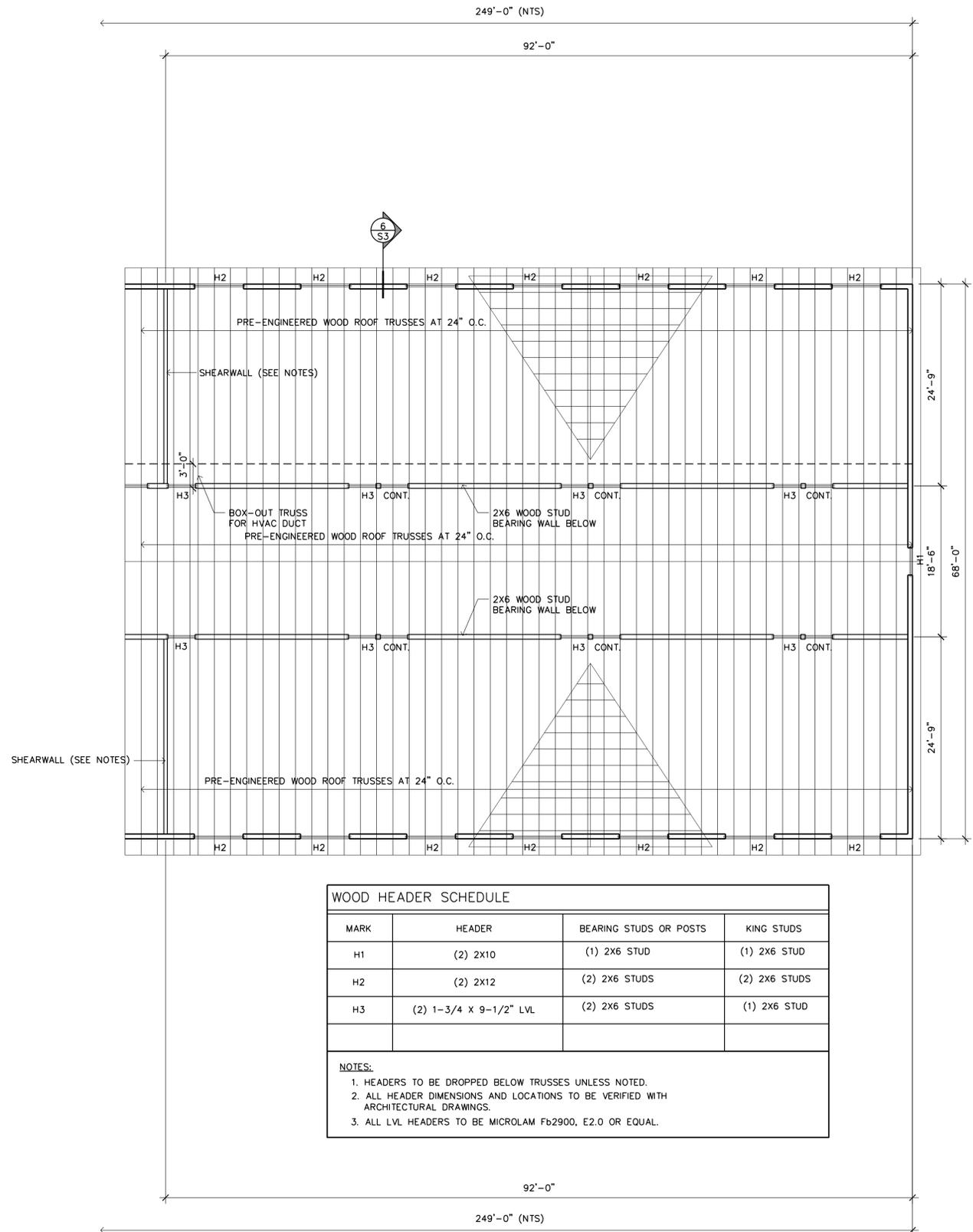
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East Bethel, Minnesota

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Structural Engineer: B STROH
Drawn By: JRB
Checked By: BS
Revisions

DATE	REVISION
8/1/25	FINAL REVIEW
8/4/25	ISSUE FOR PERMIT

ROOF FRAMING PLAN (NORTH)

Sheet Number
S2.1



WOOD HEADER SCHEDULE			
MARK	HEADER	BEARING STUDS OR POSTS	KING STUDS
H1	(2) 2X10	(1) 2X6 STUD	(1) 2X6 STUD
H2	(2) 2X12	(2) 2X6 STUDS	(2) 2X6 STUDS
H3	(2) 1-3/4 X 9-1/2" LVL	(2) 2X6 STUDS	(1) 2X6 STUD

NOTES:

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- ALL HEADER DIMENSIONS AND LOCATIONS TO BE VERIFIED WITH ARCHITECTURAL DRAWINGS.
- ALL LVL HEADERS TO BE MICROLAM Fb2900, E2.0 OR EQUAL.

1 ROOF FRAMING PLAN
S2.2 SCALE: 1/8" = 1'-0"



ENGINEER CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: *B. Stroh*
PRINT NAME: **BERNIE STROH**
LICENSE NO.: **14269**
DATE: **8/4/25**

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FAX 784-9707
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BLAINE, MINNESOTA 55434

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East Bethel, Minnesota

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Structural Engineer: B STROH
Drawn By: JRB
Checked By: BS

DATE	REVISIONS
8/1/25	FINAL REVIEW
8/4/25	ISSUE FOR PERMIT

ROOF FRAMING PLAN (SOUTH)
Sheet Number

S2.2

ATLAS MEMORY CARE

TITLE SHEET, LEGEND, EXISTING CONDITIONS & REMOVAL PLAN

EAST BETHEL, MINNESOTA

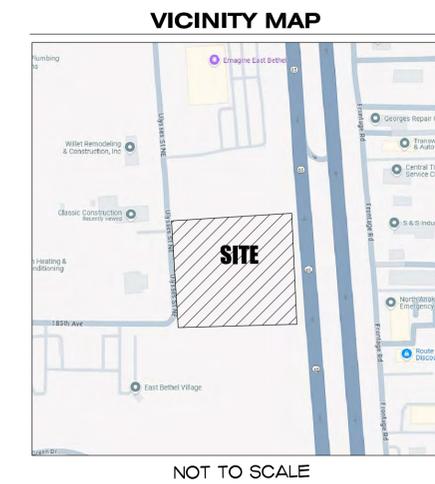
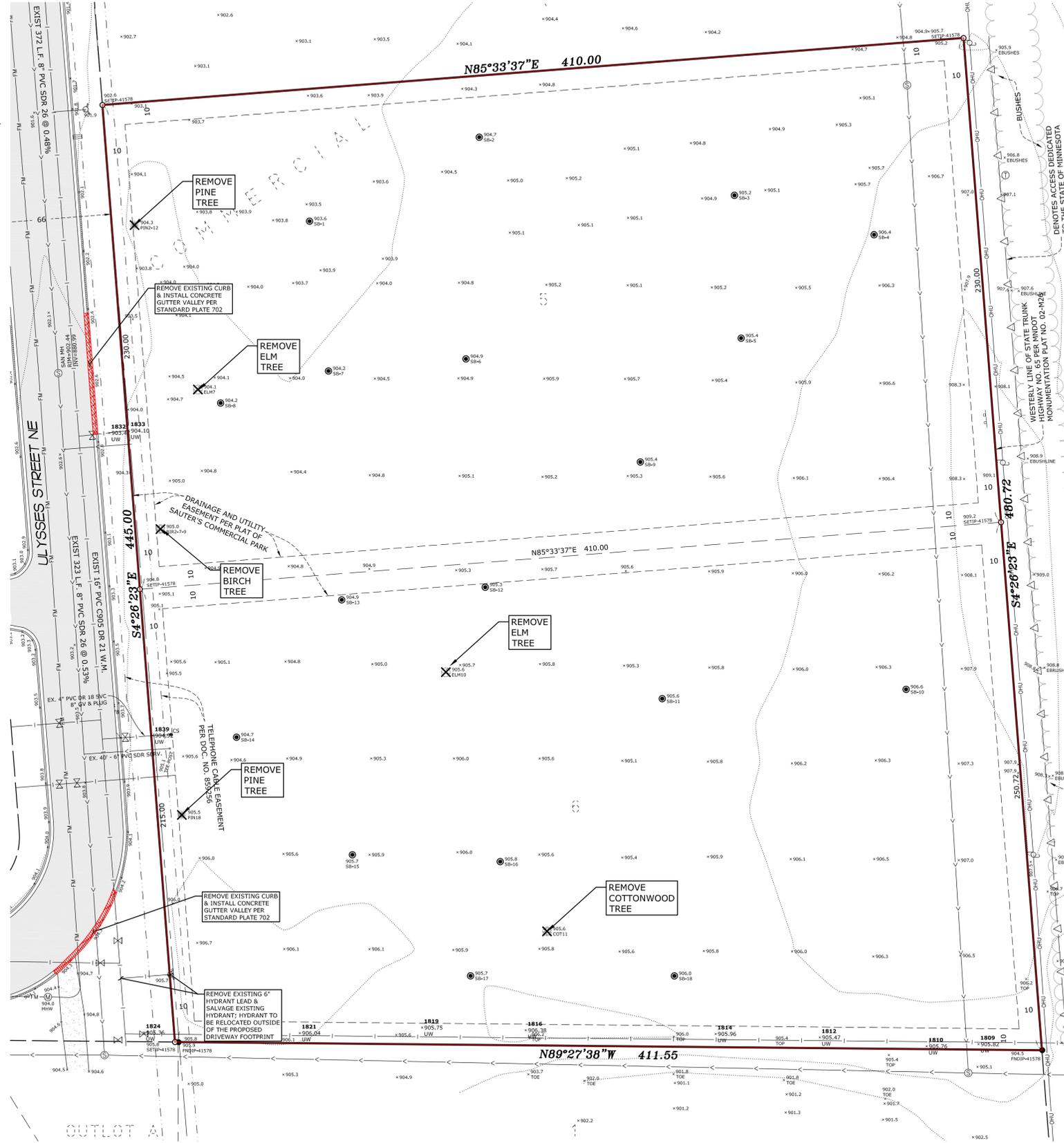
LEGEND *

— OHW —	EXISTING OVERHEAD ELECTRIC	— P —	PROPOSED WATER PIPE
— TEL —	EXISTING UNDERGROUND TELEPHONE	— S —	PROPOSED SANITARY SEWER PIPE
— CBL —	EXISTING UNDERGROUND CABLE	— SS —	PROPOSED STORM SEWER PIPE
— TP —	EXISTING TELEPHONE PEDESTAL	— D —	PROPOSED DRAINTILE AND CLEAN-OUT
— EP —	EXISTING ELECTRICAL PEDESTAL	— ELEC —	PROPOSED ELECTRIC SERVICE *
— CP —	EXISTING CABLE PEDESTAL	— GAS —	PROPOSED GAS SERVICE *
— UP —	EXISTING UTILITY POLE	— TEL —	PROPOSED TELEPHONE SERVICE *
— LP —	EXISTING LIGHT POLE	— SM —	PROPOSED STORM MANHOLE
— SW —	EXISTING STORM SEWER	— CB —	PROPOSED CATCH BASIN
— WM —	EXISTING WATER MAIN	— F —	PROPOSED FLARED-END SECTION
— SS —	EXISTING SANITARY SEWER	— G —	PROPOSED GATE VALVE
— FM —	EXISTING FORCEMAIN	— H —	PROPOSED HYDRANT
— SM —	EXISTING STORM MANHOLE	— SSM —	PROPOSED SANITARY SEWER MANHOLE
— CB —	EXISTING CATCH BASIN	— C —	PROPOSED CONTOUR
— FES —	EXISTING FLARED-END SECTION	— SE —	PROPOSED SPOT ELEVATION (GUTTERLINE, BITUMINOUS SURFACE, OR GROUND SURFACE UNLESS OTHERWISE INDICATED)
— GV —	EXISTING GATE VALVE	— S —	PROPOSED SILT FENCE
— H —	EXISTING HYDRANT	— D —	PROPOSED DIRECTION OF DRAINAGE
— W —	EXISTING WELL	— B —	PROPOSED BITUMINOUS
— SM —	EXISTING SANITARY SEWER MANHOLE	— P —	PROPOSED FILTRATION MEDIA
— 928 —	EXISTING CONTOUR	— I —	PROPOSED INLET PROTECTION
— 930 —	EXISTING CONTOUR	— E —	PROPOSED ENKAMAT
— 920.99 —	EXISTING SPOT ELEVATION	— R —	PROPOSED RETAINING WALL
— 907.42 —	EXISTING SPOT ELEVATION (MATCH INTO ELEVATION)	— B —	BITUMINOUS PAVEMENT REMOVAL
— B —	EXISTING BITUMINOUS	— C —	CONCRETE SIDEWALK REMOVAL
— T —	EXISTING TREES	— S —	PROPOSED CONCRETE SIDEWALK
— X —	EXISTING TREE TO BE REMOVED	— W —	EXISTING WETLAND
— S —	SURFACE DRAINAGE DIRECTION		
— F —	EXISTING FENCE		
— R —	EXISTING RETAINING WALL		
— W —	EXISTING WETLAND		

* NOT ALL SYMBOLS ARE APPLICABLE.

GENERAL NOTES

- THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.
- CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING SANITARY SEWER, STORM SEWER, AND WATER MAIN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.
- INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.
- ALL UTILITIES THAT WILL BE OWNED AND MAINTAINED BY THE CITY AFTER CONSTRUCTION SHALL BE BUILT TO CITY STANDARDS.
- THE CONTRACTOR SHALL NOTIFY CITY PUBLIC WORKS DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO THE INTERRUPTION OF ANY SEWER OR WATER SERVICES TO EXISTING HOMES OR BUSINESSES.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FROM THE CITY PRIOR TO ANY WORK.
- STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
- NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.



DRAWN BY:	DESIGN BY:
M.Q.A.	Q.M.A.
CHKD BY:	PROJ. NO.:
M.Q.A.	25-2211
ORIGINAL DATE:	
AUGUST 15, 2025	

DATE	REVISION DESCRIPTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

QASEM M. ABUGHAZLEH LIC. NO. 56289
DATE: 08.15.2025

ATLAS MEMORY CARE
EAST BETHEL, MINNESOTA

TITLE SHEET, LEGEND, EXISTING CONDITIONS, AND REMOVAL PLAN

PREPARED FOR:
STONE CONSTRUCTION

SITE PLANNING & ENGINEERING

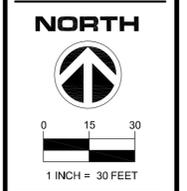
PLOWE ENGINEERING, INC.

6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014

PHONE: (651) 361-8210
FAX: (651) 361-8701

SHEET INDEX

C0	TITLE SHEET, LEGEND, EXISTING CONDITIONS, & REMOVAL PLAN
C1	CIVIL SITE PLAN
C2.1	GRADING, DRAINAGE & EROSION CONTROL PLAN
C2.2	ENTRANCE DETAILS
C2.3	HC DETAILS & TRASH ENCLOSURE GRADES
C3	UTILITY PLAN
C4.1	DETAILS & NOTES
C4.2	DETAILS & NOTES
C4.3	DETAILS & NOTES
C5.1	STORM WATER POLLUTION PREVENTION PLAN
C5.2	STORM WATER POLLUTION PREVENTION PLAN



C0

S:\Users\qasem\OneDrive\Documents\2021 Atlas Memory Care (East Bethel)\2211 CAD\35-2211 BASE I2.dwg 8/20/2025



CURB & BITUMINOUS NOTES

REMOVAL AND DISPOSAL OF EXISTING STREET MATERIALS AS REQUIRED FOR CONSTRUCTION IS CONSIDERED INCIDENTAL.
 SAW-CUT EXISTING BITUMINOUS AND CONCRETE CURB TO PROVIDE BUTT-JOINT.
 RESTORE DISTURBED STREET TO EXISTING OR BETTER SECTION.
 BACKFILLING OF CURB IS INCIDENTAL TO CURB INSTALLATION.
 FOUR INCHES OF CLASS 5 UNDER CURB IS INCIDENTAL TO CURB INSTALLATION.

DRAWN BY: Q.M.A. DESIGN BY: Q.M.A.
 CHECKED BY: M.Q.A. PROJ. NO. 25-2211
 ORIGINAL DATE: AUGUST 15, 2025

DATE	REVISION DESCRIPTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
QASEM M. ABUGHAZLEN LIC. NO. 56299
 DATE: 08.15.2025

ATLAS MEMORY CARE
EAST BETHEL, MINNESOTA
 SITE PLAN

PREPARED FOR:
STONE CONSTRUCTION

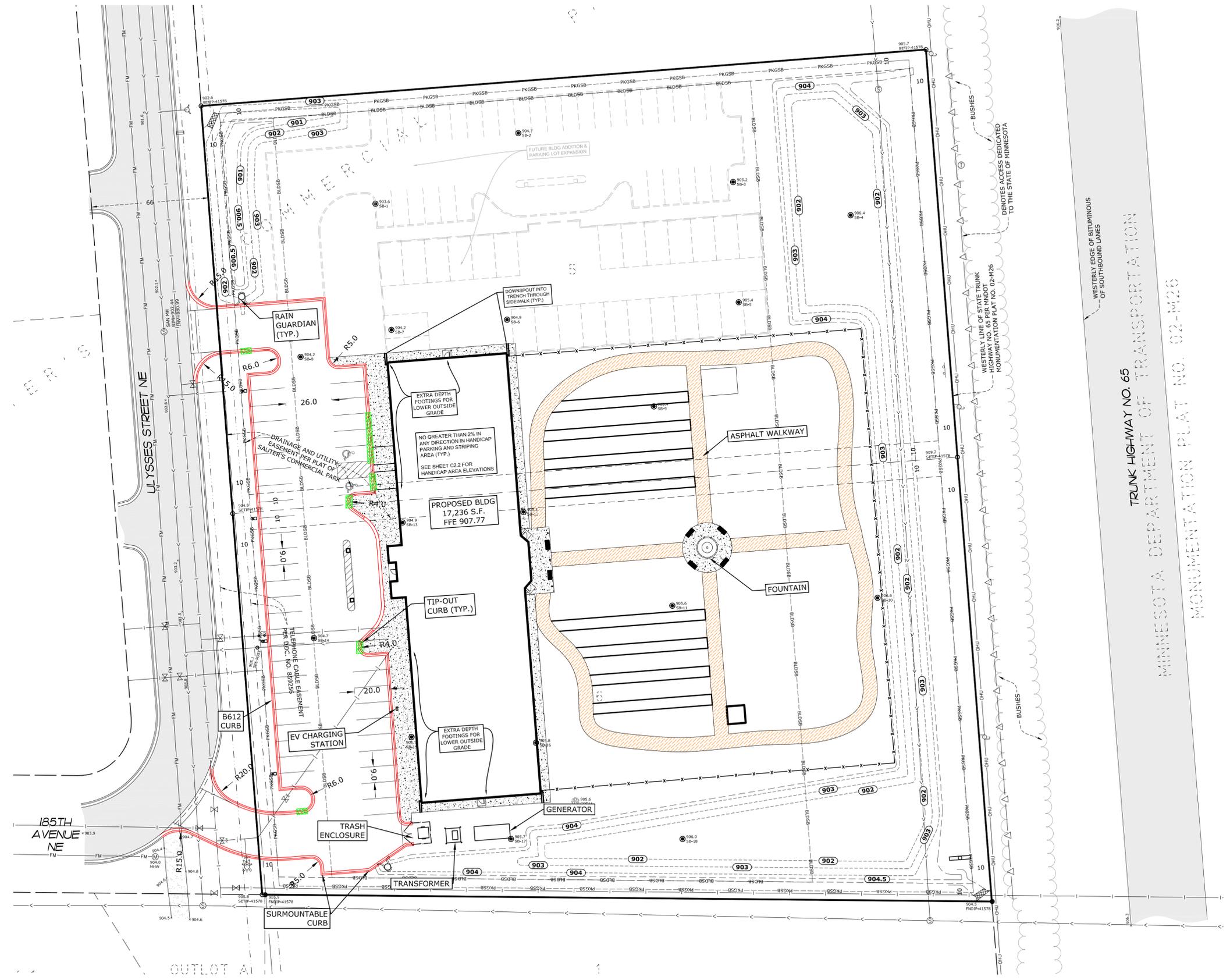
PLOWE ENGINEERING, INC.
 SITE PLANNING & ENGINEERING
 6776 LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55014
 PHONE: (651) 361-8210
 FAX: (651) 361-8701

811
 Know what's below.
 Call before you dig.

NORTH

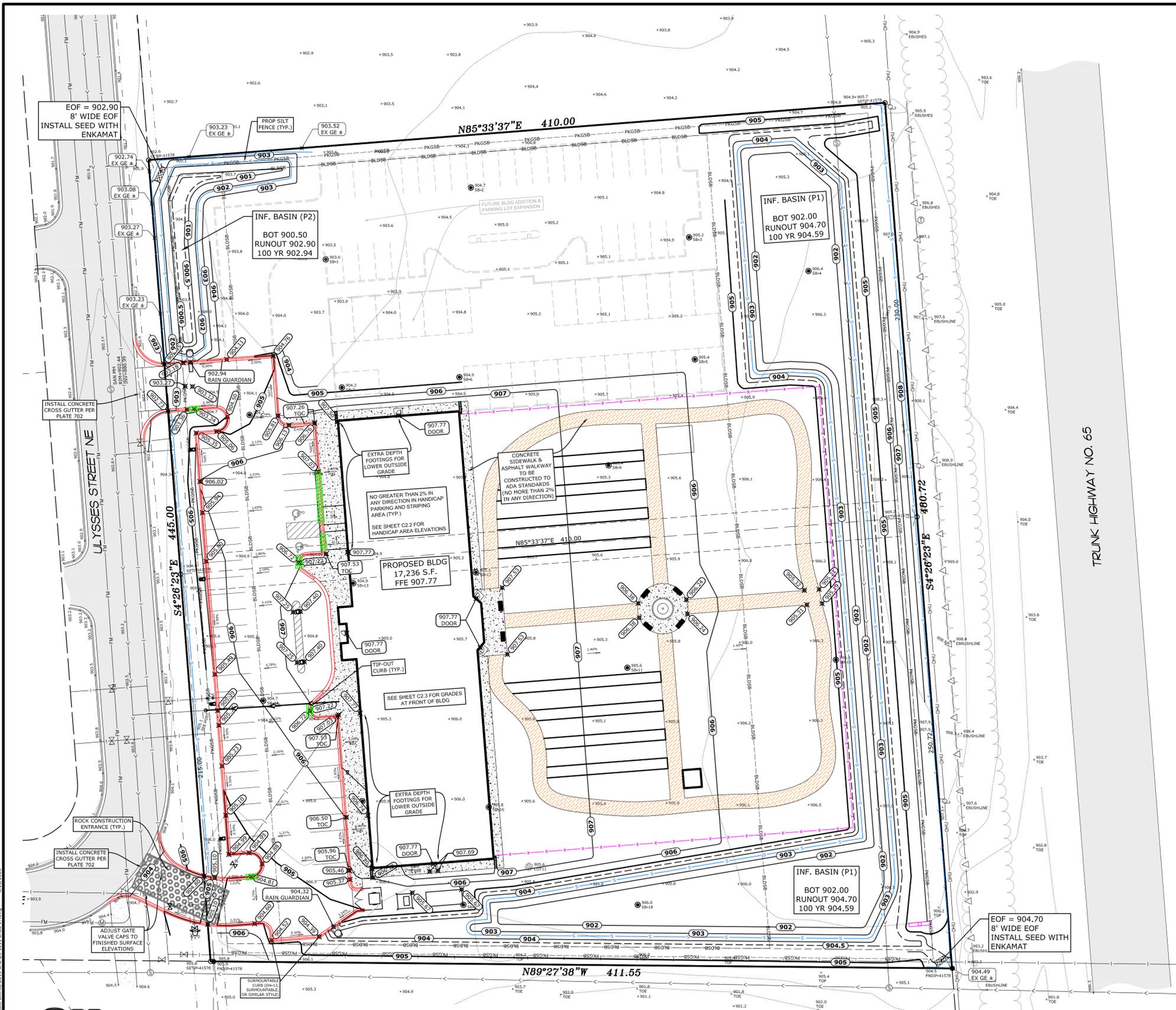
0 15 30
 1 INCH = 30 FEET

C1



CIVIL SITE PLAN
ATLAS MEMORY CARE

S:\V\Draws\25\2503\2211 Atlas Memory Care (East Bethel)\2211 CAD\25-2211 BASE.rvt.dwg 8/20/2025



SITE SEQUENCING

- PRIOR TO ANY GRADING OPERATIONS, THE CONTRACTOR SHALL INSTALL ROCK CONSTRUCTION ENTRANCE (LOCATIONS TO BE DETERMINED - COORDINATE WITH OWNER) AND PERIMETER SILT FENCE AS SHOWN ON PLAN. (CONTACT CITY TO INSPECT EROSION CONTROL MEASURES PRIOR TO GRADING OPERATIONS, IF NECESSARY.) ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE.
- THE CONTRACTOR SHALL PROVIDE ALL SOD, SEED, MULCH AND FERTILIZER WHICH SHALL CONFORM WITH THE FOLLOWING MNDOT SPECIFICATIONS AS MODIFIED BELOW.

ITEM	MNDOT SPECIFICATION/NOTES
SOD	3878
SEED **	3876
* FOR TURF ESTABLISHMENT	
COMMERCIAL TURF	MNDOT MIX 25-131 (220 LBS/ACRE)
RESIDENTIAL TURF	MNDOT MIX 25-131 (120 LBS/ACRE)
TEMPORARY	
FALL COVER	MNDOT MIX 21-112 (100 LBS/ACRE)
SPRING/SUMMER	MNDOT MIX 21-111 (100 LBS/ACRE)
SOIL-BUILDING COVER	MNDOT MIX 21-113 (110 LBS/ACRE)
1-2 YEARS COVER	MNDOT MIX 22-111 (30.5 LBS/ACRE)
2-5 YEARS COVER	MNDOT MIX 22-112 (40 LBS/ACRE)
MULCH	3882 (TYPE 1 - DISC ANCHORED)
FERTILIZER	3881
WOOD FIBER BLANKET	3885 (CATEGORY 2)

- * MOW A MINIMUM OF ONCE PER 2 WEEKS
- ** SEEDED AREAS SHALL BE EITHER MULCHED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION.
- ALL EXPOSED SOILS MUST HAVE TEMPORARY EROSION CONTROL PROTECTION OR PERMANENT COVER WITHIN FOURTEEN (14) DAYS.
- THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO ALL ADJACENT PROPERTY LINES AND MAKE SURE THE EROSION CONTROL PRACTICES IN PLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION. SILT FENCE TO BE REMOVED ONLY AFTER COMPLETION OF BUILDING CONSTRUCTION AND UPON ESTABLISHMENT OF VEGETATION.
- THE CONTRACTOR SHALL PROVIDE WOOD FIBER BLANKET FOR ALL AREAS OF CONCENTRATED FLOW AND FOR ALL SLOPES 3:1 OR GREATER.
- PROTECT ALL STORM WATER MANAGEMENT FACILITIES FROM CONSTRUCTION RUN-OFF. CONTRACTOR TO INSTALL AND CONSTRUCT SAID FACILITIES ONCE SITE HAS BEEN STABILIZED.
- IF ANY SLOPES APPEAR TO BE FAILING, THE CONTRACTOR SHALL PROVIDE ADDITIONAL SILT FENCE, BIOROLLS AND EROSION CONTROL BLANKET AS NEEDED.
- THE CONTRACTOR SHALL FINAL GRADE SWALE AREAS UPON STABILIZATION OF UPSTREAM AREAS.
- THE CONTRACTOR SHALL SOD ALL DISTURBED DRAINAGE AREAS, INCLUDING SWALES & OVERFLOWS.
- UPON GRADING COMPLETION THE CONTRACTOR SHALL PROVIDE NATIVE TOPSOIL WITH SOD OR SEED, AND MULCH ANCHORED WITH A STRAIGHT SET DISC WITHIN 48 HOURS OF FINAL GRADING.
- EXCESS SOIL SHOULD BE TREATED LIKE OTHER EXPOSED SOIL AND STABILIZED WITHIN 72 HOURS. ANY SOIL STOCKPILES ARE TO HAVE SILT FENCE PLACED ON DOWNSTREAM SIDES.
- IF A STREET, ALLEY, SIDEWALK OR OTHER PUBLIC PLACE SHOULD BECOME SOILED OR LITTERED, THE CONTRACTOR SHALL CAUSE SUCH SOILING OR LITTERING TO BE CLEANED UP BY SWEEPING NOT LATER THAN THE END OF THE WORKING DAY IN WHICH SUCH SOILING OR LITTERING SHALL HAVE OCCURRED OR BEEN OBSERVED.

OTHER POLLUTION CONTROL MEASURES

CONSTRUCTION WASTE MATERIALS - ALL WASTE MATERIALS GENERATED AS A RESULT OF SITE CONSTRUCTION SHALL BE COLLECTED AND REMOVED ACCORDING TO ALL LOCAL AND/OR STATE WASTE MANAGEMENT REGULATIONS BY A LICENSED SOLID WASTE MANAGEMENT COMPANY. THE CONTRACTOR WILL ENSURE THAT ALL SITE PERSONNEL ARE INSTRUCTED IN THESE PRACTICES.

HAZARDOUS WASTES - ALL HAZARDOUS WASTE MATERIALS SHALL BE STORED PROPERLY TO PREVENT SPILLS AND VANDALISM. WHEN NECESSARY, HAZARDOUS WASTES WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL AND/OR STATE REGULATION OR BY THE MANUFACTURER.

SANITARY WASTE - ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS BY A LOCAL, LICENSED WATER MANAGEMENT COMPANY, AS REQUIRED BY LOCAL REGULATION.

OFFSITE VEHICLE TRACKING - A ROCK CONSTRUCTION ENTRANCE HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. IF A STREET, ALLEY, SIDEWALK OR OTHER PUBLIC PLACE SHOULD BECOME SOILED OR LITTERED, THE CONTRACTOR SHALL CAUSE SUCH SOILING OR LITTERING TO BE CLEANED UP BY SWEEPING NOT LATER THAN THE END OF THE WORKING DAY IN WHICH SUCH SOILING OR LITTERING SHALL HAVE OCCURRED OR BEEN OBSERVED. DUMP TRUCKS HAULING LOOSE MATERIALS (SAND, TOPSOIL, ETC.) TO AND/OR FROM THE SITE SHALL BE COVERED WITH A TARPULIN.

VEHICLE CLEANING - NO ENGINE DEGREASING IS ALLOWED ON-SITE. EXTERNAL WASHING OF VEHICLES TO BE CONFINED TO A DEFINED AREA ("BONE YARD") ON-SITE. CONTRACTOR TO PROVIDE DESIGNATED TRUCK WASHOUT AREA WITH APPROPRIATE SIGNAGE. WASHOUT AREA IS TO BE A MINIMUM OF 50' FROM DITCHES, PONDS, OR OTHER STORMWATER FEATURES. ALL LIQUID AND SOLID WASTE GENERATED BY WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER (E.G. COMPACTED CLAY LINER, IMPERMEABLE GEO-MEMBRANE) AND DISPOSED OF PROPERLY.

SPILL PREVENTION AND CONTROL - ALL VEHICLES WILL BE CHECKED FOR LEAKING OIL AND FLUIDS. VEHICLES LEAKING FLUIDS WILL NOT BE ALLOWED ON-SITE. SPILL KITS WILL BE STORED ON-SITE AND ALL SPILLS WILL BE CLEANED UP IMMEDIATELY. SPENT ABSORBENT MATERIALS AND RAGS WILL BE HAULED OFF-SITE IMMEDIATELY AFTER THE SPILL IS CLEANED UP AND PROPERLY DISPOSED OF. SPILL PREVENTION AND CONTROL MEASURES SHALL BE IMPLEMENTED ONCE CONSTRUCTION BEGINS.

SOIL STOCKPILES - INSTALL SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AROUND ALL TEMPORARY SOIL STOCKPILES. LOCATE SOIL OR DIRT STOCKPILES SUCH THAT DOWNSLOPE DRAINAGE LENGTH IS NO LESS THAN 8 M (25 FEET) FROM THE TOE OF THE PILE TO A SURFACE WATER, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS, OR CONDUITS AND DITCHES UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER. IF REMAINING FOR MORE THAN 7 DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARP, OR OTHER MEANS. DURING STREET REPAIR, COVER CONSTRUCTION SOIL OR DIRT STOCKPILES LOCATED CLOSER THAN 8 M (25 FEET) TO A ROADWAY OR DRAINAGE CHANNEL WITH TARPS, AND PROTECT STORM SEWER INLETS WITH SILT SOCKS OR STAKED SILT FENCE.

PROVIDE WIMCO (OR APPROVED EQUAL) FOR INLET PROTECTION AT ALL EXISTING STORM SEWER INLETS THAT WILL RECEIVE RUN-OFF DURING CONSTRUCTION. INLET PROTECTION TO REMAIN IN-PLACE UNTIL AT LEAST 70% OF SITE VEGETATION HAS BEEN ESTABLISHED.

CONTRACTOR TO PROVIDE DESIGNATED CONCRETE TRUCK WASHOUT AREA WITH APPROPRIATE SIGNAGE. KEEP WASHOUT AREAS AS FAR AS PRACTICAL FROM STORM DRAINS, DITCHES AND PONDS. DO NOT ALLOW RUN-OFF FROM THIS AREA BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH FOR LIQUID AND SOLID WASTE. AFTER WASHOUT AREA IS SET, BREAK-UP AND DISPOSE OF PROPERLY.

THE CONTRACTOR MUST DISCHARGE TURBID OR SEDIMENT-LADEN WASTES RELATED TO DEWATERING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. THE CONTRACTOR MAY DISCHARGE FROM THE TEMPORARY OR PERMANENT SEDIMENTATION BASINS TO SURFACE WATERS IF THE BASIN WATER HAS BEEN VISUALLY CHECKED TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED IN THE BASIN AND THAT NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF THE WATER CANNOT BE DISCHARGED TO A SEDIMENTATION BASIN PRIOR TO ENTERING THE SURFACE WATER, IT MUST BE TREATED WITH THE APPROPRIATE BMPs, SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE RECEIVING WATER OR DOWNSTREAM PROPERTIES.

ALL WORK SHALL CONFORM TO THE "CITY OF EAST BETHEL ENGINEERING MANUAL" AND THE "STANDARD UTILITY SPECIFICATIONS AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA, LATEST REVISION."

DRAWN BY: M.Q.A. DESIGN BY: Q.M.A.
 CHCKD BY: M.Q.A. PROJ. NO. 25-2211
 ORIGINAL DATE: AUGUST 15, 2025

DATE	REVISION DESCRIPTION

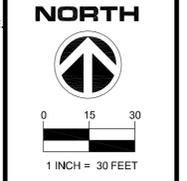
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
ASSEM M. ABUGHAZLEH LIC. NO. 56289
 DATE: 08.15.2025

ATLAS MEMORY CARE
EAST BETHEL, MINNESOTA
 GRADING, DRAINAGE, AND EROSION CONTROL PLAN

PREPARED FOR:
STONE CONSTRUCTION



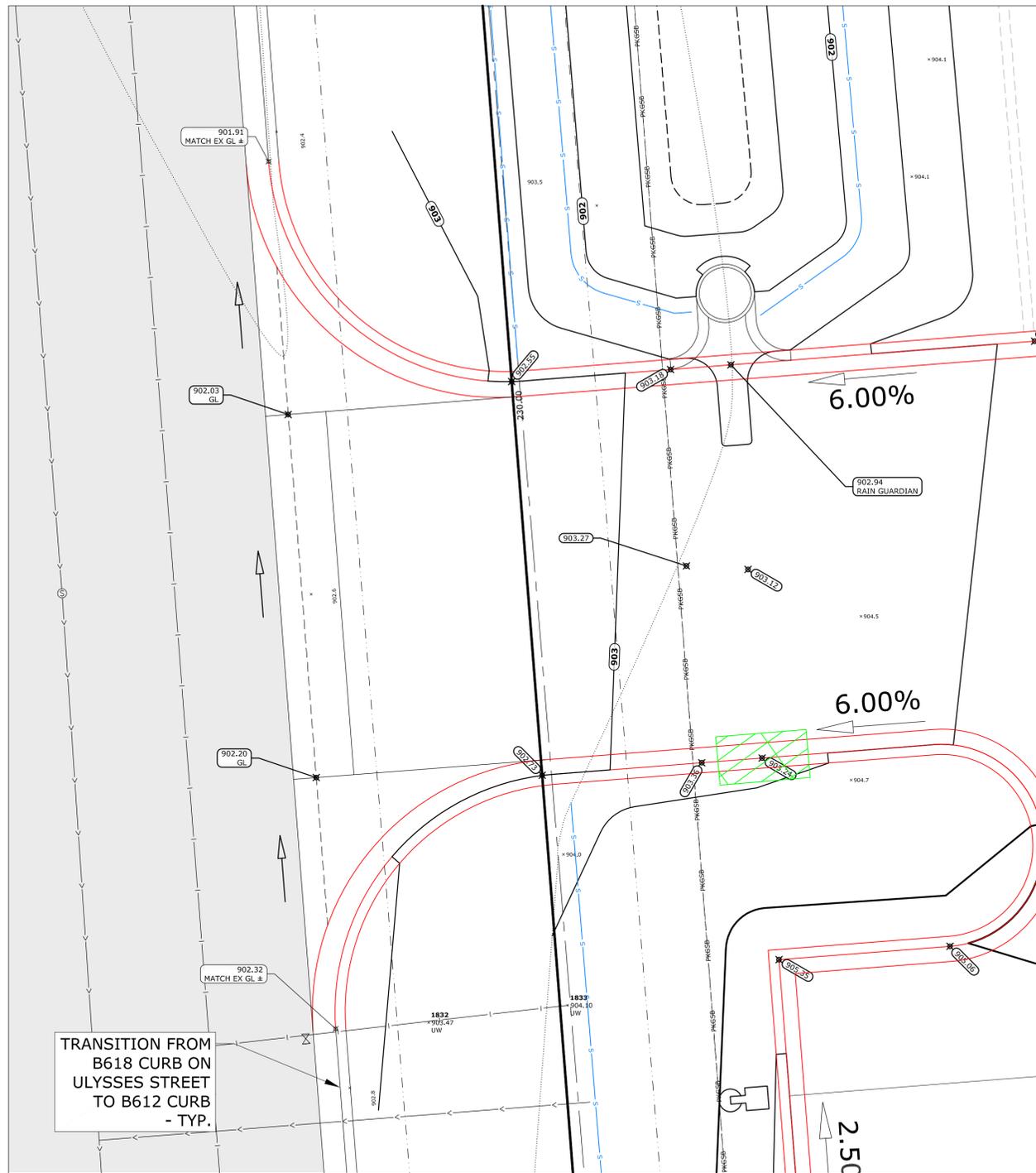
PLOWE ENGINEERING, INC.
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 PHONE: (651) 361-8210
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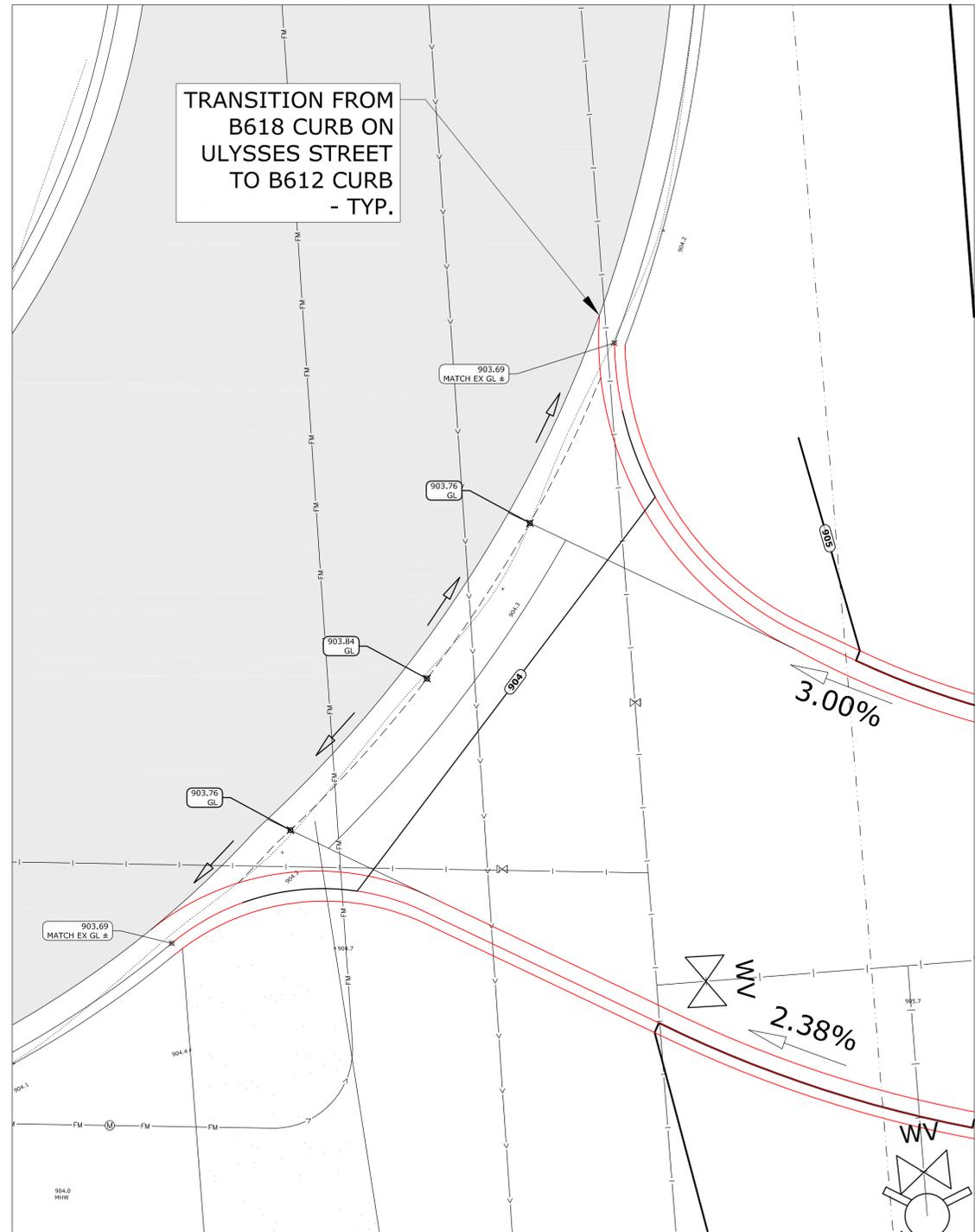
C2.1



GRADING, DRAINAGE, AND EROSION CONTROL PLAN ATLAS MEMORY CARE



NORTH ENTRANCE DETAILS (ULYSSES ST.)



SOUTH ENTRANCE DETAILS (ULYSSES ST.)

ALL WORK SHALL CONFORM TO THE "CITY OF EAST BETHEL ENGINEERING MANUAL" AND THE "STANDARD UTILITY SPECIFICATIONS AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA, LATEST REVISION."



Know what's below.
Call before you dig.

**ENTRANCE DETAILS
ATLAS MEMORY CARE**

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CHKD BY: M.Q.A. PROJ. NO.: 25-2211
ORIGINAL DATE: AUGUST 15, 2025

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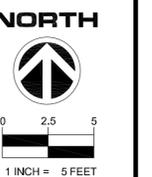
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CASEM M. ABUGHAZLEN LIC. NO. 56289
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**ATLAS MEMORY CARE
EAST BETHEL, MINNESOTA**
ENTRANCE DETAILS

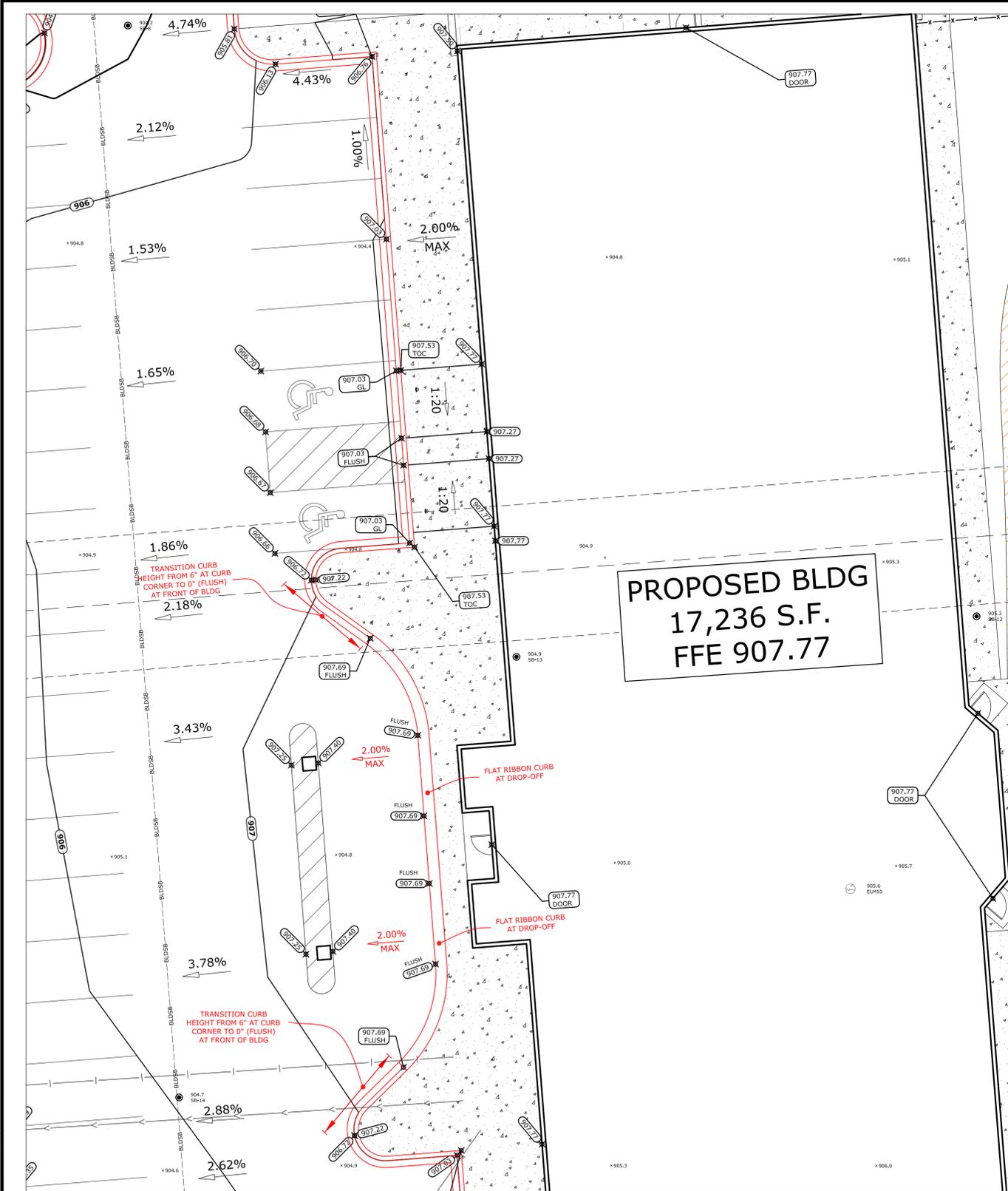
PREPARED FOR:
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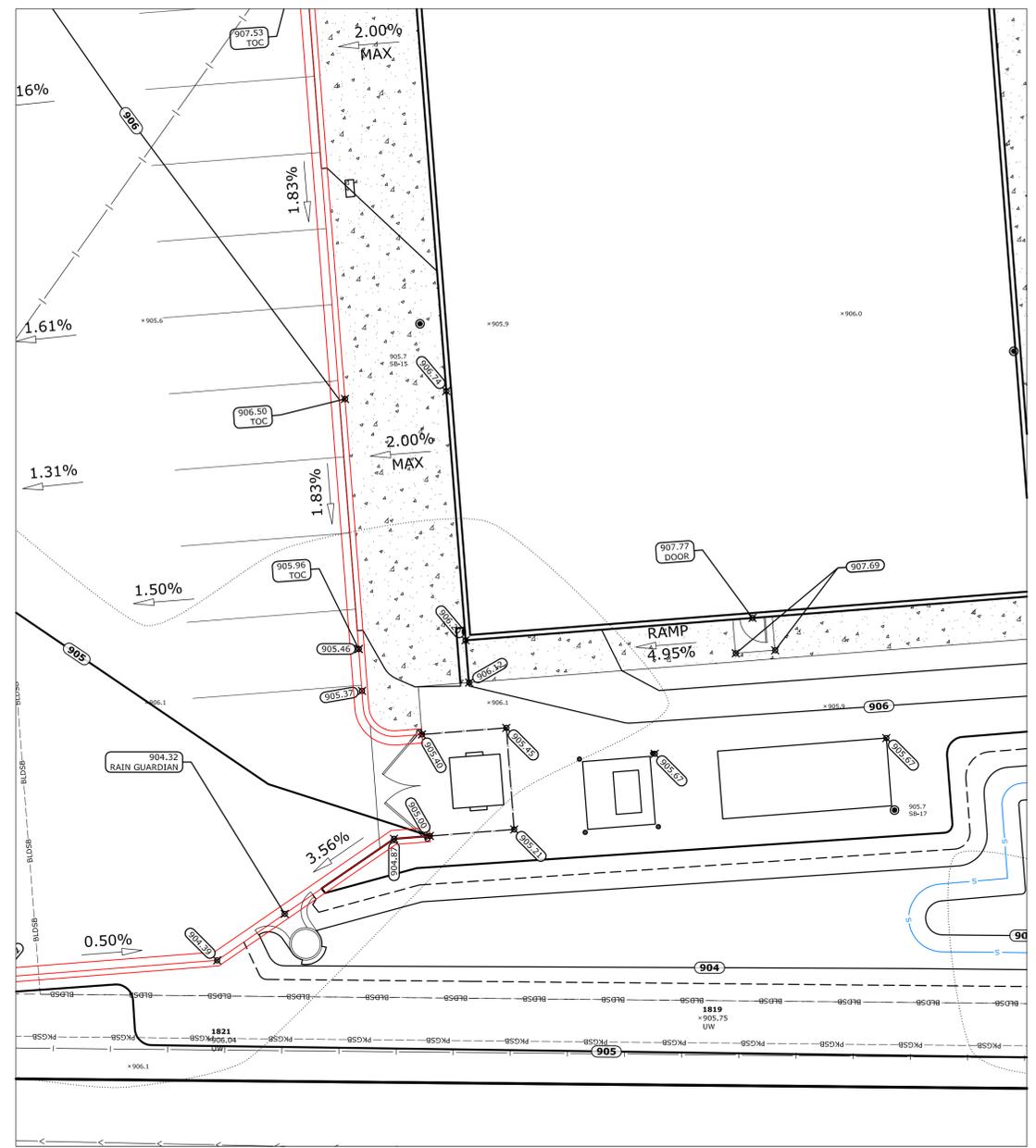
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C2.2



HC DETAIL & GRADES AT FRONT



TRASH ENCLOSURE (SW OF BLDG)



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 CHCKD BY: M.Q.A. PROJ. NO.: 25-2211
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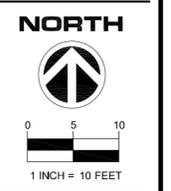
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CASEM M. ABUGHAZLEN LIC. NO. 56289
 DATE: 08.15.2025

ATLAS MEMORY CARE
EAST BETHEL, MINNESOTA
 HC DETAILS & TRASH ENCLOSURE GRADES

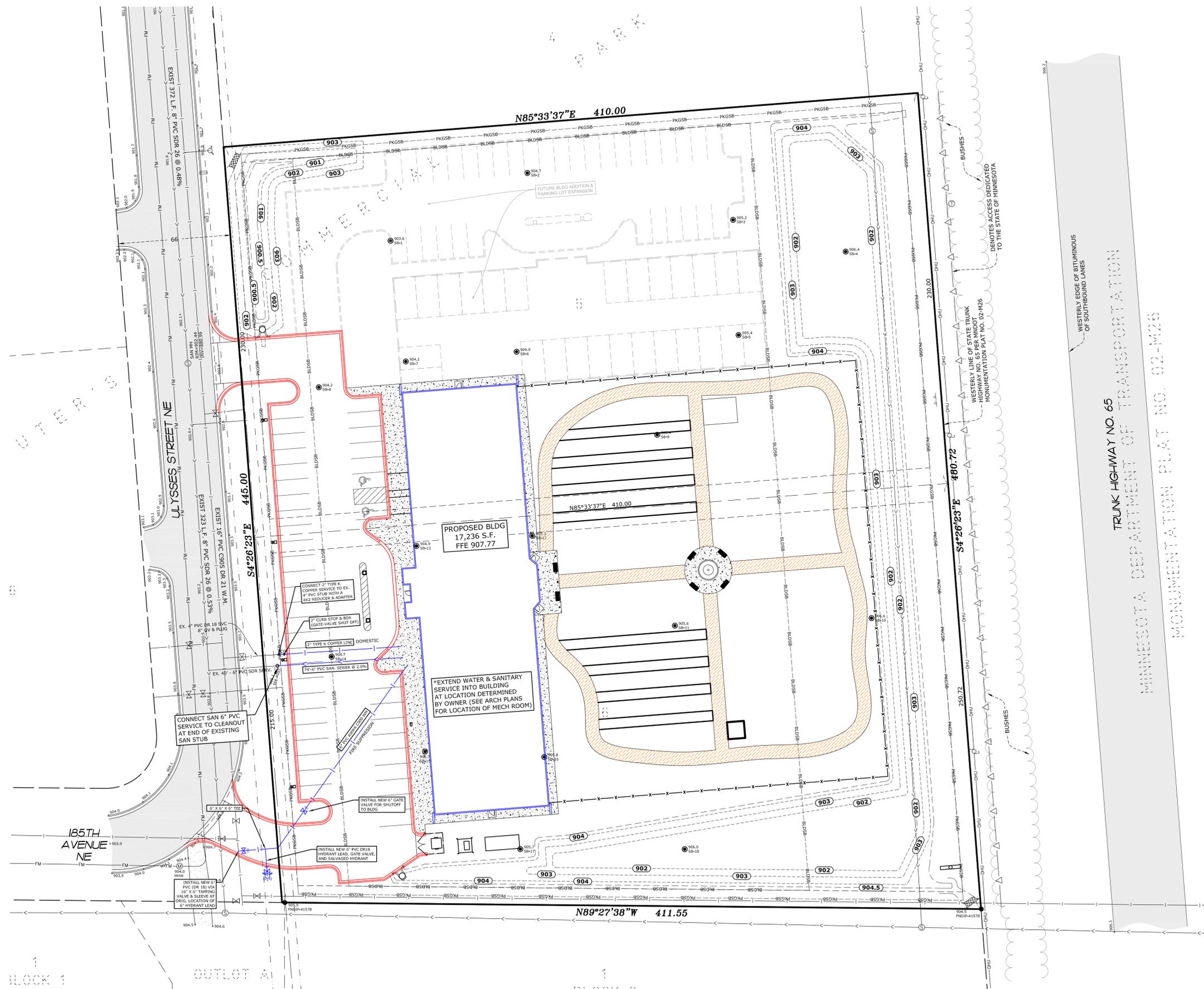
PREPARED FOR:
STONE CONSTRUCTION

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C2.3

S:\planning\25\proj\2511 Atlas Memory Care (East Bethel)\2511 CAD\25-2211 BASE 17.dwg 8/20/2025



SANITARY SEWER NOTES

EXISTING SANITARY SEWER LOCATION, SIZE, AND ELEVATION SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

PROPOSED SANITARY SEWER SERVICES SHALL BE 6" PVC SCHEDULE 40.

ALL SEWER MAINS AND SERVICES THAT DO NOT MEET A MINIMUM BURY OF 7.5 FEET SHALL BE INSULATED.

WATER MAIN NOTES

EXISTING WATER MAIN LOCATION AND SIZE SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

PROVIDE PIPE INSULATION WHERE SEWER (SANITARY OR STORM) CROSSES WITHIN 18" OF WATER MAIN.

PROPOSED WATER MAIN SHALL BE 4" PVC AWWA C900 DR 18 (CONFORMING TO MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY STANDARDS). ALL WATERMAIN FITTINGS SHALL BE DUCTILE IRON, LONG MECHANICAL JOINT, FULL BODY FITTINGS, PER THE CURRENT STANDARDS.

MECHANICAL JOINTS SHALL BE USED FOR WATER MAIN PIPES 4" IN DIAMETER AND LARGER. RUBBER GASKETS SHALL CONFORM TO AWWA C111 (ANSI A21.11).

ALL FITTINGS AND RESTRAINING RODS SHALL BE PROTECTED USING SACRIFICIAL ZINC ANODE CAPS SUCH AS 175P190 PROTECTO CAPS AS MANUFACTURED BY EBAA IRON OR AN APPROVED EQUAL. CONTRACTORS SHALL SUPPLY 2 PROTECTO CAPS PER MECHANICAL JOINT GLAND INSTALLED.

ALL FITTING, ETC. SHALL BE SECURED UTILIZING COR-BLUE T-BOLTS AS MANUFACTURED BY NSS INDUSTRIES OR APPROVED EQUAL.

WATERMAIN AND RESTRAINING DEVICES - THE INTERIOR AND EXTERIOR OF ALL WATERMAIN FITTINGS AND RESTRAINING DEVICES SHALL BE COATED WITH A 6-8 MIL NOMINAL THICKNESS, FUSION BONDED EPOXY CONFORMING TO THE REQUIREMENTS OF ANSI/AWWA C550 AND C116/A21.16.

TRACER WIRE IS REQUIRED FOR ALL PVC WATERMAIN PIPE AND SERVICE LINES AND SHALL BE NO. 8 COPPER INSULATED AND RATED FOR UNDERGROUND SERVICE. TRACER WIRE SHALL REMAIN CONTINUOUS AND BE BROUGHT TO THE SURFACE AT ALL HYDRANTS AND SERVICES PER STANDARD PLATES NO. 200 AND 204. THE TRACER WIRE SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MINNESOTA RURAL WATER TRACER WIRE SPECIFICATION.

TRACER WIRE WILL BE LAID WITH ALL PVC WATER MAINS, VALVE BOXES, AND HYDRANTS.

CONNECTORS (THREE-WAY LUG): ALLOWS TAP WITHOUT CUTTING THE MAIN LINE. WIRE SIZE: #14-10 SOLID COPPER AND #12 STEEL CORE COPPER-CLAD TRACER WIRE. INCLUDES SILICON SEALANT. DESIGNED FOR DIRECT BURIAL. CONNECTORS SHALL BE COPPERHEAD INDUSTRIES OR APPROVED EQUAL.

MAGNESIUM GROUNDING RODS: EQUIPMENT FROM THE FOLLOWING MANUFACTURERS AND WHICH MEET THESE SPECIFICATIONS WILL BE ACCEPTED. COPPERHEAD INDUSTRIES PART # ANO-1005 (1.5 LBS). MAGNESIUM GROUNDING RODS ARE REQUIRED AT ALL ACCESS BOXES AS SHOWN ON THE PLANS.

CONNECTORS (WIRE NUTS): JOINS UP TO 4 #12 WIRES. WIRE SIZE: #22-8 SOLID COPPER AND #12 STEEL CORE COPPER-CLAD TRACER WIRE. DESIGNED FOR DIRECT BURIAL. CONNECTORS SHALL BE COPPERHEAD INDUSTRIES OR APPROVED EQUAL.

THE NEW WATERMAIN WILL NEED TO BE PRESSURE TESTED PER THE CURRENT STANDARDS.

MAINTAIN MINIMUM 8-FT COVER TO TOP OF ALL WATER MAIN PIPE.



ALL PERMITS, INCLUDING BUT NOT LIMITED TO PERMITS FROM CITY OF EAST BETHEL AND THE MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY, SHALL BE OBTAINED PRIOR TO ORDERING OF MATERIAL AND STARTING OF CONSTRUCTION. NO INSTALLATION OF UTILITIES SHALL BE PERMITTED UNTIL ALL APPLICABLE PERMITS ARE RECEIVED BY THE CONTRACTOR.

INSTALLATION OF UTILITIES SHALL BE CONSTRUCTED TO MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY STANDARDS AND CITY STANDARDS AS IDENTIFIED IN THE PUBLIC WORKS/ENGINEERING STANDARDS.

ALL WORK SHALL CONFORM TO THE "CITY OF EAST BETHEL ENGINEERING MANUAL" AND THE "STANDARD UTILITY SPECIFICATIONS AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA, LATEST REVISION."

DRAWN BY:	DESIGN BY:
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CHKD BY:	PROJ. NO.
M.Q.A.	25-2211
ORIGINAL DATE:	
AUGUST 15, 2025	

DATE	REVISION DESCRIPTION

ATLAS MEMORY CARE
EAST BETHEL, MINNESOTA
 UTILITY PLAN

PREPARED FOR:
STONE CONSTRUCTION

NORTH

UTILITY PLAN
ATLAS MEMORY CARE



DATE REVISION DESCRIPTION

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Q.M.A.
 CASEM M. ABUGHAZLEH
 LIC. NO. 56289
 DATE: 08.15.2025

ATLAS MEMORY CARE
EAST BETHEL, MINNESOTA
 DETAILS & NOTES

PREPARED FOR:
STONE CONSTRUCTION

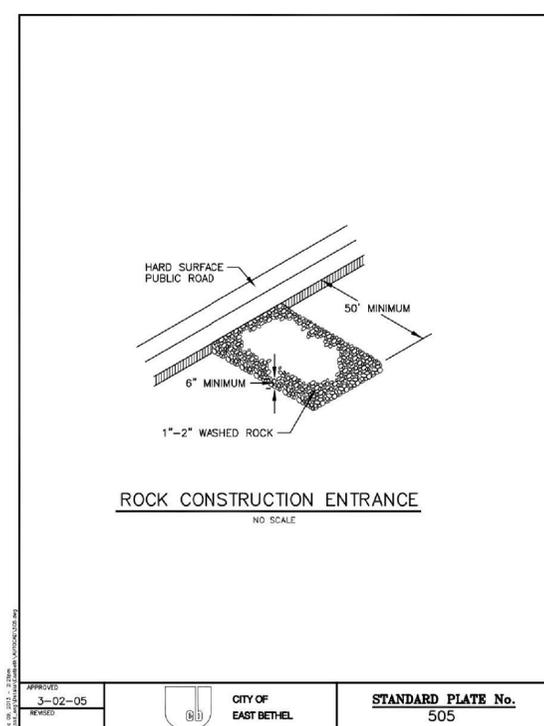
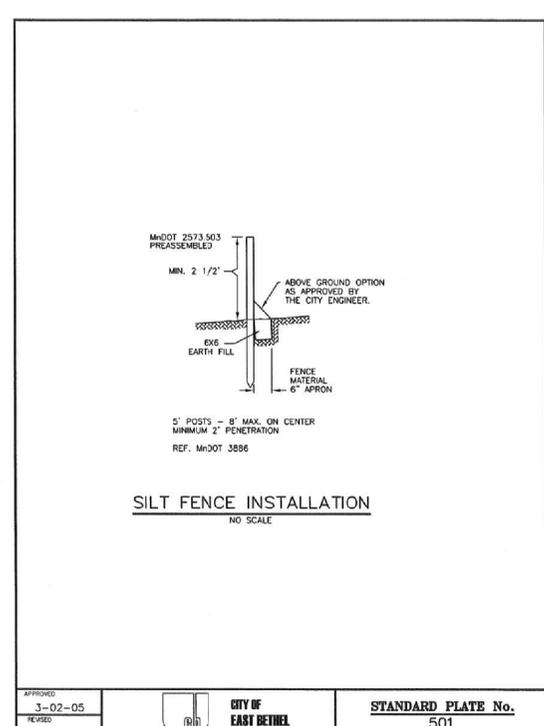
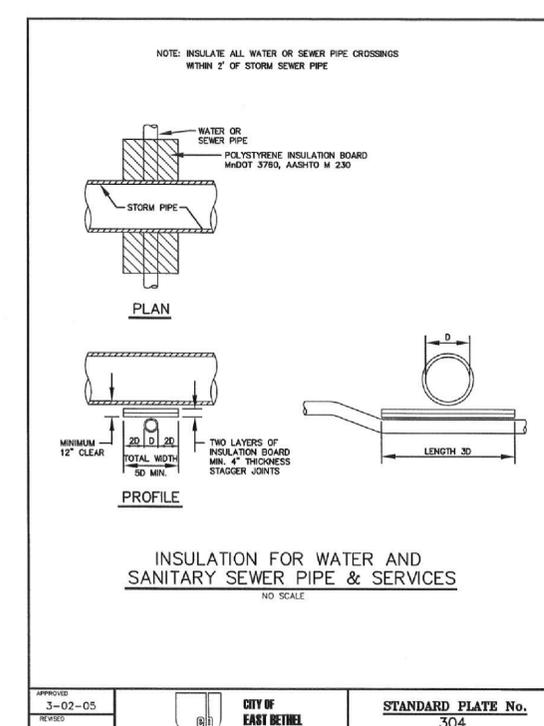
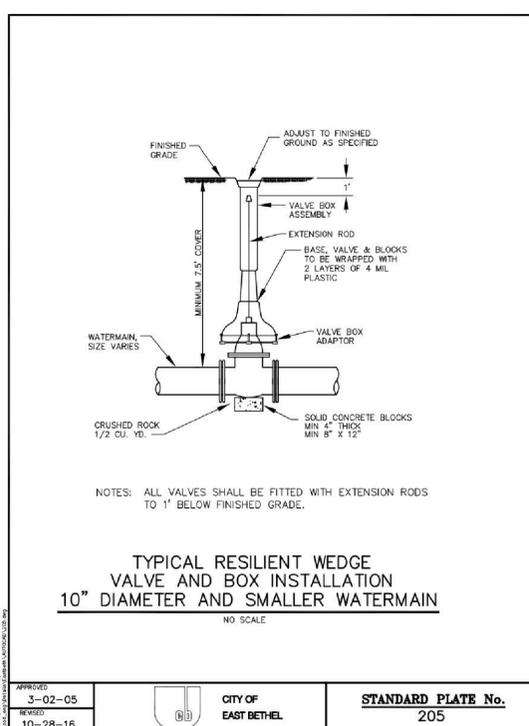
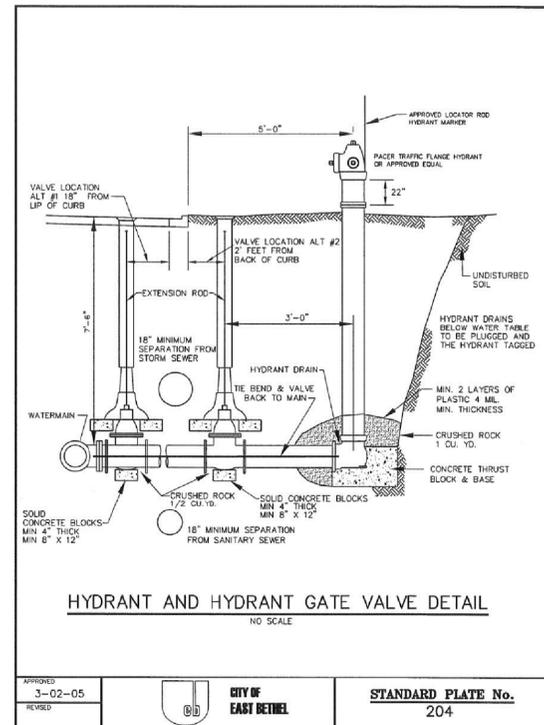
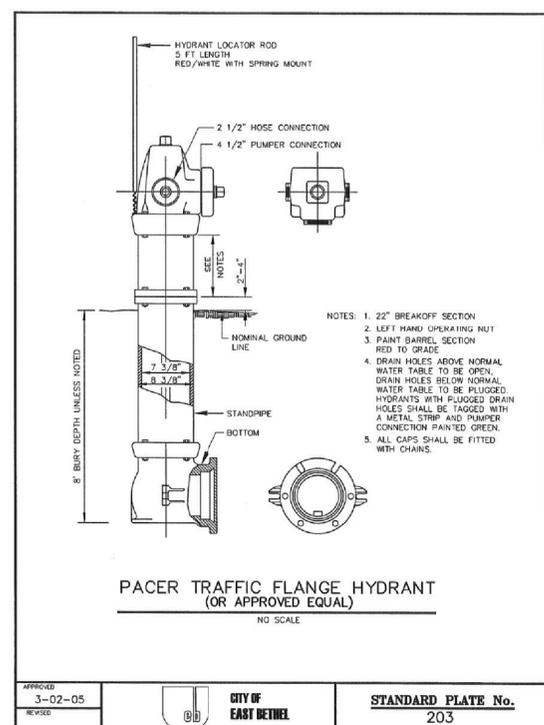
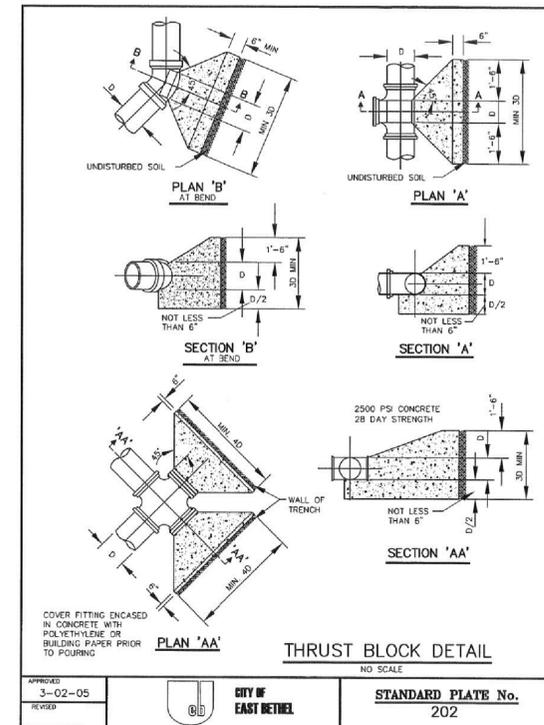
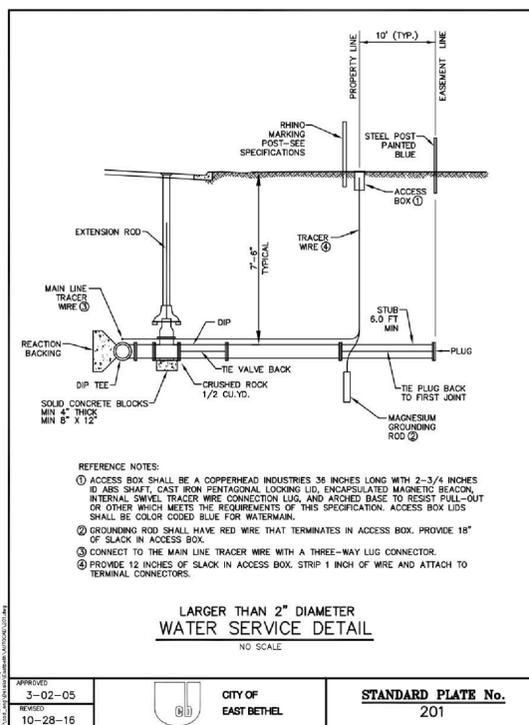


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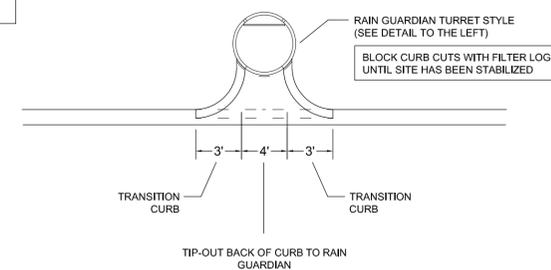
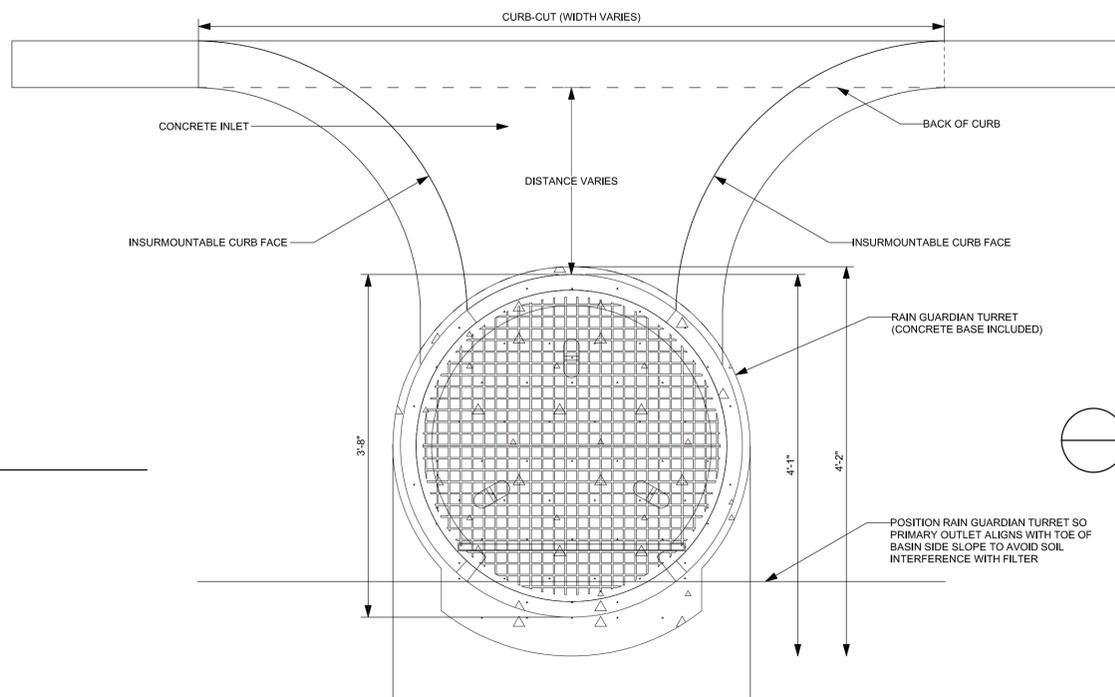
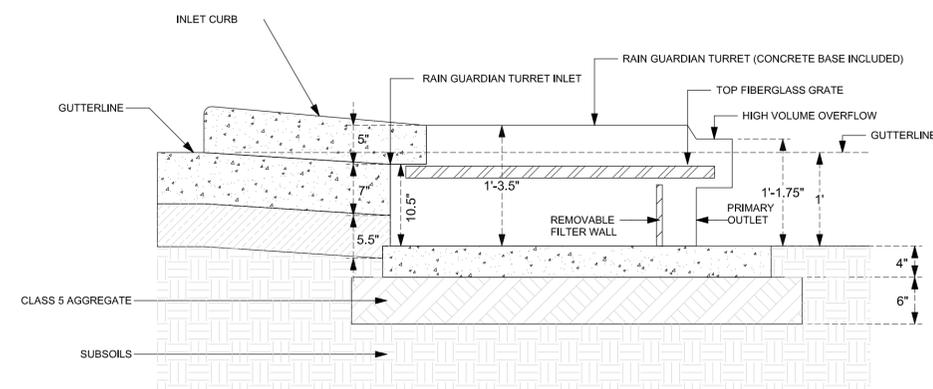
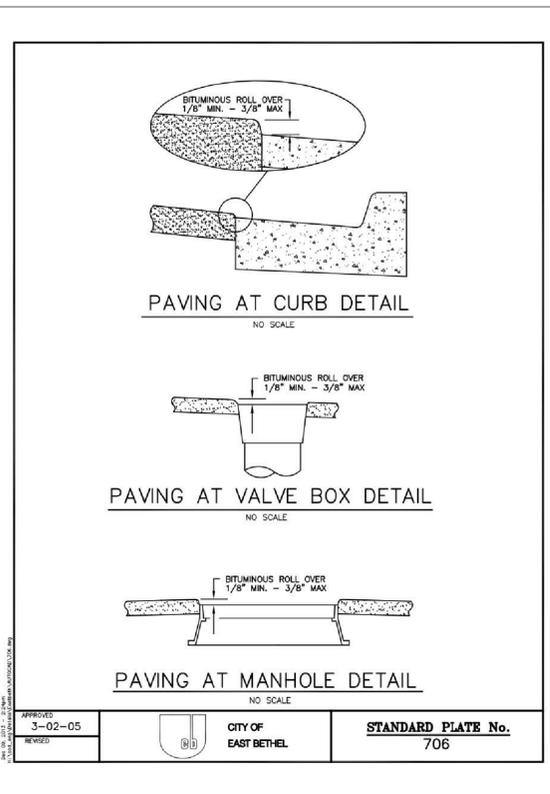
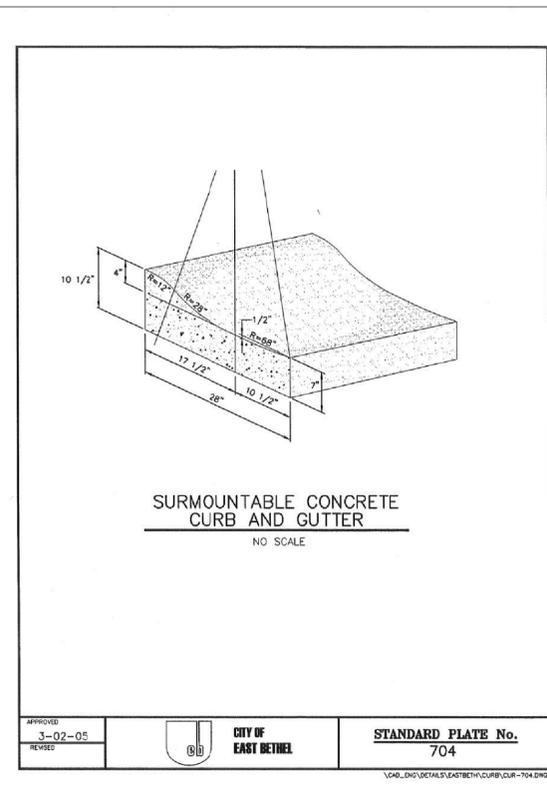
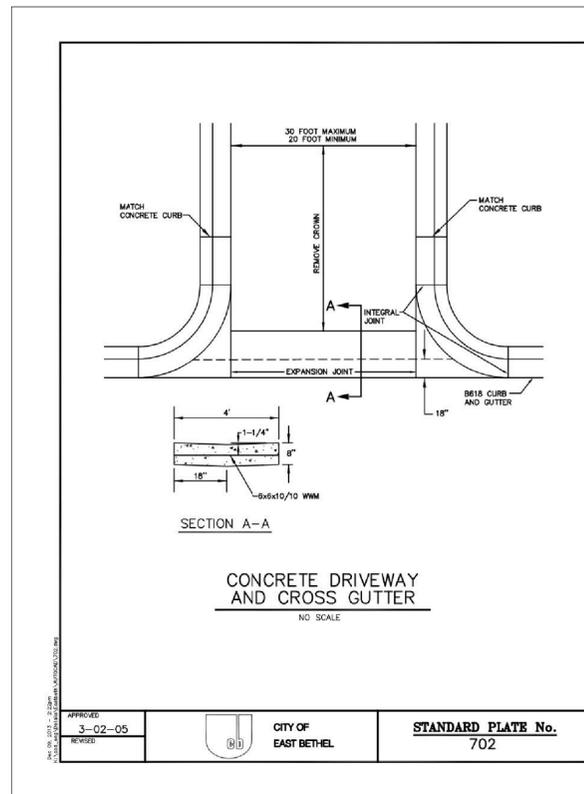
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CASEM M. ABUGHAZLEN
 LICENSED PROFESSIONAL ENGINEER
 LIC. NO. 56289
 DATE: 08.15.2025



ATLAS MEMORY CARE
EAST BETHEL, MINNESOTA
 DETAILS & NOTES

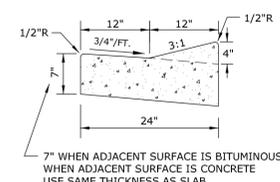
PREPARED FOR:
STONE CONSTRUCTION

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DETAILS & NOTES
ATLAS MEMORY CARE
C4.2

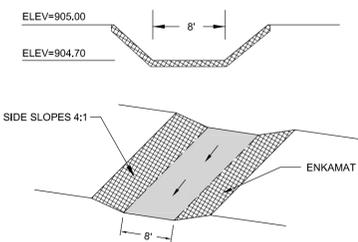
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GASEM M. ABUGHAZLEH
 LIC. NO. 56299
 DATE: 08.15.2025



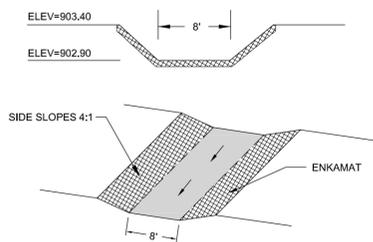
D412 CONCRETE CURB & GUTTER
 NOT TO SCALE

7" WHEN ADJACENT SURFACE IS BITUMINOUS - WHEN ADJACENT SURFACE IS CONCRETE USE SAME THICKNESS AS SLAB.



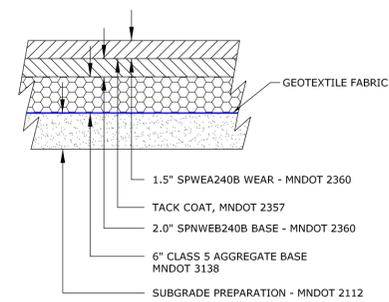
OVERFLOW SWALE WITH ENKAMAT 7010 (BASIN P1)
 NOT TO SCALE

NOTE: ENKAMAT TO COVER BOTTOM & SIDES OF OVERFLOW.



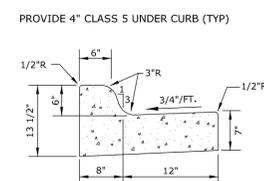
OVERFLOW SWALE WITH ENKAMAT 7010 (BASIN P2)
 NOT TO SCALE

NOTE: ENKAMAT TO COVER BOTTOM & SIDES OF OVERFLOW.



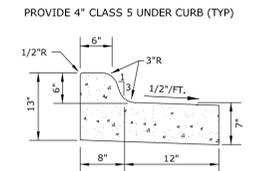
BITUMINOUS - LIGHT DUTY
 NOT TO SCALE

PAVING SHALL CONFORM TO THE LATEST EDITION OF MNDOT'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY'S STANDARDS FOR STREET AND UTILITY CONSTRUCTION.
 BITUMINOUS PAVING SECTION SHALL BE REVIEWED AND APPROVED BY GEOTECHNICAL ENGINEER (AMERICAN ENGINEERING TESTING) PRIOR TO ANY INSTALLATIONS.



B612 CONCRETE CURB & GUTTER
 N.T.S.

PROVIDE 4" CLASS 5 UNDER CURB (TYP)



B612 CONCRETE CURB & GUTTER (TIP-OUT)
 N.T.S.

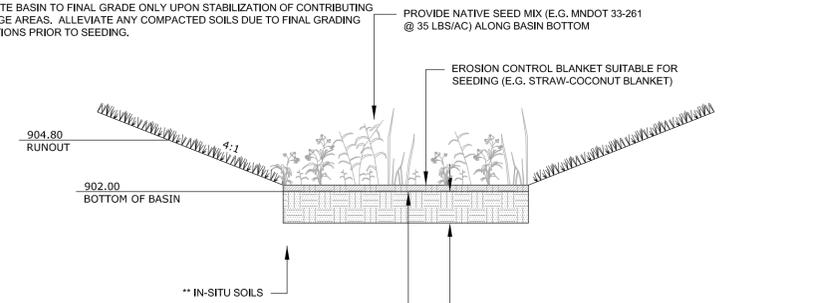
PROVIDE 4" CLASS 5 UNDER CURB (TYP)

NOTE: FOR MECHANICALLY LAID CURB, SHOE MAY BE TILTED.

NOTE: FOR MECHANICALLY LAID CURB, SHOE MAY BE TILTED.

- NOTES
- MARK-OFF BASIN AREA (E.G. FENCING, SILT FENCE, ETC.) TO PREVENT CONSTRUCTION TRAFFIC FROM ENTERING BASIN AREA.
 - USE LOW-IMPACT, EARTH MOVING EQUIPMENT (WIDE TRACK OR MARSH TRACK EQUIPMENT, OR LIGHT-EQUIPMENT WITH TURF-TYPE TIRES) WITHIN BASIN.
 - PROTECT BASIN FROM RUN-OFF DURING CONSTRUCTION ACTIVITIES
 - DO NOT EXCAVATE BASIN TO FINAL GRADE UNTIL UPSTREAM DRAINAGE AREAS HAVE BEEN STABILIZED.
 - REMOVE ANY TOPSOIL AND/OR UNSUITABLE SOILS WITHIN INFILTRATION BASIN FOOTPRINT. ANY SEDIMENT THAT IS WASHED INTO THE BASIN SHALL BE REMOVED.
 - NO MINING OF SANDY SOILS ALLOWED IN BASIN AREA.
 - EXCAVATE BASIN TO FINAL GRADE ONLY UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREAS. ALLEVIATE ANY COMPACTED SOILS DUE TO FINAL GRADING OPERATIONS PRIOR TO SEEDING.

AFTER INFILTRATION BASIN AREA HAS BEEN EXCAVATED TO FINAL GRADE PERFORM A DOUBLE-RING INFILTRATION TEST TO VERIFY INFILTRATION CAPACITY OF IN-SITU SOILS.

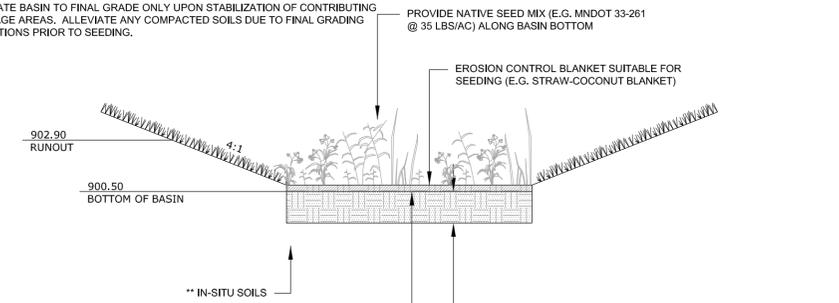


- REMOVE ANY EXISTING TOPSOIL OR FILL DEEMED UNSUITABLE FOR INFILTRATION (GEOTECHNICAL ENGINEER TO REVIEW ON-SITE SOILS)
- IN AREAS OF FILL, PLACE SALVAGED ON-SITE SANDY SOILS SUITABLE FOR INFILTRATION WITH <5% FINES (AS DETERMINED BY GEOTECHNICAL ENGINEER)

INFILTRATION BASIN (P1)
 N.T.S.

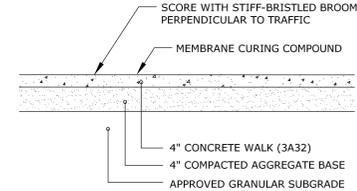
- NOTES
- MARK-OFF BASIN AREA (E.G. FENCING, SILT FENCE, ETC.) TO PREVENT CONSTRUCTION TRAFFIC FROM ENTERING BASIN AREA.
 - USE LOW-IMPACT, EARTH MOVING EQUIPMENT (WIDE TRACK OR MARSH TRACK EQUIPMENT, OR LIGHT-EQUIPMENT WITH TURF-TYPE TIRES) WITHIN BASIN.
 - PROTECT BASIN FROM RUN-OFF DURING CONSTRUCTION ACTIVITIES
 - DO NOT EXCAVATE BASIN TO FINAL GRADE UNTIL UPSTREAM DRAINAGE AREAS HAVE BEEN STABILIZED.
 - REMOVE ANY TOPSOIL AND/OR UNSUITABLE SOILS WITHIN INFILTRATION BASIN FOOTPRINT. ANY SEDIMENT THAT IS WASHED INTO THE BASIN SHALL BE REMOVED.
 - NO MINING OF SANDY SOILS ALLOWED IN BASIN AREA.
 - EXCAVATE BASIN TO FINAL GRADE ONLY UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREAS. ALLEVIATE ANY COMPACTED SOILS DUE TO FINAL GRADING OPERATIONS PRIOR TO SEEDING.

AFTER INFILTRATION BASIN AREA HAS BEEN EXCAVATED TO FINAL GRADE PERFORM A DOUBLE-RING INFILTRATION TEST TO VERIFY INFILTRATION CAPACITY OF IN-SITU SOILS.



- REMOVE ANY EXISTING TOPSOIL OR FILL DEEMED UNSUITABLE FOR INFILTRATION (GEOTECHNICAL ENGINEER TO REVIEW ON-SITE SOILS)
- IN AREAS OF FILL, PLACE SALVAGED ON-SITE SANDY SOILS SUITABLE FOR INFILTRATION WITH <5% FINES (AS DETERMINED BY GEOTECHNICAL ENGINEER)

INFILTRATION BASIN (P2)
 N.T.S.



- NOTES:
- USE EXPANSION JOINT WHERE NEW CONCRETE MEETS EXISTING CONCRETE OR STRUCTURE.
 - CONTROL JOINTS SHALL BE CUT WITH A JOINTER HAVING A RADIUS OF 1/4" AND SPACED @ 5'-0" O.C. MAX. U.N.O.
 - EXPANSION JOINTS SHALL BE SPACED AT 20'-0" O.C. MAX. AND SHALL CONSIST OF A 1/2" PRE-FORMED JOINT FILLER.
 - ANTI-SPALLING COMPOUND SHALL BE APPLIED TO CONCRETE SURFACES.

TYPICAL CONCRETE SIDEWALK
 NOT TO SCALE

ATLAS MEMORY CARE
EAST BETHEL, MINNESOTA
 DETAILS & NOTES

PREPARED FOR:
STONE CONSTRUCTION

SITE PLANNING & ENGINEERING
PLOWE ENGINEERING, INC.
 6776 LAKE DRIVE
 SUITE 110
 LINO LAKES, MN 55014
 PHONE: (651) 361-8210
 FAX: (651) 361-8701

4.1 TERMINATION OF COVERAGE. [MINN. R. 7090]

4.2 PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ALL TERMINATION CONDITIONS LISTED IN SECTION 13 ARE COMPLETE. [MINN. R. 7090]

4.3 PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER SELLING OR OTHERWISE LEGALLY TRANSFERRING THE ENTIRE SITE, INCLUDING PERMIT RESPONSIBILITY FOR ROADS (E.G., STREET SWEEPING) AND STORMWATER INFRASTRUCTURE FINAL CLEAN OUT, OR TRANSFERRING PORTIONS OF A SITE TO ANOTHER PARTY. THE PERMITTEES' COVERAGE UNDER THIS PERMIT TERMINATES AT MIDNIGHT ON THE SUBMISSION DATE OF THE NOT. [MINN. R. 7090]

4.4 PERMITTEES MAY TERMINATE PERMIT COVERAGE PRIOR TO COMPLETION OF ALL CONSTRUCTION ACTIVITY IF THEY MEET ALL OF THE FOLLOWING CONDITIONS:

- A. CONSTRUCTION ACTIVITY HAS CEASED FOR AT LEAST 90 DAYS; AND
- B. AT LEAST 90 PERCENT (BY AREA) OF ALL ORIGINALLY PROPOSED CONSTRUCTION ACTIVITY HAS BEEN COMPLETED AND PERMANENT COVER HAS BEEN ESTABLISHED ON THOSE AREAS; AND
- C. ON AREAS WHERE CONSTRUCTION ACTIVITY IS NOT COMPLETE, PERMANENT COVER HAS BEEN ESTABLISHED; AND
- D. THE SITE COMPLIES WITH ITEM 13.3 THROUGH 13.7.

AFTER PERMIT COVERAGE IS TERMINATED UNDER THIS ITEM, ANY SUBSEQUENT DEVELOPMENT ON THE REMAINING PORTIONS OF THE SITE WILL REQUIRE PERMIT COVERAGE IF THE SUBSEQUENT DEVELOPMENT ITSELF OR AS PART OF THE REMAINING COMMON PLAN OF DEVELOPMENT OR SALE WILL RESULT IN LAND DISTURBING ACTIVITIES OF ONE (1) OR MORE ACRES IN SIZE. [MINN. R. 7090]

4.5 PERMITTEES MAY TERMINATE COVERAGE UPON MPCA APPROVAL AFTER SUBMITTING INFORMATION DOCUMENTING THE OWNER CANCELED THE PROJECT. [MINN. R. 7090]

6.1 SWPPP AMENDMENTS. [MINN. R. 7090]

6.2 ONE OF THE INDIVIDUALS DESCRIBED IN ITEM 21.2.A OR ITEM 21.2.B OR ANOTHER QUALIFIED INDIVIDUAL MUST COMPLETE ALL SWPPP CHANGES. CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS. [MINN. R. 7090]

6.3 PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPs AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER. [MINN. R. 7090]

6.4 PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPs AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER INVESTIGATIONS BY THE SITE OWNER OR OPERATOR, USEPA OR MPCA OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER OR THE DISCHARGES ARE CAUSING WATER QUALITY STANDARD EXCEEDANCES (E.G., NUISANCE CONDITIONS AS DEFINED IN MINN. R. 7050.0210, SUBP. 2) OR THE SWPPP IS NOT CONSISTENT WITH THE OBJECTIVES OF A USEPA APPROVED TMDL. [MINN. R. 7050.0210]

7.1 BMP SELECTION AND INSTALLATION. [MINN. R. 7090]

7.2 PERMITTEES MUST SELECT, INSTALL, AND MAINTAIN THE BMPs IDENTIFIED IN THE SWPPP AND IN THIS PERMIT IN AN APPROPRIATE AND FUNCTIONAL MANNER AND IN ACCORDANCE WITH RELEVANT MANUFACTURER SPECIFICATIONS AND ACCEPTED ENGINEERING PRACTICES. [MINN. R. 7090]

8.1 EROSION PREVENTION PRACTICES. [MINN. R. 7090]

8.2 BEFORE WORK BEGINS, PERMITTEES MUST DELINEATE THE LOCATION OF AREAS NOT TO BE DISTURBED. [MINN. R. 7090]

8.3 PERMITTEES MUST MINIMIZE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT WITH STEEP SLOPES. WHEN STEEP SLOPES MUST BE DISTURBED, PERMITTEES MUST USE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SOLE DRAINING AND TERRACING). [MINN. R. 7090]

8.4 PERMITTEES MUST STABILIZE ALL EXPOSED SOIL AREAS, INCLUDING STOCKPILES. STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHEN CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION IS NOT REQUIRED ON AREAS WITHIN 14 CALENDAR DAYS AFTER CONSTRUCTION ACTIVITY HAS CEASED. STABILIZATION IS NOT REQUIRED ON CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES. STABILIZATION IS NOT REQUIRED ON TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN AGGREGATE STOCKPILES, SAND STOCKPILES, SAND STOCKPILES); BUT PERMITTEES MUST PROVIDE SEDIMENT CONTROL AT THE BASE OF THE STOCKPILE. [MINN. R. 7090]

8.5 FOR PUBLIC WATERS THAT THE MINNESOTA DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPAWNING TIME FRAMES, PERMITTEES MUST COMPLETE STABILIZATION OF ALL EXPOSED SOIL AREAS WITHIN 200 FEET OF THE WATER'S EDGE, AND THAT DRAIN TO THESE WATERS, WITHIN 24 HOURS AFTER THE RESTRICTION PERIOD. [MINN. R. 7090]

8.6 PERMITTEES MUST STABILIZE THE NORMAL WETTED PERIMETER OF THE LAST 200 LINEAR FEET OF TEMPORARY OR PERMANENT DRAINAGE DITCHES OR SWALES THAT DRAIN WATER FROM THE SITE WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE. PERMITTEES MUST COMPLETE STABILIZATION OF REMAINING PORTIONS OF TEMPORARY OR PERMANENT DITCHES OR SWALES WITHIN 14 CALENDAR DAYS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE AND CONSTRUCTION IN THAT PORTION OF THE DITCH TEMPORARILY OR PERMANENTLY CEASES. [MINN. R. 7090]

8.7 TEMPORARY OR PERMANENT DITCHES OR SWALES BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION (WITH PROPERLY DESIGNED ROCK-DITCH CHECKS, BIO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. PERMITTEES MUST STABILIZE THESE AREAS WITHIN 24 HOURS AFTER THEIR USE AS A SEDIMENT CONTAINMENT SYSTEM CEASES. [MINN. R. 7090]

8.8 PERMITTEES MUST NOT USE MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR EROSION PREVENTION PRACTICES WITHIN ANY PORTION OF THE NORMAL WETTED PERIMETER OF A TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE SECTION WITH A CONTINUOUS SLOPE OF GREATER THAN 2 PERCENT. [MINN. R. 7090]

8.9 PERMITTEES MUST PROVIDE TEMPORARY OR PERMANENT ENERGY DISSIPATION AT ALL PIPE OUTLETS WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER OR PERMANENT STORMWATER TREATMENT SYSTEM. [MINN. R. 7090]

8.10 PERMITTEES MUST NOT DISTURB MORE LAND (I.E., PHASING) THAN CAN BE EFFECTIVELY INSPECTED AND MAINTAINED IN ACCORDANCE WITH SECTION 11. [MINN. R. 7090]

9.1 SEDIMENT CONTROL PRACTICES. [MINN. R. 7090]

9.2 PERMITTEES MUST ESTABLISH SEDIMENT CONTROL BMPs ON ALL DOWNGRADIENT PERIMETERS OF THE SITE AND DOWNGRADIENT AREAS WITHIN THE SITE TO ANY SURFACE WATER, INCLUDING DITCHES AND GUTTER SYSTEMS. PERMITTEES MUST LOCATE SEDIMENT CONTROL PRACTICES TO PROTECT THE UPGRADEMENT OF ANY BUFFER ZONES. PERMITTEES MUST INSTALL SEDIMENT CONTROL PRACTICES BEFORE ANY UPGRADEMENT LAND-DISTURBING ACTIVITIES BEGIN AND MUST KEEP THE SEDIMENT CONTROL PRACTICES IN PLACE UNTIL THEY ESTABLISH PERMANENT COVER. [MINN. R. 7090]

9.3 IF DOWNGRADIENT SEDIMENT CONTROLS ARE OVERLOADED, BASED ON FREQUENT FAILURE OR EXCESSIVE MAINTENANCE REQUIREMENTS, PERMITTEES MUST INSTALL ADDITIONAL PERMANENT SEDIMENT CONTROL PRACTICES OR REDUNDANT BMPs TO ELIMINATE THE OVERLOADING AND AMEND THE SWPPP TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN ITEM 6.3. [MINN. R. 7090]

9.4 TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS DESIGNED AS PART OF A SEDIMENT CONTAINMENT SYSTEM (E.G., DITCHES WITH ROCK-CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR THE SITE CONDITIONS. [MINN. R. 7090]

9.5 A FLOATING SILT CURTAIN PLACED IN THE WATER IS NOT A SEDIMENT CONTROL BMP TO SATISFY ITEM 9.2 EXCEPT WHEN WORKING ON A SHORELINE OR BELOW THE WATERLINE. IMMEDIATELY AFTER THE SHORT TERM CONSTRUCTION ACTIVITY (E.G., INSTALLATION OF RIP RAP ALONG THE SHORELINE) IN THAT AREA IS COMPLETE, PERMITTEES MUST INSTALL AN UPLAND PERIMETER CONTROL PRACTICE IF EXPOSED SOILS STILL DRAIN TO A SURFACE WATER. [MINN. R. 7090]

9.6 PERMITTEES MUST RE-INSTALL ALL SEDIMENT CONTROL PRACTICES ADJUSTED OR REMOVED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES, IMMEDIATELY AFTER THE SHORT-TERM ACTIVITY IS COMPLETED. PERMITTEES MUST RE-INSTALL SEDIMENT CONTROL PRACTICES BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE SHORT-TERM ACTIVITY IS NOT COMPLETE. [MINN. R. 7090]

9.7 PERMITTEES MUST PROTECT ALL STORM DRAIN INLETS USING APPROPRIATE BMPs DURING CONSTRUCTION UNTIL THEY ESTABLISH PERMANENT COVER ON ALL AREAS WITH POTENTIAL FOR DISCHARGING TO THE INLET. [MINN. R. 7090]

9.8 PERMITTEES MAY REMOVE INLET PROTECTION FOR A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (E.G. STREET FLOODING/FREEZING) IS IDENTIFIED BY THE PERMITTEES OR THE JURISDICTIONAL AUTHORITY (E.G. CITY/COUNTY/TOWNSHIP/MINNESOTA DEPARTMENT OF TRANSPORTATION ENGINEER). PERMITTEES MUST DOCUMENT THE NEED FOR REMOVAL IN THE SWPPP. [MINN. R. 7090]

9.9 PERMITTEES MUST PROVIDE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AT THE BASE OF STOCKPILES ON THE DOWNGRADIENT PERIMETER. [MINN. R. 7090]

9.10 PERMITTEES MUST LOCATE STOCKPILES OUTSIDE OF NATURAL BUFFERS OR SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER. [MINN. R. 7090]

9.11 PERMITTEES MUST INSTALL A VEHICLE TRACKING BMP TO MINIMIZE THE TRACK OUT OF SEDIMENT FROM THE CONSTRUCTION SITE OR ONTO PAVED ROADS WITHIN THE SITE. [MINN. R. 7090]

9.12 PERMITTEES MUST USE STREET SWEEPING IF VEHICLE TRACKING BMPs ARE NOT ADEQUATE TO PREVENT SEDIMENT TRACKING ONTO THE STREET. [MINN. R. 7090]

9.13 PERMITTEES MUST INSTALL TEMPORARY SEDIMENT BASINS AS REQUIRED IN SECTION 14. [MINN. R. 7090]

9.14 IN ANY AREAS OF THE SITE WHERE FINAL VEGETATIVE STABILIZATION WILL OCCUR, PERMITTEES MUST RESTRICT VEHICLE AND EQUIPMENT USE TO MINIMIZE SOIL COMPACTION. [MINN. R. 7090]

9.15 PERMITTEES MUST PRESERVE TOPSOIL ON THE SITE, UNLESS INFEASIBLE. [MINN. R. 7090]

9.16 PERMITTEES MUST DIRECT DISCHARGES FROM BMPs TO VEGETATED AREAS UNLESS INFEASIBLE. [MINN. R. 7090]

9.17 PERMITTEES MUST PRESERVE A FOOT NATURAL BUFFER OR, IF A BUFFER IS INFEASIBLE ON THE SITE, PROVIDE REDUNDANT (DOUBLE) PERIMETER SEDIMENT CONTROLS WHEN A SURFACE WATER IS LOCATED WITHIN 50 FEET OF THE PROJECT'S EARTH DISTURBANCES AND STORMWATER FLOWS TO THE SURFACE WATER. PERMITTEES MUST INSTALL PERIMETER SEDIMENT CONTROLS AT LEAST 5 FEET APART UNLESS LIMITED BY LACK OF AVAILABLE SPACE. NATURAL BUFFERS ARE NOT REQUIRED FOR DRAINAGE DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS. IF PRESERVING THE BUFFER IS INFEASIBLE, PERMITTEES MUST DOCUMENT THE REASONS IN THE SWPPP. SHEET PILING IS A REDUNDANT PERIMETER CONTROL IF INSTALLED IN A MANNER THAT RETAINS ALL STORMWATER. [MINN. R. 7090]

9.18 PERMITTEES MUST USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR SUPPLIER. THE PERMITTEES MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION AND MUST DIRECT TREATED STORMWATER TO A SEDIMENT CONTROL SYSTEM FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE. [MINN. R. 7090]

10.1 DEWATERING AND BASIN DRAINING. [MINN. R. 7090]

10.2 PERMITTEES MUST DISCHARGE TURBID OR SEDIMENT-LOADED WATERS RELATED TO DEWATERING OR BASIN DRAINING COMPLETE. [MINN. R. 7090]

10.3 PERMITTEES MUST DISCHARGE TURBID OR SEDIMENT-LOADED WATERS TO A TEMPORARY OR PERMANENT SEDIMENT BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. PERMITTEES MAY DEWATER TO SURFACE WATERS IF THEY VISUALLY CHECK TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED AND NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF PERMITTEES CANNOT DISCHARGE THE WATER TO A SEDIMENTATION BASIN PRIOR TO ENTERING A SURFACE WATER, PERMITTEES MUST TREAT IT WITH APPROPRIATE BMPs SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE SURFACE WATER OR DOWNSTREAM PROPERTIES. [MINN. R. 7050.0210]

10.3.F PERMITTEES MUST DISCHARGE WATER CONTAINING OIL OR GREASE, THEY MUST USE AN OIL-WATER SEPARATOR OR SUITABLE FILTRATION DEVICE (E.G., CARTRIDGE FILTERS, ABSORBENTS PADS) PRIOR TO DISCHARGE. [MINN. R. 7090]

10.4 PERMITTEES MUST DISCHARGE ALL WATER FROM DEWATERING OR BASIN-DRAINING ACTIVITIES IN A MANNER THAT DOES NOT CAUSE EROSION OR SCOUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS OR INUNDATION OF WETLANDS IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS THAT CAUSES SIGNIFICANT ADVERSE IMPACT TO THE WETLAND. [MINN. R. 7090]

10.5 IF PERMITTEES USE FILTERS WITH BACKWASH WATER, THEY MUST Haul THE BACKWASH WATER AWAY FOR DISPOSAL, RETURN THE BACKWASH WATER TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE THE BACKWASH WATER INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION. [MINN. R. 7090]

11.1 INSPECTIONS AND MAINTENANCE. [MINN. R. 7090]

11.2 PERMITTEES MUST ENSURE A TRAINED PERSON, AS IDENTIFIED IN ITEM 21.2.B, WILL INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 1/2 INCH IN 24 HOURS. [MINN. R. 7090]

11.3 PERMITTEES MUST INSPECT AND MAINTAIN ALL PERMANENT STORMWATER TREATMENT BMPs. [MINN. R. 7090]

11.4 PERMITTEES MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs AND POLLUTION PREVENTION MANAGEMENT MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL NONFUNCTIONAL BMPs WITH FUNCTIONAL BMPs BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY UNLESS ANOTHER ACTION IS TAKEN TO CORRECT THE DEFECTS WITHIN 15 OR 11.6. PERMITTEES MAY TAKE ADDITIONAL TIME IF FIELD CONDITIONS PREVENT ACCESS TO THE AREA. [MINN. R. 7090]

11.5 DURING EACH INSPECTION, PERMITTEES MUST INSPECT SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS BUT NOT CURB AND GUTTER SYSTEMS, FOR EVIDENCE OF EROSION AND SEDIMENT DEPOSITION. PERMITTEES MUST REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND DITCH BASINS, AND OTHER DEPOSITIONS. PERMITTEES MUST REMOVE REFINES IN EXPOSED SOIL. PERMITTEES MUST COMPLETE REMOVAL AND STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. PERMITTEES MUST USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECLUDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF OBTAINING ACCESS. PERMITTEES ARE RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK IN SURFACE WATERS. [MINN. R. 7090]

11.6 PERMITTEES MUST INSPECT CONSTRUCTION SITE VEHICLE EXIT LOCATIONS, STREETS AND CURB AND GUTTER SYSTEMS WITHIN AND ADJACENT TO THE PROJECT OR SEDIMENTATION FROM EROSION OR TRACKED SEDIMENT FROM VEHICLES. PERMITTEES MUST REMOVE SEDIMENT FROM ALL PAVED SURFACES WITHIN ONE (1) CALENDAR DAY OF DISCOVERY OR, IF APPLICABLE, WITHIN A SHORTER TIME TO AVOID A SAFETY HAZARD TO USERS OF PUBLIC STREETS. [MINN. R. 7090]

11.7 PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL PERIMETER CONTROL DEVICES WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT IS 1/2 OF THE HEIGHT OF THE DEVICE. [MINN. R. 7090]

11.8 PERMITTEES MUST DRAIN TEMPORARY AND PERMANENT SEDIMENTATION BASINS AND REMOVE THE SEDIMENT WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME. [MINN. R. 7090]

11.9 PERMITTEES MUST ENSURE THAT AT LEAST ONE INDIVIDUAL PRESENT ON THE SITE (OR AVAILABLE TO THE PROJECT SITE IN THREE (3) CALENDAR DAYS) IS TRAINED IN THE JOB DUTIES DESCRIBED IN ITEM 21.2.B. [MINN. R. 7090]

11.10 PERMITTEES MAY ADJUST THE INSPECTION SCHEDULE DESCRIBED IN ITEM 11.2 AS FOLLOWS:

- A. INSPECTIONS OF AREAS WITH PERMANENT COVER CAN BE REDUCED TO ONCE PER MONTH, EVEN IF CONSTRUCTION ACTIVITY CONTINUES ON OTHER PORTIONS OF THE SITE; OR
- B. WHERE SITES HAVE PERMANENT COVER ON ALL EXPOSED SOIL AND NO CONSTRUCTION ACTIVITY IS OCCURRING ANYWHERE ON THE SITE, INSPECTIONS CAN BE REDUCED TO ONCE PER MONTH AND, AFTER 12 MONTHS, MAY BE SCHEDULED COMPLETELY UNTIL CONSTRUCTION ACTIVITY RESUMES. THE MPCA MAY REQUIRE INSPECTIONS TO RESUME IF CONDITIONS WARRANT; OR
- C. WHERE CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED DUE TO FROZEN GROUND CONDITIONS, INSPECTIONS MAY BE SUSPENDED. INSPECTIONS MUST RESUME WITHIN 24 HOURS OF RUNOFF OCCURRING, OR UPON RESUMING CONSTRUCTION, WHICHEVER COMES FIRST. [MINN. R. 7090]

11.11 PERMITTEES MUST RECORD ALL INSPECTIONS AND MAINTENANCE ACTIVITIES WITHIN 24 HOURS OF BEING CONDUCTED AND THESE RECORDS MUST BE RETAINED WITH THE SWPPP. THESE RECORDS MUST INCLUDE:

- A. DATE AND TIME OF INSPECTIONS; AND
- B. NAME OF PERSONS CONDUCTING INSPECTIONS; AND
- C. ACCURATE FINDINGS OF INSPECTIONS, INCLUDING THE SPECIFIC LOCATION WHERE CORRECTIVE ACTIONS ARE NEEDED; AND
- D. CORRECTIVE ACTIONS TAKEN (INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES); AND
- E. DATE OF ALL RAINFALL EVENTS GREATER THAN 1/2 INCHES IN 24 HOURS, AND THE AMOUNT OF RAINFALL FOR EACH EVENT. PERMITTEES MUST OBTAIN RAINFALL AMOUNTS BY EITHER A PROPERLY MAINTAINED RAIN GAUGE INSTALLED ONSITE, A WEATHER STATION THAT IS WITHIN ONE (1) MILE OF YOUR LOCATION, OR A WEATHER REPORTING SYSTEM THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM RADAR SUMMARIES; AND
- F. IF PERMITTEES OBSERVE A DISCHARGE DURING THE INSPECTION, THEY MUST RECORD AND SHOULD PHOTOGRAPH AND DESCRIBE THE LOCATION OF THE DISCHARGE (I.E., COLOR, ODOR, SETTLED OR SUSPENDED SOLIDS, OIL SHEEN, AND OTHER OBVIOUS INDICATORS OF POLLUTANTS); AND
- G. ANY AMENDMENTS TO THE SWPPP PROPOSED AS A RESULT OF THE INSPECTION MUST BE DOCUMENTED AS REQUIRED IN SECTION 6 WITHIN SEVEN (7) CALENDAR DAYS. [MINN. R. 7090]

12.1 POLLUTION PREVENTION PRACTICES. [MINN. R. 7090]

12.2 PERMITTEES MUST SEVEN BUILDING PRODUCTS AND LANDSCAPE MATERIALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. PERMITTEES ARE NOT REQUIRED TO COVER OR PROTECT PRODUCTS WHICH ARE EITHER NOT A SOURCE OF CONTAMINATION TO STORMWATER OR ARE DESIGNED TO BE EXPOSED TO STORMWATER. [MINN. R. 7090]

12.3 PERMITTEES MUST PLACE PESTICIDES, FERTILIZERS AND TREATMENT CHEMICALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. [MINN. R. 7090]

12.4 PERMITTEES MUST STORE HAZARDOUS MATERIALS AND TOXIC WASTE, INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE. [MINN. R. 7090]

12.5 PERMITTEES MUST PROPERLY STORE, COLLECT AND DISPOSE SOLID WASTE IN COMPLIANCE WITH MINN. R. CH. 7035. [MINN. R. 7035]

12.6 PERMITTEES MUST POSITION PORTABLE TOILETS SO THEY ARE SECURE AND WILL NOT TIP OR BE KNOCKED OVER. PERMITTEES MUST PROPERLY DISPOSE SANITARY WASTE IN ACCORDANCE WITH MINN. R. CH. 7041. [MINN. R. 7041]

12.7 PERMITTEES MUST TAKE REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICAL OR FUEL WILL BE LOADED OR UNLOADED INCLUDING THE USE OF DRIP PANS OR ABSORBENTS UNLESS INFEASIBLE. PERMITTEES MUST ENSURE ADEQUATE SUPPLIES ARE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD IS AVAILABLE FOR RECOVERED SPILLED MATERIALS. PERMITTEES MUST REPORT AND CLEAN UP SPILLS IMMEDIATELY AS REQUIRED BY MINN. STAT. 115.061, USING DRY CLEAN UP MEASURES WHERE POSSIBLE. [MINN. STAT. 115.061]

12.8 PERMITTEES MUST LIMIT VEHICLE EXTERIOR WASHING AND EQUIPMENT TO A DEFINED AREA OF THE SITE. PERMITTEES MUST CONTAIN RUNOFF FROM THE WASHING AREA IN A SEDIMENT BASIN OR OTHER SIMILARLY EFFECTIVE CONTROLS AND MUST DISPOSE WATER FROM THE WASHING ACTIVITY PROPERLY. PERMITTEES MUST PROPERLY USE AND STORE SOAPS, DETERGENTS, OR SOLVENTS. [MINN. R. 7090]

12.9 PERMITTEES MUST PROVIDE EFFECTIVE CONTAMINATION FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (E.G., CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS) RELATED TO THE CONSTRUCTION ACTIVITY. PERMITTEES MUST PREVENT LIQUID AND SOLID WASHOUT WASTES FROM CONTACTING THE GROUND AND MUST DESIGN THE CONTAINMENT SO IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. PERMITTEES MUST PROPERLY DISPOSE LIQUID AND SOLID WASTES IN COMPLIANCE WITH MPCA RULES. PERMITTEES MUST INSTALL A SIGN INDICATING THE LOCATION OF THE WASHOUT FACILITY. [MINN. R. 7035, MINN. R. 7090]

13.1 PERMIT TERMINATION CONDITIONS. [MINN. R. 7090]

13.2 PERMITTEES MUST COMPLETE ALL CONSTRUCTION ACTIVITY AND MUST INSTALL PERMANENT COVER OVER ALL AREAS PRIOR TO SUBMITTING THE NOT. VEGETATIVE COVER MUST CONSIST OF A UNIFORM PERENNIAL VEGETATION WITH A DENSITY OF 70 PERCENT OF ITS EXPECTED FINAL GROWTH. VEGETATION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES NO VEGETATION, SUCH AS IMPERVIOUS SURFACES OR THE BASE OF A SAND FILTER. [MINN. R. 7090]

13.3 PERMITTEES MUST CLEAN THE PERMANENT STORMWATER TREATMENT SYSTEM OF ANY ACCUMULATED SEDIMENT AND MUST ENSURE THE SYSTEM MEETS ALL APPLICABLE REQUIREMENTS IN SECTION 15 THROUGH 19 AND IS OPERATING AS DESIGNED. [MINN. R. 7090]

13.4 PERMITTEES MUST REMOVE ALL SEDIMENT FROM CONVEYANCE SYSTEMS PRIOR TO SUBMITTING THE NOT. [MINN. R. 7090]

13.5 PERMITTEES MUST REMOVE ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMPs PRIOR TO SUBMITTING THE NOT AND MUST TAKE STEPS TO DECOMPOSE ON-SITE IN PLACE. [MINN. R. 7090]

13.6 FOR RESIDENTIAL CONSTRUCTION ONLY, PERMIT COVERAGE TERMINATES ON INDIVIDUAL LOTS IF THE STRUCTURES ARE FINISHED AND TEMPORARY EROSION PREVENTION AND DOWNGRADIENT PERIMETER CONTROL IS COMPLETE, THE RESIDENCE SELLS TO THE HOMEOWNER, AND THE PERMITTEE DISTRIBUTES THE MPCA'S "HOMEOWNER FACT SHEET" TO THE HOMEOWNER. [MINN. R. 7090]

13.7 FOR CONSTRUCTION PROJECTS ON AGRICULTURAL LAND (E.G., PIPELINES ACROSS CROPLAND), PERMITTEES MUST RETURN THE DISTURBED LAND TO ITS PRECONSTRUCTION AGRICULTURAL USE PRIOR TO SUBMITTING THE NOT. [MINN. R. 7090]

14.1 TEMPORARY SEDIMENT BASINS. [MINN. R. 7090]

14.2 WHERE TEN (10) OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION, PERMITTEES MUST PROVIDE A TEMPORARY SEDIMENT BASIN TO PROVIDE TREATMENT OF THE RUNOFF BEFORE IT LEAVES THE CONSTRUCTION SITE OR ENTERS SURFACE WATERS. PERMITTEES MAY CONVERT A TEMPORARY SEDIMENT BASIN TO A PERMANENT BASIN AFTER CONSTRUCTION IS COMPLETE. THE TEMPORARY BASIN IS NO LONGER REQUIRED WHEN PERMANENT COVER HAS REDUCED THE ACREAGE OF DISTURBED SOIL TO LESS THAN TEN (10) ACRES DRAINING TO A COMMON LOCATION. [MINN. R. 7090]

14.3 THE TEMPORARY BASIN MUST PROVIDE LIVE STORAGE FOR A CALCULATED VOLUME OF RUNOFF FROM A TWO (2)-YEAR, 24-HOUR STORM FROM EACH ACRE DRAINING TO THE BASIN OR 1,800 CUBIC FEET OF LIVE STORAGE PER ACRE DRAINING, WHICHEVER IS GREATER. [MINN. R. 7090]

14.4 WHERE PERMITTEES HAVE NOT CALCULATED THE TWO (2)-YEAR, 24-HOUR STORM RUNOFF AMOUNT, THE TEMPORARY BASIN MUST PROVIDE 3,600 CUBIC FEET OF LIVE STORAGE PER ACRE OF THE BASIN'S DRAINAGE AREA. [MINN. R. 7090]

14.5 PERMITTEES MUST DESIGN BASIN OUTLETS TO PREVENT SHORT-CIRCUITING AND THE DISCHARGE OF FLOATING DEBRIS. [MINN. R. 7090]

14.6 PERMITTEES MUST DESIGN THE OUTLET STRUCTURE TO WITHDRAW WATER FROM THE SURFACE TO MINIMIZE THE DISCHARGE OF POLLUTANTS. PERMITTEES MAY TEMPORARILY SUSPEND THE USE OF A SURFACE WITHDRAWAL MECHANISM DURING FROZEN CONDITIONS. THE BASIN MUST INCLUDE A STABILIZED EMERGENCY OVERTFLOW TO PREVENT FAILURE OF POND INTEGRITY. [MINN. R. 7090]

14.7 PERMITTEES MUST PROVIDE ENERGY DISSIPATION FOR THE BASIN OUTLET WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER. [MINN. R. 7090]

14.8 PERMITTEES MUST LOCATE TEMPORARY BASINS OUTSIDE OF SURFACE WATERS AND ANY BUFFER ZONE REQUIRED IN ITEM 23.11. [MINN. R. 7090]

14.9 PERMITTEES MUST CONSTRUCT THE TEMPORARY BASINS PRIOR TO DISTURBING 10 OR MORE ACRES OF SOIL DRAINING TO A COMMON LOCATION. [MINN. R. 7090]

14.10 WHERE A TEMPORARY SEDIMENT BASIN MEETING THE REQUIREMENTS OF ITEM 14.3 THROUGH 14.9 IS INFEASIBLE, PERMITTEES MUST INSTALL EFFECTIVE SEDIMENT CONTROLS SUCH AS SMALLER SEDIMENT BASINS AND/OR SEDIMENT TRAPS, SILT FENCES, VEGETATIVE BUFFER STRIPS OR ANY APPROPRIATE COMBINATION OF MEASURES AS DICTATED BY INDIVIDUAL SITE CONDITIONS. IN DETERMINING WHETHER INSTALLING A SEDIMENT BASIN IS INFEASIBLE, PERMITTEES MUST CONSIDER PUBLIC SAFETY AND MAY CONSIDER FACTORS SUCH AS SITE SLOPS, SLOPE, AND AVAILABLE AREA ON-SITE. PERMITTEES MUST DOCUMENT THIS DETERMINATION OF INFEASIBILITY IN THE SWPPP. [MINN. R. 7090]

15.1 PERMANENT STORMWATER TREATMENT SYSTEM. [MINN. R. 7090]

15.2 PERMITTEES MUST DESIGN THE PROJECT SO ALL STORMWATER DISCHARGED FROM THE PROJECT DURING AND AFTER CONSTRUCTION ACTIVITIES DOES NOT CAUSE A VIOLATION OF STATE WATER QUALITY STANDARDS, INCLUDING NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS OR ON DOWNSLOPE PROPERTIES, OR A SIGNIFICANT ADVERSE IMPACT TO WETLANDS CAUSED BY INUNDATION OR DECREASE OF FLOW. [MINN. R. 7090]

15.3 PERMITTEES MUST DESIGN AND CONSTRUCT A PERMANENT STORMWATER TREATMENT SYSTEM TO TREAT THE WATER QUALITY VOLUME IF THE PROJECT'S ULTIMATE DEVELOPMENT REPLACES VEGETATION AND/OR OTHER PERVIOUS SURFACES CREATING A NET INCREASE OF ONE (1) OR MORE ACRES OF CUMULATIVE IMPERVIOUS SURFACE. [MINN. R. 7090]

15.4 PERMITTEES MUST CALCULATE THE WATER QUALITY VOLUME AS ONE (1) INCH TIMES THE NET INCREASE OF IMPERVIOUS SURFACES CREATED BY THE PROJECT. [MINN. R. 7090]

15.5 PERMITTEES MUST FIRST CONSIDER VOLUME REDUCTION PRACTICES ON-SITE (E.G., INFILTRATION OR OTHER) WHEN DESIGNING THE PERMANENT STORMWATER TREATMENT SYSTEM. IF PERMITTEES PROHIBIT INFILTRATION AS DESCRIBED IN ITEM 16.14 THROUGH ITEM 16.21, PERMITTEES MUST CONSIDER A WET SEDIMENTATION BASIN OR REGIONAL POND. THIS PERMIT DOES NOT CONSIDER WET SEDIMENTATION BASINS AND FILTRATION SYSTEMS TO BE VOLUME REDUCTION PRACTICES. [MINN. R. 7090]

15.6 FOR PROJECTS WHERE THE FULL VOLUME REDUCTION REQUIREMENT CANNOT BE MET ON-SITE, (E.G., THE SITE HAS IMPERVIOUS PROHIBITIONS), PERMITTEES MUST DOCUMENT THE REASONS IN THE SWPPP. [MINN. R. 7090]

15.7 PERMITTEES MUST DISCHARGE THE WATER QUALITY VOLUME TO A PERMANENT STORMWATER TREATMENT SYSTEM PRIOR TO DISCHARGE TO A SURFACE WATER. FOR PURPOSES OF THIS ITEM, SURFACE WATERS DO NOT INCLUDE MAN-MADE DRAINAGE SYSTEMS THAT CONVEY STORMWATER TO A PERMANENT STORMWATER TREATMENT SYSTEM. [MINN. R. 7090]

15.8 WHERE THE PROXIMITY TO BEDROCK PRECLUDES THE INSTALLATION OF ANY OF THE PERMANENT STORMWATER TREATMENT PRACTICES REQUIRED BY SECTIONS 15 THROUGH 19, PERMITTEES MUST INSTALL OTHER TREATMENT SUCH AS GRASSES AND SWALES, WATER FILTER PONDS, OR GRIT CHAMBERS, PRIOR TO THE DISCHARGE OF STORMWATER TO SURFACE WATERS. [MINN. R. 7090]

15.9 FOR LINEAR PROJECTS WHERE PERMITTEES CANNOT TREAT THE ENTIRE WATER QUALITY VOLUME WITHIN THE EXISTING RIGHT-OF-WAY, PERMITTEES MUST MAKE A REASONABLE ATTEMPT TO OBTAIN ADDITIONAL RIGHT-OF-WAY, EASEMENT OR OTHER PERMISSION FOR STORMWATER TREATMENT DURING THE PROJECT PLANNING PROCESS. IF DOCUMENTATION OF ADDITIONAL RIGHTS OF WAY IS NOT OBTAINABLE, PERMITTEES MUST STILL CONSIDER VOLUME REDUCTION PRACTICES FIRST AS DESCRIBED IN ITEM 15.5. IF PERMITTEES CANNOT OBTAIN ADDITIONAL RIGHT-OF-WAY, EASEMENT OR OTHER PERMISSION, THEY MUST MAXIMIZE THE TREATMENT OF THE WATER QUALITY VOLUME PRIOR TO DISCHARGE TO SURFACE WATERS. [MINN. R. 7090]

16.1 INFILTRATION SYSTEMS. [MINN. R. 7090]

16.2 INFILTRATION OPTIONS INCLUDE, BUT ARE NOT LIMITED TO: INFILTRATION BASINS, INFILTRATION TRENCHES, RAINWATER GARDENS, BIORETENTION AREAS WITHOUT UNDERDRAINS, SWALES WITH IMPERMEABLE CHECK DAMS, AND NATURAL DEPRESSIONS. IF PERMITTEES UTILIZE AN INFILTRATION SYSTEM TO MEET THE REQUIREMENTS OF THIS PERMIT, THEY MUST INCORPORATE THE FOLLOWING DESIGN REQUIREMENTS:

- 16.1 PERMITTEES MUST DESIGN INFILTRATION SYSTEMS TO MEET THE REQUIREMENTS OF THIS PERMIT, INCLUDING THE INFILTRATION PROHIBITION IN ITEM 16.14 ANYTIME AN INFILTRATION SYSTEM IS DESIGNED, INCLUDING THOSE NOT REQUIRED BY THIS PERMIT. [MINN. R. 7090]
- 16.3 PERMITTEES MUST DESIGN INFILTRATION SYSTEMS SUCH THAT PRE-EXISTING HYDROLOGIC CONDITIONS OF WETLANDS IN THE VICINITY ARE NOT IMPACTED (E.G., INUNDATION OR BREACHING A PERCHED WATER TABLE SUPPORTING A WETLAND). [MINN. R. 7090]
- 16.4 PERMITTEES MUST NOT EXCAVATE INFILTRATION SYSTEMS TO FINAL GRADE, OR WITHIN THREE (3) FEET OF FINAL GRADE, UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED UNLESS THEY PROVIDE RIGOROUS EROSION PREVENTION AND SEDIMENT CONTROLS (E.G., DIVERSION BERMS) TO KEEP SEDIMENT AND RUNOFF COMPLETELY AWAY FROM THE INFILTRATION AREA. [MINN. R. 7090]
- 16.5 WHEN EXCAVATING AN INFILTRATION SYSTEM TO WITHIN THREE (3) FEET OF FINAL GRADE, PERMITTEES MUST STAKE OFF AND MARK THE AREA SO HEAVY CONSTRUCTION VEHICLES OR EQUIPMENT DO NOT COMPACT THE SOIL IN THE INFILTRATION AREA. [MINN. R. 7090]
- 16.6 PERMITTEES MUST USE A PRETREATMENT DEVICE SUCH AS A VEGETATED FILTER STRIP, FOREBAY, OR WATER QUALITY INLET (E.G., GRIT CHAMBER) TO REMOVE SOLIDS, FLOATING MATERIALS, AND OIL AND GREASE FROM THE RUNOFF, TO THE MAXIMUM EXTENT PRACTICABLE, BEFORE THE SYSTEM ROUTES STORMWATER TO THE INFILTRATION SYSTEM. [MINN. R. 7090]
- 16.7 PERMITTEES MUST DESIGN INFILTRATION SYSTEMS TO PROVIDE A WATER QUALITY VOLUME (CALCULATED AS AN INSTANTANEOUS VOLUME) OF ONE (1) INCH OF RUNOFF, OR ONE (1) INCH MINUS THE VOLUME OF STORMWATER TREATED BY ANOTHER SYSTEM ON THE SITE, FROM THE NET INCREASE OF IMPERVIOUS SURFACES CREATED BY THE PROJECT. [MINN. R. 7090]
- 16.8 PERMITTEES MUST DESIGN THE INFILTRATION SYSTEM TO DISCHARGE ALL STORMWATER (INCLUDING STORMWATER IN EXCESS OF THE WATER QUALITY VOLUME) ROUTED TO THE SYSTEM THROUGH THE UPPERMOST SOIL SURFACE OR ENGINEERED MEDIA SURFACE WITHIN 48 HOURS. PERMITTEES MUST ROUTE ADDITIONAL FLOWS THAT CANNOT INFILTRATE WITHIN 48 HOURS TO BYPASS THE SYSTEM THROUGH A STABILIZED DISCHARGE POINT. [MINN. R. 7090]
- 16.9 PERMITTEES MUST PROVIDE A MEANS TO VISUALLY VERIFY THE INFILTRATION SYSTEM IS DISCHARGING THROUGH THE SOIL SURFACE OR FILTER MEDIA SURFACE WITHIN 48 HOURS OR LESS. [MINN. R. 7090]
- 16.10 PERMITTEES MUST PROVIDE AT LEAST ONE SOIL BORING, TEST PIT OR INFILTRATION TEST IN THE LOCATION OF THE INFILTRATION SYSTEM PRACTICE FOR DETERMINING INFILTRATION RATES. [MINN. R. 7090]
- 16.11 FOR DESIGN PURPOSES, PERMITTEES MUST DIVIDE FIELD MEASURED INFILTRATION RATES BY 2 AS A SAFETY FACTOR OR PERMITTEES CAN USE SOIL-BORING RESULTS WITH THE INFILTRATION RATE CHART IN THE MINNESOTA STORMWATER MANUAL TO DETERMINE DESIGN INFILTRATION RATES. WHEN SOIL BORINGS INDICATE TYPE A SOILS, PERMITTEES SHOULD PERFORM FIELD INFILTRATION TESTS TO DETERMINE INFILTRATION RATES. IF THE FIELD MEASURED INFILTRATION RATE IS ABOVE 8.3 INCHES PER HOUR, THIS PERMIT PROHIBITS INFILTRATION IF THE FIELD MEASURED INFILTRATION RATE IS ABOVE 8.3 INCHES PER HOUR. [MINN. R. 7090]
- 16.12 PERMITTEES MUST EMPLOY APPROPRIATE ON-SITE TESTING ENSURE A MINIMUM OF THREE (3) FEET OF SEPARATION FROM THE SEASONALLY SATURATED SOILS (OR FROM BEDROCK) AND THE BOTTOM OF THE PROPOSED INFILTRATION SYSTEM. [MINN. R. 7090]
- 16.13 PERMITTEES MUST DESIGN A MAINTENANCE ACCESS, TYPICALLY EIGHT (8) FEET WIDE, FOR THE INFILTRATION SYSTEM. [MINN. R. 7090]
- 16.14 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS THAT RECEIVE RUNOFF FROM VEHICLE FUELINGS AND MAINTENANCE AREAS INCLUDING CONSTRUCTION OF INFILTRATION SYSTEMS NOT REQUIRED BY THIS PERMIT. [MINN. R. 7090]
- 16.15 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS WHERE INFILTRATING STORMWATER MAY MOBILIZE HIGH LEVELS OF CONTAMINANTS IN SOIL OR GROUNDWATER. PERMITTEES MUST EITHER COMPLETE THE FIELD SCREENING CHECKLIST OR CONDUCT THEIR OWN SCREENING TO DETERMINE THE SUITABILITY FOR INFILTRATION. PERMITTEES MUST RETAIN THE CHECKLIST OR SCREENING WITH THE SWPPP. FOR MORE INFORMATION AND TO ACCESS THE MPCA'S "CONTAMINATION SCREENING CHECKLIST" SEE THE MINNESOTA STORMWATER MANUAL. [MINN. R. 7090]
- 16.16 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS IN AREAS WHERE SOIL INFILTRATION RATES ARE FIELD MEASURED AT MORE THAN 8.3 INCHES PER HOUR UNLESS THEY AMEND SOILS TO SLOW THE INFILTRATION RATE BELOW 8.3 INCHES PER HOUR. [MINN. R. 7090]
- 16.17 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS IN AREAS WITH LESS THAN THREE (3) FEET OF SEPARATION DISTANCE FROM THE BOTTOM OF THE INFILTRATION SYSTEM TO THE ELEVATION OF THE SEASONALLY SATURATED SOILS OR THE TOP OF BEDROCK. [MINN. R. 7090]
- 16.18 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS IN AREAS OF PREDOMINANTLY HYDROLOGIC GROUP TYPE D SOILS. (CLAY). [MINN. R. 7090]
- 16.19 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS WITHIN A DRINKING WATER SUPPLY MANAGEMENT AREA (DWSMA) AS DEFINED IN MINN. R. 4720.5100, SUBP. 13. IF THE SYSTEM WILL BE LOCATED:
 - A. IN AN EMERGENCY RESPONSE AREA (ERA) WITHIN A DWSMA CLASSIFIED AS HAVING HIGH OR VERY HIGH VULNERABILITY AS DEFINED BY THE MINNESOTA DEPARTMENT OF HEALTH; OR
 - B. IN AN ERA WITHIN A DWSMA CLASSIFIED AS MODERATE VULNERABILITY UNLESS A REGULATED MSA PERMITTEE PERFORMED OR APPROVED A HIGHER LEVEL OF ENGINEERING REVIEW SUFFICIENT TO PROVIDE A FUNCTIONING TREATMENT SYSTEM AND TO PREVENT ADVERSE IMPACTS TO GROUNDWATER; OR
 - C. OUTSIDE OF AN ERA WITHIN A DWSMA CLASSIFIED AS HAVING HIGH OR VERY HIGH VULNERABILITY, UNLESS A REGULATED MSA PERMITTEE PERFORMED OR APPROVED A HIGHER LEVEL OF ENGINEERING REVIEW SUFFICIENT TO PROVIDE A FUNCTIONING TREATMENT SYSTEM AND TO PREVENT ADVERSE IMPACTS TO GROUNDWATER.

SEE "HIGHER LEVEL OF ENGINEERING REVIEW" IN THE MINNESOTA STORMWATER MANUAL FOR MORE INFORMATION. [MINN. R. 7090]

16.20 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS IN AREAS WITHIN 1,000 FEET UPGRADEMENT OR 100 FEET DOWNGRADIENT OF ACTIVE KARST FEATURES. [MINN. R. 7090]

16.21 THIS PERMIT PROHIBITS PERMITTEES FROM CONSTRUCTING INFILTRATION SYSTEMS IN AREAS THAT RECEIVE RUNOFF FROM THE FOLLOWING INDUSTRIAL FACILITIES NOT AUTHORIZED TO INFILTRATE STORMWATER UNDER THE NPDES STORMWATER PERMIT FOR INDUSTRIAL ACTIVITIES: AUTOMOBILE SALVAGE YARDS; SCRAP RECYCLING AND WASTE RECYCLING FACILITIES; HAZARDOUS WASTE TREATMENT, STORAGE, OR DISPOSAL FACILITIES; OR AIR TRANSPORTATION FACILITIES THAT CONDUCT DEICING ACTIVITIES. [MINN. R. 7090]

17.1 FILTRATION SYSTEMS. [MINN. R. 7090]

17.2 FILTRATION OPTIONS INCLUDE, BUT ARE NOT LIMITED TO: SAND FILTERS WITH UNDERDRAINS, BIOFILTRATION AREAS, SWALES USING UNDERDRAINS WITH IMPERMEABLE CHECK DAMS AND UNDERGROUND SAND FILTERS. IF PERMITTEES UTILIZE A FILTRATION SYSTEM TO MEET THE PERMANENT STORMWATER TREATMENT REQUIREMENTS OF THIS PERMIT, THEY MUST COMPLY WITH ITEMS 17.3 THROUGH 17.11. [MINN. R. 7090]

17.3 PERMITTEES MUST NOT INSTALL FILTER MEDIA UNTIL THEY CONSTRUCT AND FULLY STABILIZE THE CONTRIBUTING DRAINAGE AREA UNLESS THEY PROVIDE RIGOROUS EROSION PREVENTION AND SEDIMENT CONTROLS (E.G., DIVERSION BERMS) TO KEEP SEDIMENT AND RUNOFF COMPLETELY AWAY FROM THE FILTRATION AREA. [MINN. R. 7090]

17.4 PERMITTEES MUST DESIGN FILTRATION SYSTEMS TO REMOVE AT LEAST 80 PERCENT OF TSS. [MINN. R. 7090]

17.5 PERMITTEES MUST USE A PRETREATMENT DEVICE SUCH AS A VEGETATED FILTER STRIP, SMALL SEDIMENTATION BASIN, WATER QUALITY INLET, FOREBAY OR HYDRODYNAMIC SEPARATOR TO REMOVE SETTLEABLE SOLIDS, FLOATING MATERIALS, AND OILS AND GREASE FROM THE RUNOFF, TO THE MAXIMUM EXTENT PRACTICABLE, BEFORE RUNOFF ENTERS THE FILTRATION SYSTEM

PROJECT TITLE

ATLAS MEMORY CARE

PROJECT LOCATION

ANOKA COUNTY
PID: 32-33-23-24-0015
LATITUDE: 45.306
LONGITUDE: -93.236

DEVELOPER

TBD

GENERAL CONTRACTOR

STONE CONSTRUCTION, INC.
2181 107TH LANE NE
BLAINE, MN 55449
CONTACT NAME: PAUL STONE
CONTACT PHONE: 763-784-1990
CONTACT E-MAIL: PAUL.S@STONECONSTRUCTIONINC.COM

NARRATIVE - PERMANENT STORMWATER TREATMENT SYSTEMS

PERMANENT STORMWATER MANAGEMENT FEATURES TWO RATE CONTROL BASINS.

SITE IMPERVIOUS AREAS

Table with 3 columns: BEFORE CONSTRUCTION, AFTER CONSTRUCTION, and IMPERVIOUS AREAS. Rows include TOTAL SITE AREA, TOTAL ESTIMATED IMPERVIOUS, and TOTAL ESTIMATED PERVIOUS.

TOTAL DISTURBED AREA

-4.47 ACRES

SITE MAP W/ EXISTING AND FINAL GRADES AND DESIGN CALCULATIONS

SEE "STORMWATER DRAINAGE REPORT" FOR EXISTING AND PROPOSED AREA MAPS, DENOTING DRAINAGE AREA BOUNDARIES, DIRECTIONS OF FLOW, AND DISCHARGE POINTS WHERE STORMWATER LEAVES THE SITE.

RECEIVING WATERS WITHIN ONE MILE

Table with 4 columns: NAME OF WATER BODY, TYPE OF WATER BODY, SPECIAL WATER, and IMPAIRED WATER. Rows include CROOKED BROOK, COUNTY DITCH 28, and ON-SITE INFILTRATION BASINS.

BUFFER TO SURFACE WATER

IF THE SITE DRAINS TO A SURFACE WATER, IS A 50-FT NATURAL BUFFER ADJACENT TO THE SURFACE WATER PRESERVED?
NOTE: NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES, JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS.

TEMPORARY SEDIMENTATION BASINS

IF TEN (10) OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION, IS A TEMPORARY SEDIMENT BASIN PROVIDED FOR TREATMENT OF THE RUNOFF BEFORE IT LEAVES THE CONSTRUCTION SITE OR ENTERS SURFACE WATERS?
A) BECAUSE THIS SITE IS WITHIN ONE MILE OF AN IMPAIRED WATER, THIS REQUIREMENT BECOMES FIVE (5) ACRES. HOWEVER, IT IS NOT ANTICIPATED THAT, WITH ONLY 4.47 ACRES OF DISTURBED AREA, THAT OVER 5 ACRES WILL BE DISTURBED.

INFILTRATION FEASIBILITY

ARE THERE ANY INFILTRATION RESTRICTIONS FOR THE SITE (SEE 16.14 THROUGH 16.21)?
A) SOIL BORINGS (18 TOTAL) WERE COLLECTED BY AMERICAN ENGINEERING TESTING ON JULY 11, 2025. THE BORINGS SHOWED SANDS WITH SILT, SILTY SANDS, AND, IN SOME PLACES, SANDS WITH SILT. SOILS WERE CLASSIFIED AS HSG B TYPE SOILS. BECAUSE OF THIS, INFILTRATION IS FEASIBLE, HOWEVER, IT MUST BE 3 FEET ABOVE OF THE HIGHEST ANTICIPATED GROUNDWATER LEVEL (HAGWL).

ADDITIONAL STORMWATER MITIGATION MEASURES

ARE THERE ANY STORMWATER MITIGATION MEASURES PER:
• ENVIRONMENTAL REVIEW DOCUMENT?
• ENDANGERED SPECIES REVIEW?
• ARCHAEOLOGICAL REVIEW?
• OTHER LOCAL, STATE OR FEDERAL REVIEW?
IF YES TO ANY OF THE ABOVE, DESCRIBE THE MITIGATION MEASURES. FOR PURPOSES OF THIS PERMIT, MITIGATION MEASURES MEANS ACTIONS NECESSARY TO AVOID, MINIMIZE, OR MITIGATE FOR IMPACTS RELATED TO EROSION PREVENTION, SEDIMENT CONTROL, THE PERMANENT STORMWATER TREATMENT SYSTEM, POLLUTION PREVENTION MANAGEMENT MEASURES AND DISCHARGES ASSOCIATED WITH THE PROJECT'S CONSTRUCTION ACTIVITY. [MINN. R. 7090]

DOCUMENTATION OF TRAINED INDIVIDUALS

A. INDIVIDUAL WHO PERFORMED THE SWPPP:

QASEM ABUGHAZLEH
PLOWE ENGINEERING, INC.
6776 LAKE DRIVE
LINO LAKES MN 55014
(651) 361-8233
qasem@plowe.com

B. INDIVIDUAL(S) OVERSEEING IMPLEMENTATION OF, REVISING AND/OR AMENDING THE SWPPP AND INDIVIDUALS PERFORMING INSPECTIONS FOR THE PROJECT, ONE OF THESE INDIVIDUALS MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA. [MINN. R. 7090]

CONTACT NAME
CONTACT PHONE
CONTACT E-MAIL

TBD - WHEN INFORMATION BECOMES AVAILABLE, CONTRACTOR TO PROVIDE INFORMATION TO CITY AND WATERSHED

C. INDIVIDUAL(S) PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPS. [MINN. R. 7090]

CONTACT NAME
CONTACT PHONE
CONTACT E-MAIL

TBD - WHEN INFORMATION BECOMES AVAILABLE, CONTRACTOR TO PROVIDE INFORMATION TO CITY AND WATERSHED

LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORMWATER FACILITIES

THE PROPOSED STORMWATER MANAGEMENT FEATURE FOR THIS SITE IS AN EXISTING ON-SITE LANDLOCKED BASIN. THIS WILL BE OPERATED AND MAINTAINED BY THE LANDOWNER.

REVEGETATION SPECIFICATIONS

Table with 3 columns: ITEM, MNDOT SPECIFICATION, and NOTES. Rows include SOD, SEED, TURF ESTABLISHMENT, TEMPORARY COVER, MULCH, HYDROMULCH, FERTILIZER, and WOOD FIBER BLANKET.

* MOW A MINIMUM OF: RESIDENTIAL TURF - ONCE PER 2 WEEKS COMMERCIAL TURF - ONCE PER 4 WEEKS
** SEEDED AREAS SHALL BE EITHER MULCHED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION.

QUANTITIES - ESTIMATED QUANTITIES FOR EROSION AND SEDIMENT CONTROL MEASURES

Table with 3 columns: TYPE, UNIT, and QUANTITY. Rows include SILT FENCE, REDUND. SED. CONTROL, RIP-RAP W. GEO-FABRIC, CATCH BASIN INLET PROTECTION, POND RIPRAP OVERFLOW, EROSION CONTROL BLANKET, SEED & MULCH, and ROCK CONSTRUCTION ENTRANCE.

NARRATIVE - TIMING FOR INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES

ALL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS OR IMPLEMENTED IN THE FIELD SHALL BE IN ACCORDANCE WITH THE CITY AND NPDES PHASE II PERMIT REQUIREMENTS.

PHASE I:

- 1. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND SWPPP MUST BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
3. PROVIDE TEMPORARY PARKING AND STORAGE AREA.
4. INSTALL SILT FENCE AS SHOWN ON PLAN.
4.1. ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE.
4.2. THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION.
4.3. SILT FENCE SHALL REMAIN IN PLACE UNTIL SITE HAS BEEN STABILIZED.
4.4. CONTRACTOR TO PROVIDE ADDITIONAL SILT FENCE, BIOROLLS, EROSION CONTROL BLANKET, OR OTHER APPROVED EQUAL FOR ANY SLOPES THAT APPEAR TO BE FAILING.
10. INSTALL INLET PROTECTION FOR ALL EXISTING STORM SEWER STRUCTURES.
11. INSTALL TREE PROTECTION FENCING AS APPLICABLE.
12. PERFORM SITE GRADING ON AN AREA-BY-AREA BASIS TO MINIMIZE UNSTABILIZED AREAS.
12.1. CONTRACTOR MUST IMMEDIATELY INITIATE STABILIZATION OF EXPOSED SOIL AREAS, AS DESCRIBED IN ITEM 8.4 OF THE PERMIT, AND COMPLETE THE STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE TEMPORARILY OR PERMANENTLY CEASES.
12.2. CONTRACTOR TO PROVIDE TEMPORARY SEDIMENTATION BASINS AS REQUIRED IN SECTION 14.1 THROUGH 14.10.
13. PAY SPECIAL ATTENTION TO ADJACENT PROPERTY LINES TO ENSURE THE EROSION CONTROL PRACTICES IN PLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.
14. STABILIZE SOIL STOCKPILES: STABILIZATION SHALL BE INITIATED IMMEDIATELY.
15. FINAL GRADE SWALE AREAS UPON STABILIZATION OF UPSTREAM AREAS.
16. CONTRACTOR SHALL BE RESPONSIBLE TO SWEEP/SCRAPE ADJACENT STREETS WHEN MATERIALS OR DEBRIS HAVE WASHED/FLOWED ONTO ADJACENT STREETS OR AS DIRECTED BY CITY.

PHASE II:

- 1. PROVIDE TEMPORARY SEED FOR DISTURBED AREAS.
2. INSTALL RIP-RAP AT DRAINAGE END SECTIONS.
3. INSTALL TEMPORARY INLET PROTECTION FOR ALL STORM SEWER INLET STRUCTURES IN PAVING AREAS. INSTALL UTILITIES INCLUDING SANITARY SEWER, WATER MAIN, STORM SEWER.
4. INSTALL CURB AND GUTTER.
5. PREPARE SITE FOR PAVING.
6. PAVE SITE.
6.1. COORDINATE SMALL UTILITIES INSTALLATIONS (GAS, PHONE, ELECTRIC, CABLE, FIBEROPTIC, ETC.) AFTER PAVEMENT INSTALLATION.
7. INSTALL INLET PROTECTION DEVICES.
8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND/OR SOD.
9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ONLY AFTER SITE HAS BEEN STABILIZED.

NPDES DEFINITIONS

"BEST MANAGEMENT PRACTICES (BMPS)" MEANS THE MOST EFFECTIVE AND PRACTICABLE MEANS OF EROSION PREVENTION AND SEDIMENT CONTROL, AND WATER QUALITY MANAGEMENT PRACTICES THAT ARE THE MOST EFFECTIVE AND PRACTICABLE MEANS OF TO CONTROL, PREVENT, AND MINIMIZE DEGRADATION OF SURFACE WATER, INCLUDING AVOIDANCE OF IMPACTS, CONSTRUCTION PHASING, MINIMIZING THE LENGTH OF TIME SOIL AREAS ARE EXPOSED, PROHIBITIONS, POLLUTION PREVENTION THROUGH GOOD HOUSEKEEPING, AND OTHER MANAGEMENT PRACTICES PUBLISHED BY STATE OR DESIGNATED AREA-WIDE PLANNING AGENCIES. [MINN. R. 7090]

"CONSTRUCTION ACTIVITY" MEANS ACTIVITIES INCLUDING CLEARING, GRADING, AND EXCAVATING, THAT RESULT IN LAND DISTURBANCE OF EQUAL TO OR GREATER THAN ONE ACRE, INCLUDING THE DISTURBANCE OF LESS THAN ONE ACRE OF TOTAL LAND AREA THAT IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE IF THE LARGER COMMON PLAN WILL ULTIMATELY DISTURB EQUAL TO OR GREATER THAN ONE ACRE. THIS INCLUDES A DISTURBANCE TO THE LAND THAT RESULTS IN A CHANGE IN THE TOPOGRAPHY, EXISTING SOIL COVER, BOTH VEGETATIVE AND NONVEGETATIVE, OR THE EXISTING SOIL TOPOGRAPHY THAT MAY RESULT IN ACCELERATED STORMWATER RUNOFF THAT MAY LEAD TO SOIL EROSION AND MOVEMENT OF SEDIMENT. CONSTRUCTION ACTIVITY DOES NOT INCLUDE A DISTURBANCE TO THE LAND OF LESS THAN FIVE ACRES FOR THE PURPOSE OF ROUTINE MAINTENANCE PERFORMED TO MAINTAIN THE ORIGINAL LINE AND GRADE, HYDRAULIC CAPACITY, AND ORIGINAL PURPOSE OF THE FACILITY. ROUTINE MAINTENANCE DOES NOT INCLUDE ACTIVITIES SUCH AS REPAIRS, REPLACEMENT AND OTHER TYPES OF NON-ROUTINE MAINTENANCE, PAVEMENT REHABILITATION THAT DOES NOT DISTURB THE UNDERLYING SOILS (E.G., MILL AND OVERLAY PROJECTS) IS NOT CONSTRUCTION ACTIVITY. [MINN. R. 7090]

"DEWATERING" MEANS THE REMOVAL OF SURFACE OR GROUND WATER TO DRY AND/OR SOLIDIFY A CONSTRUCTION SITE TO ENABLE CONSTRUCTION ACTIVITY. DEWATERING MAY REQUIRE A MINNESOTA DEPARTMENT OF NATURAL RESOURCES WATER APPROPRIATION PERMIT AND, IF DEWATERING WATER IS CONTAMINATED, DISCHARGE OF SUCH WATER MAY REQUIRE AN INDIVIDUAL MPCA NPDES/SDS PERMIT. [MINN. R. 7090]

"EROSION PREVENTION" MEANS MEASURES EMPLOYED TO PREVENT EROSION SUCH AS SOIL STABILIZATION PRACTICES, PERMANENT COVER OR CONSTRUCTION PHASING. [MINN. R. 7090]

"GENERAL CONTRACTOR" MEANS THE PARTY WHO SIGNS THE CONSTRUCTION CONTRACT WITH THE OWNER TO CONSTRUCT THE ENTIRE PROJECT AS DESCRIBED IN THE FINAL PLANS AND SPECIFICATIONS, WHERE THE CONSTRUCTION PROJECT INVOLVES MORE THAN ONE CONTRACTOR. THE GENERAL CONTRACTOR IS THE PARTY RESPONSIBLE FOR MANAGING THE ENTIRE PROJECT ON BEHALF OF THE OWNER. IN SOME CASES, THE OWNER IS THE GENERAL CONTRACTOR. IN THESE CASES, THE OWNER SIGNS THE PERMIT APPLICATION AS THE OPERATOR AND BECOMES THE SOLE PERMITTEE. [MINN. R. 7090]

"GROUNDWATER" MEANS THE WATER CONTAINED BELOW THE SURFACE OF THE EARTH IN THE SATURATED ZONE INCLUDING, WITHOUT LIMITATION, ALL WATERS WHETHER UNDER CONFINED, UNCONFINED, OR PERCHED CONDITIONS, IN NEAR SURFACE UNCONSOLIDATED SEDIMENT OR REGOLITH, OR IN ROCK FORMATIONS DEEPER UNDERGROUND. [MINN. R. 7090]

"HOMEOWNER FACT SHEET" MEANS AN MPCA FACT SHEET AVAILABLE ON THE MPCA CONSTRUCTION STORMWATER WEBSITE FOR PERMITTEES TO GIVE TO HOMEOWNERS AT THE TIME OF SALE. [MINN. R. 7090]

"INFEASIBLE" MEANS NOT TECHNOLOGICALLY POSSIBLE OR NOT ECONOMICALLY PRACTICABLE AND ACHIEVABLE IN LIGHT OF THE BEST INDUSTRY PRACTICES. [MINN. R. 7090]

"INITIATED IMMEDIATELY" MEANS TAKING AN ACTION TO COMMENCE SOIL STABILIZATION AS SOON AS PRACTICABLE, BUT NO LATER THAN THE END OF THE WORK DAY, FOLLOWING THE DAY WHEN THE LAND-DISTURBING ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE, IF THE PERMITTEES KNOW THAT CONSTRUCTION WORK ON THAT PORTION OF THE SITE WILL BE TEMPORARILY CEASED FOR 14 OR MORE ADDITIONAL CALENDAR DAYS OR 7 CALENDAR DAYS WHERE ITEM 23.9 APPLIES. PERMITTEES CAN INITIATE STABILIZATION BY: A. PREPPING THE SOIL FOR VEGETATIVE OR NON-VEGETATIVE STABILIZATION; OR B. APPLYING MULCH OR OTHER NON-VEGETATIVE PRODUCT TO THE EXPOSED SOIL AREA; OR

- C. SEEDING OR PLANTING THE EXPOSED AREA; OR
D. STARTING ANY OF THE ACTIVITIES IN A - C ON A PORTION OF THE AREA TO BE STABILIZED, BUT NOT ON THE ENTIRE AREA; OR
E. FINALIZING ARRANGEMENTS TO HAVE STABILIZATION PRODUCT FULLY INSTALLED IN COMPLIANCE WITH THE APPLICABLE DEADLINE FOR COMPLETING STABILIZATION. [MINN. R. 7090]

"IMPERVIOUS SURFACE" MEANS A CONSTRUCTED HARD SURFACE THAT EITHER PREVENTS OR RETARDS THE ENTRY OF WATER INTO THE SOIL AND CAUSES WATER TO RUN OFF THE SURFACE IN GREATER QUANTITIES AND AT AN INCREASED RATE OF FLOW THAN PRIOR TO DEVELOPMENT. EXAMPLES INCLUDE ROOFTOPS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, AND CONCRETE, ASPHALT, OR GRAVEL ROADS. BRIDGES OVER SURFACE WATERS ARE CONSIDERED IMPERVIOUS SURFACES. [MINN. R. 7090]

"NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)" MEANS THE PROGRAM FOR ISSUING, MODIFYING, REVOKING, REISSUING, TERMINATING, MONITORING, AND ENFORCING PERMITS UNDER THE CLEAN WATER ACT, AS AMENDED (33 U.S.C. 1251 ET SEQ. SECTION 1342 AND 40 CFR PARTS 122, 123, 124 AND 450). [MINN. R. 7090]

"NATURAL BUFFER" MEANS AN AREA OF UNDISTURBED COVER SURROUNDING SURFACE WATERS WITHIN WHICH CONSTRUCTION ACTIVITIES ARE RESTRICTED. NATURAL BUFFER INCLUDES THE VEGETATION, EXPOSED ROCKS, OR BARREN GROUND THAT EXISTS PRIOR TO COMMENCEMENT OF EARTH-DISTURBING ACTIVITIES. [MINN. R. 7090]

"NOTICE OF TERMINATION (NOT)" MEANS THE FORM (ELECTRONIC OR PAPER) REQUIRED FOR TERMINATING COVERAGE UNDER THE CONSTRUCTION GENERAL PERMIT. [MINN. R. 7090]

"OPERATOR" MEANS THE PERSON (USUALLY THE GENERAL CONTRACTOR), FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY DESIGNATED BY THE OWNER WHO HAS DAY TO DAY OPERATIONAL CONTROL AND/OR THE ABILITY TO MODIFY PROJECT PLANS AND SPECIFICATIONS RELATED TO THE SWPPP. THE PERMIT APPLICATION MUST LIST THE OPERATOR AS A PERMITTEE. SUBCONTRACTORS HIRED BY AND UNDER SUPERVISION OF THE GENERAL CONTRACTOR ARE NOT OPERATORS. [MINN. R. 7090]

"OWNER" MEANS THE PERSON, FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY POSSESSING THAT LAND ON WHICH THE CONSTRUCTION ACTIVITIES WILL OCCUR OR, IF THE CONSTRUCTION ACTIVITY IS FOR A LEASE, EASEMENT, OR MINERAL RIGHTS LICENSE HOLDER, THE PARTY OR INDIVIDUAL IDENTIFIED AS THE LEASE, EASEMENT OR MINERAL RIGHTS LICENSE HOLDER; OR THE CONTRACTING GOVERNMENT AGENCY RESPONSIBLE FOR THE CONSTRUCTION ACTIVITY. [MINN. R. 7090]

"PERMANENT COVER" MEANS SURFACE TYPES THAT WILL PREVENT SOIL FAILURE UNDER EROSION CONDITIONS. EXAMPLES INCLUDE GRASS, CONCRETE, PERENNIAL COVER, OR OTHER LANDSCAPED MATERIAL THAT WILL PERMANENTLY ARREST SOIL EROSION. PERMITTEES MUST ESTABLISH A UNIFORM PERENNIAL VEGETATIVE COVER (I.E., EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) WITH A DENSITY OF 70 PERCENT OF THE NATIVE BACKGROUND VEGETATIVE COVER ON ALL AREAS NOT COVERED BY PERMANENT STRUCTURES, OR EQUIVALENT PERMANENT STABILIZATION MEASURES. PERMANENT COVER DOES NOT INCLUDE TEMPORARY BMPS SUCH AS WOOD FIBER BLANKET, MULCH, AND ROLLED EROSION CONTROL PRODUCTS. [MINN. R. 7090]

"PERMITTEES" MEANS THE PERSONS, FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY IDENTIFIED AS THE OWNER AND OPERATOR ON THE APPLICATION SUBMITTED TO THE MPCA AND ARE RESPONSIBLE FOR COMPLIANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT. [MINN. R. 7090]

"PROJECT(S)" MEANS ALL CONSTRUCTION ACTIVITY PLANNED AND/OR CONDUCTED UNDER A PARTICULAR PERMIT. THE PROJECT OCCURS ON THE SITE OR SITES DESCRIBED IN THE PERMIT APPLICATION, THE SWPPP AND IN THE ASSOCIATED PLANS, SPECIFICATIONS AND CONTRACT DOCUMENTS. [MINN. R. 7090]

"PUBLIC WATERS" MEANS ALL WATER BASINS AND WATERCOURSES DESCRIBED IN MINN. STAT. SECT. 103G.005 SUBP. 15. [MINN. R. 7090]

"SEDIMENT CONTROL" MEANS METHODS EMPLOYED TO PREVENT SUSPENDED SEDIMENT IN STORMWATER FROM LEAVING THE SITE (E.G. SILT FENCES, COMPOST LOGS AND STORM DRAIN INLET PROTECTION). [MINN. R. 7090]

"STABILIZE", "STABILIZED", "STABILIZATION" MEANS THE EXPOSED GROUND SURFACE HAS BEEN COVERED BY APPROPRIATE MATERIALS SUCH AS MULCH, STAKED SOD, RIPRAP, EROSION CONTROL BLANKET, MATS OR OTHER MATERIAL THAT PREVENTS EROSION FROM OCCURRING. GRASS SEEDING, AGRICULTURAL CROP SEEDING OR OTHER SEEDING ALONE IS NOT STABILIZATION. MULCH MATERIALS MUST ACHIEVE APPROXIMATELY 90 PERCENT GROUND COVERAGE (TYPICALLY 2 TON/ACRE). [MINN. R. 7090]

"STORMWATER" MEANS PRECIPITATION RUNOFF, STORMWATER RUNOFF, SNOWMELT RUNOFF, AND ANY OTHER SURFACE RUNOFF AND DRAINAGE. [MINN. R. 7090]

"STEEP SLOPES" MEANS SLOPES THAT ARE 1:3 (V:H) (33.3 PERCENT) OR STEEPER IN GRADE. [MINN. R. 7090]

"STORM WATER POLLUTION PREVENTION PLAN (SWPPP)" MEANS A PLAN FOR STORMWATER DISCHARGE THAT INCLUDES ALL REQUIRED CONTENT UNDER IN SECTION 5 THAT DESCRIBES THE EROSION PREVENTION, SEDIMENT CONTROL AND WASTE CONTROL BMPS AND PERMANENT STORMWATER TREATMENT SYSTEMS. [MINN. R. 7090]

"SURFACE WATER OR WATERS" MEANS ALL STREAMS, LAKES, PONDS, MARSHES, WETLANDS, RESERVOIRS, SPRINGS, RIVERS, DRAINAGE SYSTEMS, WATERWAYS, WATERCOURSES, AND IRRIGATION SYSTEMS WHETHER NATURAL OR ARTIFICIAL, PUBLIC OR PRIVATE, EXCEPT THAT SURFACE WATERS DO NOT INCLUDE STORMWATER TREATMENT SYSTEMS CONSTRUCTED FROM UPLAND. THIS PERMIT DOES NOT CONSIDER STORMWATER TREATMENT SYSTEMS CONSTRUCTED IN WETLANDS AND MITIGATED IN ACCORDANCE WITH SECTION 22 AS SURFACE WATERS. [MINN. R. 7090]

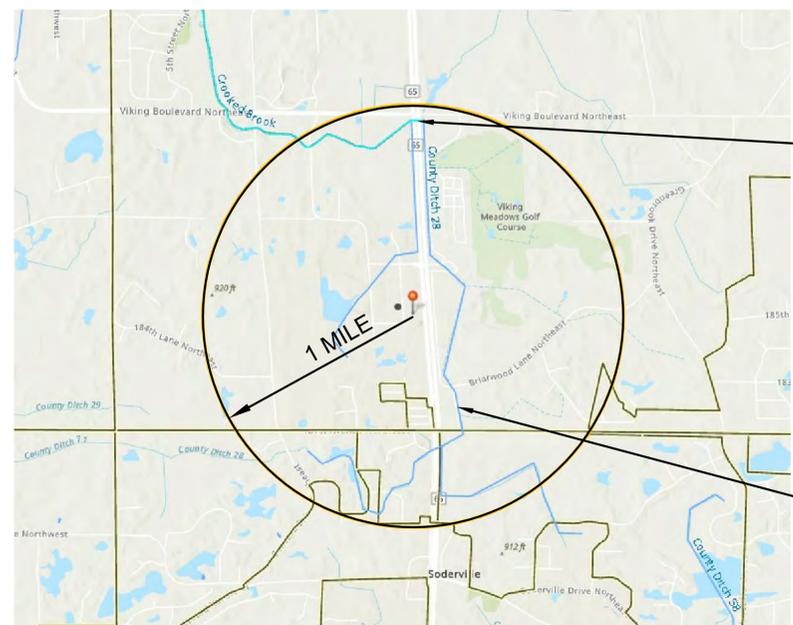
"WATERS OF THE STATE" (AS DEFINED IN MINN. STAT. SECT. 115.01, SUBP. 22) MEANS ALL STREAMS, LAKES, PONDS, MARSHES, WATERCOURSES, WATERWAYS, WELLS, SPRINGS, RESERVOIRS, AQUIFERS, IRRIGATION SYSTEMS, DRAINAGE SYSTEMS AND ALL OTHER BODIES OR ACCUMULATIONS OF WATER, SURFACE OR UNDERGROUND, NATURAL OR ARTIFICIAL, PUBLIC OR PRIVATE, WHICH ARE CONTAINED WITHIN, FLOW THROUGH, OR BORDER UPON THE STATE OR ANY PORTION THEREOF. [MINN. STAT. 115.01, SUBP. 22]

"WATER QUALITY VOLUME" MEANS ONE (1) INCH OF RUNOFF FROM THE NET INCREASE IN IMPERVIOUS SURFACES CREATED BY THE PROJECT (CALCULATED AS AN INSTANTANEOUS VOLUME). [MINN. R. 7090]

"WETLANDS" (AS DEFINED IN MINN. R. 7050.0186, SUBP. 1A.B.) MEANS THOSE AREAS THAT ARE INUNDATED OR SATURATED BY SURFACE WATER OR GROUNDWATER AT A FREQUENCY AND DURATION SUFFICIENT TO SUPPORT, AND UNDER NORMAL CIRCUMSTANCES DO SUPPORT, A PREVALENCE OF VEGETATION TYPICALLY ADAPTED FOR LIFE IN SATURATED SOIL CONDITIONS. WETLANDS GENERALLY INCLUDE SWAMPS, MARSHES, BOGS, AND SIMILAR AREAS. CONSTRUCTED WETLANDS DESIGNED FOR WASTEWATER TREATMENT ARE NOT WATERS OF THE STATE. WETLANDS MUST HAVE THE FOLLOWING ATTRIBUTES:

- 1. A PREDOMINANCE OF HYDRIC SOILS; AND
2. INUNDATED OR SATURATED BY SURFACE WATER OR GROUNDWATER AT A FREQUENCY AND DURATION SUFFICIENT TO SUPPORT A PREVALENCE OF HYDROPHYTIC VEGETATION TYPICALLY ADAPTED FOR LIFE IN A SATURATED SOIL CONDITION; AND
3. UNDER NORMAL CIRCUMSTANCES SUPPORT A PREVALENCE OF SUCH VEGETATION. [MINN. R. 7050.0186, SUBP. 1A.B.]

MAP OF SURFACE WATERS



CROOKED BROOK
APPROVED TMDL PLAN FOR: DISSOLVED OXYGEN
ADDITIONAL IMPAIRMENTS: NONE
NEW IMPAIRMENTS: NONE

COUNTY DITCH 28
APPROVED TMDL PLAN FOR: NONE
ADDITIONAL IMPAIRMENTS: NONE
NEW IMPAIRMENTS: NONE

STORM WATER POLLUTION PREVENTION PLAN ATLAS MEMORY CARE

Table with 2 columns: DRAWN BY: M.Q.A., DESIGN BY: Q.M.A.; CHECKED BY: M.Q.A., PROJ. NO.: 25-2211

ORIGINAL DATE: AUGUST 15, 2025

Table with 2 columns: DATE, REVISION DESCRIPTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
QASEM M. ABUGHAZLEH LIC. NO. 56289
DATE: 08.15.2025

ATLAS MEMORY CARE
EAST BETHEL, MINNESOTA
STORM WATER POLLUTION PREVENTION PLAN

PREPARED FOR: STONE CONSTRUCTION



SITE PLANNING & ENGINEERING
PLOWE ENGINEERING, INC.
6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (651) 361-8210
FAX: (651) 361-8701

C5.2

September 9, 2025

Grace Gerard, City Planner
City of East Bethel
2241 221st Avenue NE
East Bethel, MN 55011

RE: Site Plan Review No. 1 – Atlas Memory Care

Dear Grace:

As requested, we have reviewed the Site Plan submitted for Atlas Memory Care. The project is located on Lots 5 and 6 of Block 2 of Sauter's Commercial Park. The following information has been submitted for review:

1. Civil Site Plans Sheets C0, C1, C2.1, C2.2, C2.3, C3, C4.1, C4.2, C5.1 and C5.2 by Plowe Engineering, Inc., dated August 15, 2025.
2. Site Plan Sheet A1 by Lampert Architects, dated August 4, 2025.

We offer the following comments:

1. This site will require a NPDES construction permit. Acquire the permit before the start of construction. the site may require a Minnesota DNR Water Appropriations Permit?
2. Remove the "Preliminary" stamp from the plans.
3. East Bethel is a permitted MS4 City and is responsible for inspecting and enforcing maintenance practices on all stormwater facilities within its corporate boundary. A maintenance agreement needs to be executed and recorded for the proposed infiltration basins.
4. An escrow or letter of credit will need to be established for the disturbance in the City right-of-way and for security of the landscaping. The Owner needs to provide an estimate from the contractor for these items for review and approval.
5. Provide drainage calculations that are certified by a MN-licensed professional engineer.
6. The Contractor will be responsible to protect and reconstruct the City's tracer wire and boxes on the water stubs and hydrant. The tracer wire was installed per City Standard Plate 201 and 204.

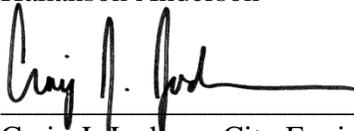
7. The applicant is required to meet all requirements of the Department of Labor and Industry.
8. The applicant's engineer shall review and approve shop drawing information for the sewer and water service construction and then forward this information to the City for approval.
9. The project will need to be reviewed by the City Fire Chief to ensure additional hydrants are not needed within the site for fire protection.
10. There are downstream catch basins on Ulysses Street and 185th Avenue. Provide inlet protection in the existing catch basins on the south side and the east side.
11. Label the watermain size on the south side of the lot and the sewer size on the east side of the lot. Cut will not be allowed over the existing watermain. Clarify if the existing grade will remain the same.
12. The water service to the building is not allowed on the 6-inch hydrant lead. Use the same tee on the existing main for the hydrant. All pipe and fittings shall be tied per City Standard Plate 204.
13. On Sheet C0, revise all the notes regarding notice to the City to a minimum of 72 hours.
14. Show the saw cuts and detail what is being proposed for the tie-in points on Ulysses bituminous surface. Add the minimum bituminous and aggregate base section, which is shown on the Record Plans that were provided.
15. Sheet C2.1 mentions 3:1 slopes in a note. All slopes shall be 4:1 or flatter. Also, it is not clear where silt fence is proposed.
16. The note on Sheet C3 indicates the watermain will be 4-inch, but a 6-inch service is shown. All new service shutoff valves need to be installed within City easements or right-of-way.
17. All lighting shall meet the requirements of Section 26 of the Zoning Code. Lighting must be used to illuminate all off-street parking areas or other structures or areas and shall be arranged to deflect light away from any adjoining property or from the public street. No light source or combination thereof which casts light on a public street shall exceed one footcandle meter reading as measured from the centerline of said street, nor shall any light source or combination thereof which casts light on adjacent property exceed 0.5 footcandle as measured at any point of the property line. There must be a minimum of 0.5 footcandle illumination for all off-street parking areas.
18. A Metropolitan Council Trunk Sanitary Sewer line is located along the east side of the property. Submit plans to the Metropolitan Council and provide an approval letter.



19. It is anticipated that Ulysses Street will extend south in the future and will become a T-intersection with 185th Avenue. The applicant/owner will be responsible for all costs related to the south driveway when it needs to be reconstructed in the future to extend Ulysses Street. This will be documented in the Site Improvement Performance Agreement.
20. The south driveway cannot interfere with the current gravel access to the south. Revise as necessary.

If you have any questions, please call me at 763-852-0485.

Sincerely,
Hakanson Anderson



Craig J. Jochum, City Engineer



**City of East Bethel
Planning Commission Meeting
Agenda Item Information**



Meeting Date: September 23, 2025

Agenda Item Number: 6

Request: PUBLIC HEARING. Consider a City-initiated request for a Zoning Map Amendment for 4 properties located east of Johnson St. NE and south of 241st Avenue NE from I – Light Industrial to R-2 – Single-Family and Townhome Residential (PIN #29-34-23-31-0005, #29-34-23-31-0006, #29-34-23-31-0007 and #29-34-23-31-0008) (City file 25-025).

Review Deadline: N/A

Background/Context

On August 5, 2025, staff received a call from a property owner at 23983 Johnson St. NE regarding whether the City would allow the addition of a pole barn to the property containing an existing single-family home. Staff discovered that this property is zoned I - Light Industrial, and the property owner was advised that the addition of a pole barn to the property would be an expansion of a non-conforming use, defined in the City Code as “A use which lawfully occupies a building or land [...] that does not conform to the use regulations of the district in which it is located”. Further research discovered that 4 parcels on this block are zoned I – Light Industrial and are nonconforming uses. Furthermore, City staff discovered that all 4 parcels of these parcels are guided Low Density Residential by the 2040 Comprehensive Plan. The City Zoning Ordinance and Map are enforcement tools used to implement the goals and standards for land use established in the Comprehensive Plan. Parcels are required to be zoned in a manner compatible with the underlying land use designation. The current zoning of I – Light Industrial is incompatible with the Comprehensive Plan designation of Low Density Residential.

Staff brought this topic before the City Council at the August 25th Work Meeting. The Council directed staff to initiate the rezoning of 4 parcels along Johnson Street NE to correct this incompatibility. This rezoning would impact 4 properties located along the east side of Johnson St. NE south of 241st Avenue NE. Each property is zoned I – Light Industrial, Shoreland Overlay District and guided Low Density Residential. Each property currently contains a single-family home which is a nonconforming use in the I – Industrial Zoning District. The properties on the western side of Johnson St. are zoned R-2 Single-Family and Townhome Residential and guided Low Density Residential. The property to the northeast is zoned MXU – Mixed Use and guided Mixed Use. The properties to the south are zoned I – Light Industrial and guided Light Industrial.

Analysis

The City has a relatively high level of discretion in approving or denying a rezoning. The proposed zoning for a property must be consistent with the City’s Comprehensive Plan. If the proposed zoning is not consistent with the Comprehensive Plan, the City must deny the rezoning.

Section 04, Subd. 11 of the Zoning Ordinance establishes standards for review of a rezoning request. The Planning Commission shall evaluate the request for compliance with the Ordinance standards noted below:

- 1) *The planning commission shall consider possible adverse effects of the proposed amendment. Its judgment shall be based upon, but not limited to, the following:*

- a) *The proposed action has been considered in relation to the specific policies and provisions of, and has been found to be consistent with, the city comprehensive plan;*

These properties are guided by the Comprehensive Plan as Low Density Residential. The purpose of the Low Density Residential Classification is to support the creation of “[...] detached single family homes suitable for family housing and the creation of neighborhoods”. Typical uses within this land use designation include “detached single family homes” and “conservation or cluster subdivisions”. This land use classification is for land inside the Metropolitan Urban Service Area (MUSA) and is guided to develop at densities of 2.25 to 4 units per acre. R-2 – Single-Family and Townhome Residential is listed as a limited secondary zoning classification for this land use designation.

The current zoning of I – Light Industrial is not consistent with the Low Density Residential land use designation given to these properties by the Comprehensive Plan. The proposed rezoning to R-2 – Single Family and Townhome Residential is consistent with the Comprehensive Plan.

- b) *The proposed action meets the purpose and intent of this chapter and in the case of a map amendment, it also meets the purpose and intent of the individual district;*

The purpose of the R-2 – Single-Family and Townhome Residential zoning district is to “[...] allow a mix of single-family and attached/detached townhomes at a more typical single family density; to reflect the character of its transitional setting on the fringe of the urbanized area of the City served by public sewer and water; and to broaden the choice of residential living styles in the City”.

Currently, these properties contain detached single-family homes at an approximate density of 1 unit per 2.5 acres, a typical single-family density within the City. These properties are positioned southwest of a property zoned and guided MXU – Mixed Use. This Mixed Use property could be developed at higher densities of 2.25 and 30.00 units per acre in the future. In this scenario, the proposed rezoning of these 4 properties would be appropriate in facilitating a transitional role between the higher density Mixed Use property to the northeast and the low-density residential properties to the west. The properties to the west are also zoned R-2 – Single-Family and Townhome Residential. This rezoning is consistent with the purpose and intent of the zoning district.

- c) *There is adequate infrastructure available to serve the proposed action;*

At this time, no changes are proposed for the properties as a part of the proposed rezoning. These properties are currently adequately served by individual well and septic and have adequate street access.

These properties are within the 2030 Metropolitan Urban Service Area (MUSA). City sewer infrastructure currently ends at the intersection of 241st Avenue and Johnson St. NE. City water infrastructure currently ends at the intersection of 241st Avenue and Pierce St. NE. While there are not currently plans for redevelopment, if these properties were to be redeveloped under the Ordinance Standards for R-2 – Single Family and Townhome Residential and Comprehensive Plan standards for Low Density Residential, the developer would be required to extend the area’s sewer and water infrastructure to the impacted properties.

d) There is an adequate buffer or transition between potentially incompatible districts;

The parcels to the west are zoned R-2 – Single Family and Townhome Residential and guided Low Density Residential. The property to the north is zoned and guided MXU – Mixed Use. The properties to the south are zoned and guided I – Light Industrial. To mitigate the impacts of adjacent industrial and residential zoning, Section 23, subd. 2 of the City Zoning Ordinance establishes screening and buffering standards for industrial uses adjacent to residentially zoned properties. These screening standards are designed to promote appropriate separation between industrial and residential properties. Additionally, a purpose of the R-2 – Single-Family and Townhome Residential district is to provide a “transitional setting on the fringe of the urbanized area of the City”.

e) The proposed type of building development is in the best interest of the entire city;

There is no redevelopment proposed with this rezoning request.

f) The proposed action will not adversely affect property values; and

The proposed rezoning from I – Light Industrial to R-2 – Single Family and Townhome Residential would change these properties from being legal non-conforming uses to being conforming. Currently, these parcels are legal non-conforming uses within the I – Light Industrial zoning district because they are zoned for industrial purposes but used for single-family residential purposes. Section 05, subd. 2 states “a nonconforming use may be continued, including through repair, replacement, restoration, maintenance, or improvement, but not including expansion”. Rezoning these properties to R-2 – Single Family and Townhome Residential gives current and future property owners the ability to expand the current residential use of their properties by, for example, adding a pole building to the property or constructing an addition to an existing home.

Additionally, staff has determined that these properties would be unlikely candidates for industrial redevelopment due to their current use, size, proximity to ponding and location within the Shoreland Overlay District, and low-density residential land use designation.

g) The proposed action is in the interest of the health, safety, and welfare of the public

The parcels would remain in a similar state as they are today, as no redevelopment is proposed with this action. This would not impact the health, safety and welfare of the public. Any proposed redevelopment of these parcels would intensify the residential nature of these properties, and the specific impacts of this would be evaluated at the time of the request.

Summary

The proposed rezoning aligns with Comprehensive Plan by correcting an existing incompatibility between the Comprehensive Plan and the City Zoning Ordinance and Map. Staff recommends approval of this rezoning request.

Requested Action

In consideration of the request, the Planning Commission has the following options:

A. Recommend Approval

Based on the contents of this report, public testimony, and other evidence available to the Planning Commission, the Planning Commission could recommend approval of the request to rezone the

properties located at 24015, 23983, 23953, and 23915 Johnson St. NE from I – Light Industrial to R-2 – Single Family and Townhome Residential. A draft Ordinance has been provided for approval.

B. Recommend Denial

Based on the contents of this report, public testimony, and other evidence available to the Planning Commission, the Planning Commission could recommend denial of the rezoning.

- This option should be utilized if the Planning Commission can specifically identify one or more provisions of City Code that are not being met by the rezoning request. The Planning Commission should provide findings of fact for denial. Staff does not recommend this option.

Attachments:

1. Draft Ordinance approving the rezoning
2. Aerial of Properties
3. Zoning Map of Properties
4. City Zoning Map
5. 2040 Plan Land Use Map

**CITY OF EAST BETHEL
COUNTY OF ANOKA
STATE OF MINNESOTA**

ORDINANCE NO. 2025-XX

THE CITY COUNCIL OF THE CITY OF EAST BETHEL DOES HEREBY ORDAIN AS FOLLOWS:

CITY CODE APPENDIX – A, ZONING

ZONING MAP DATED SEPTEMBER 8, 2025

The Official Zoning Map of the East Bethel Zoning Ordinance is hereby amended to change the zoning classification of properties identified as PID #29-34-23-31-0005, #29-34-23-31-0006, #29-34-23-31-0007 and #29-34-23-31-0008 to R-2 – Single-Family and Townhome Residential.

The Zoning Administrator is hereby directed to make the appropriate changes to the Official Zoning Map to reflect the change in zoning classification.

All other Titles, Chapters and Sections of the City Code shall remain as written and adopted by the City of East Bethel City Council.

Adopted this 13th day of October, 2025 by the City Council of the City of East Bethel.

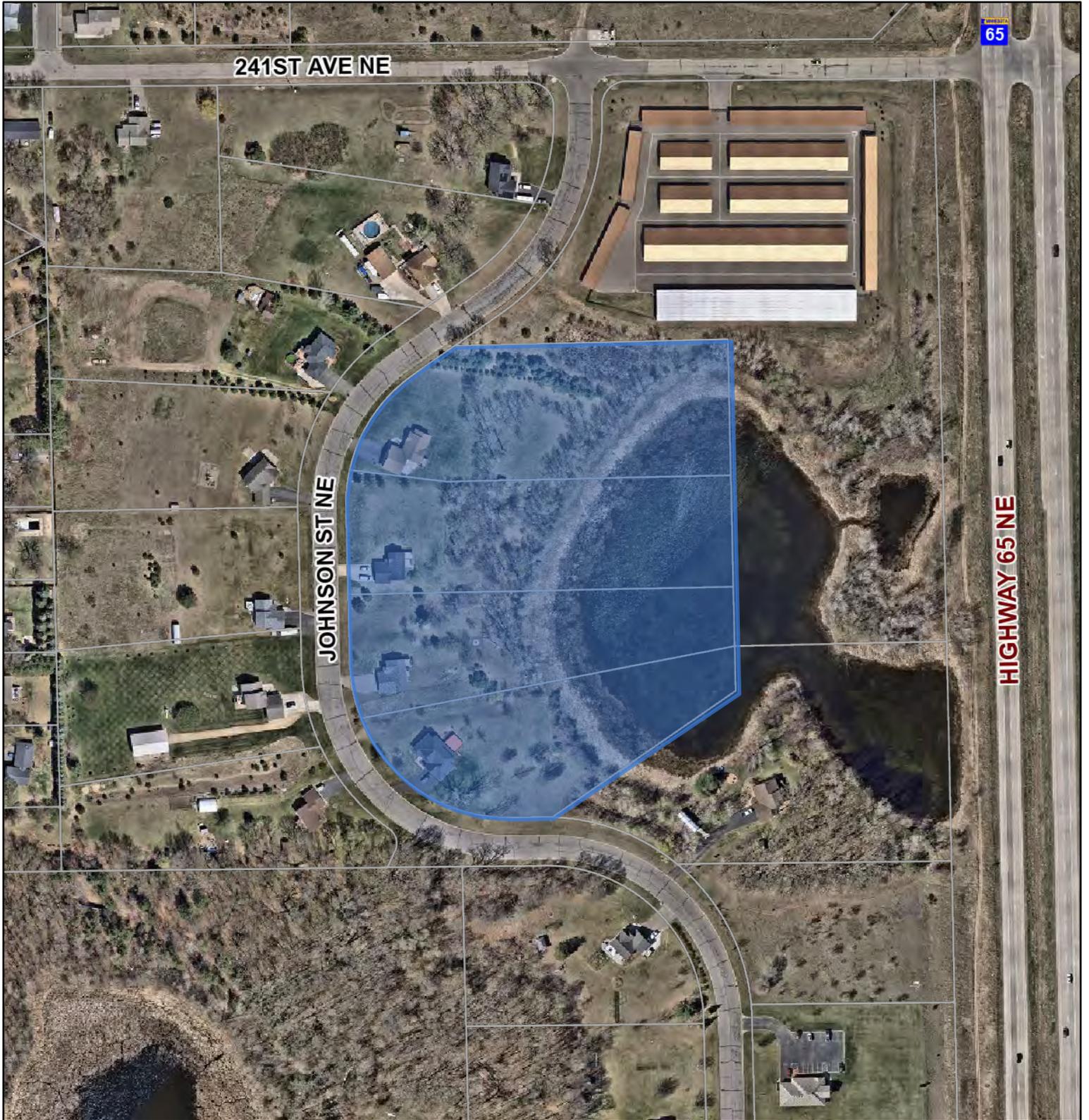
CITY OF EAST BETHEL

ATTEST

Ardie Anderson, Mayor

Matt Look, City Administrator

Johnson St. Rezoning Aerial Map

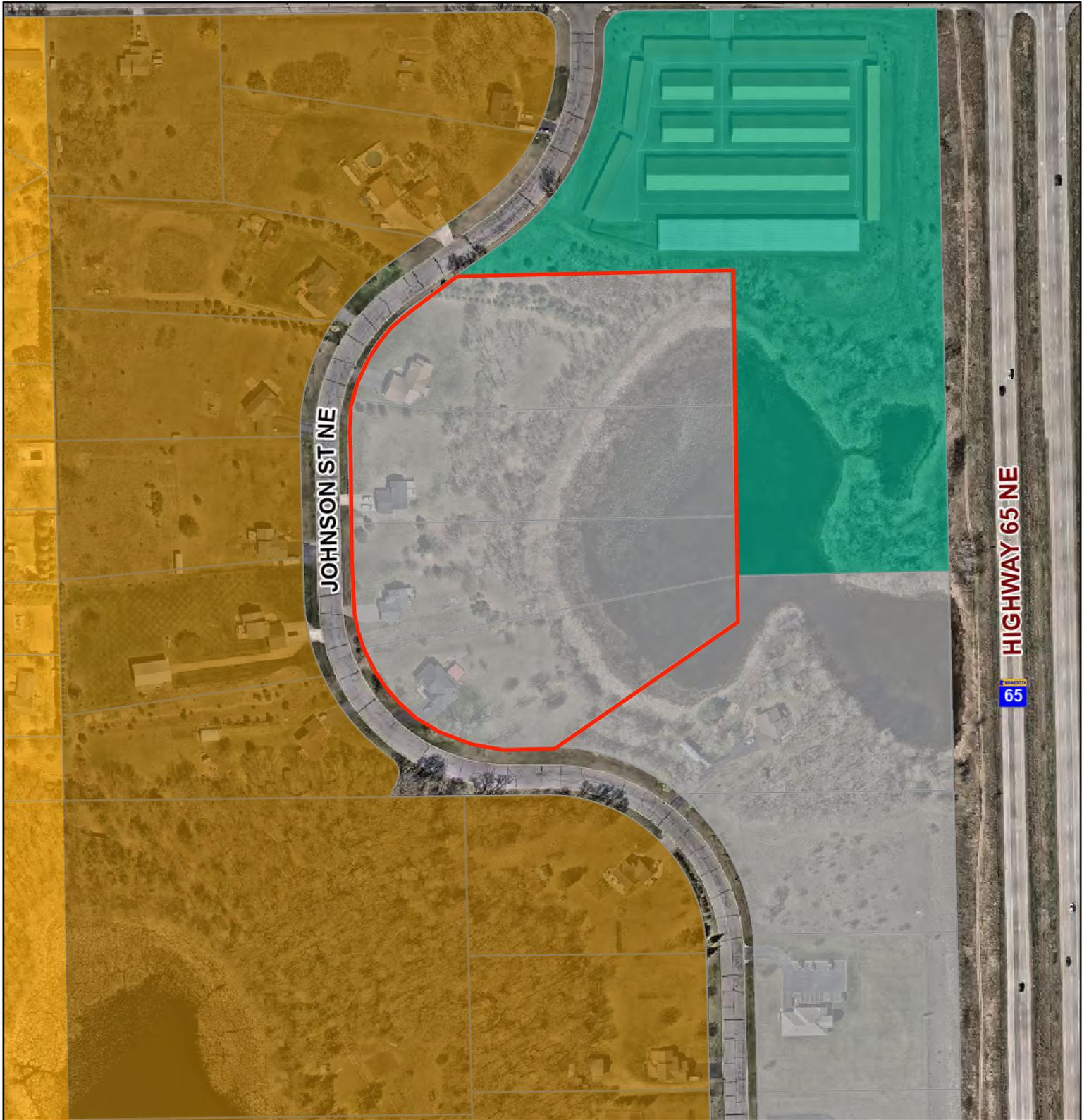


-  Parcels
-  City Mask

1 inch equals 317 feet



Johnson St. Current Zoning

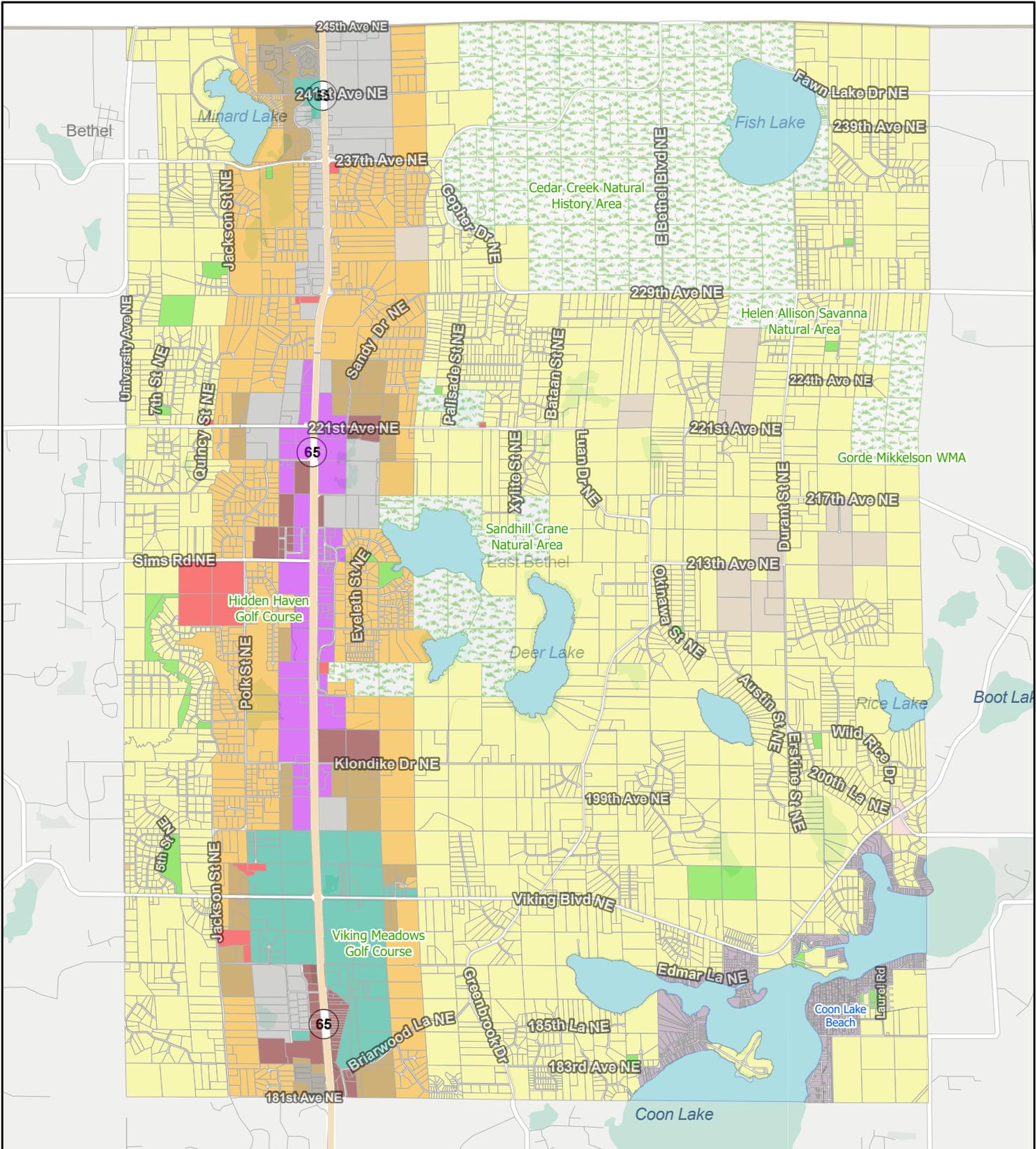


Current Zoning

- | | |
|---|--|
|  A - Agriculture |  R-2 - Single Family & Townhome Residential |
|  B-1 - Limited Business |  CL - Coon Lake |
|  B-2 - Central Business |  Public/Institutional |
|  B-3 - Highway Commercial |  Park/Open Space |
|  I - Light Industrial |  Natural Area |
|  MXU - Mixed Use |  ROW |
|  RR - Rural Residential |  Water |
|  R-1 - Single Family Residential |  City Mask |

1 inch equals 317 feet





Zoning	B-3 - Highway Business	R-1 - Single Family Residential	Park/Open Space
AG - Agriculture	I - Light Industrial	R-2 - Single Family & Townhome Residential	Natural Area
B-1 - Limited Business	MXU - Mixed Use	CL - Coon Lake	ROW
B-2 - Central Business	RR - Rural Residential	Public/Institutional	Water



Official Zoning Map
 Adopted September 13, 2024
 City of East Bethel, MN

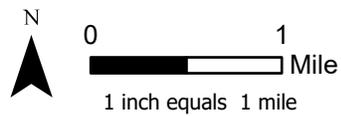


FIGURE 3-7: 2040 PLANNED LAND USE

