

**City of East Bethel**  
**Planning Commission Agenda**  
**Planning Commission Regular Meeting**  
**Date: March 25, 2025**



Two or more Council Members and/or the Mayor may be in attendance at this meeting.  
If two or more Council Members and the Mayor attend the event, there will be a quorum of Council Members.

This meeting may be monitored live via the following means:  
Cable Channel 10, MidcoTV Channel 77, or the City of East Bethel YouTube channel  
([www.youtube.com/channel/UC8\\_7ShcME-XG14pN5JrmBGg/live](http://www.youtube.com/channel/UC8_7ShcME-XG14pN5JrmBGg/live))

1. Call To Order
2. Adopt Agenda
3. Council Liaison Update
4. Approval of Minutes: February 25, 2025 (p.2-4)
5. **Public Hearing.** Consider the request by applicant, Classic Construction, for Site Plan and Conditional use Permit (CUP) at 18750 Ulysses Street NE (File 25-04) (p. 5-40)
6. Adjourn

# DRAFT MINUTES: NOT YET APPROVED

EAST BETHEL PLANNING COMMISSION MEETING  
February 25, 2025

MEMBERS PRESENT: Chair Sharon Johnson, Glenn Terry, Brian Downie, and Kory Jorgensen.

MEMBERS ABSENT: Tanner Balfany

ALSO PRESENT: Matt Look, City Administrator  
Eric Larson, City Attorney  
Rodney Sanow, Fire Chief  
Nate Ayshford, Public Works Manager  
Carrie Frost, Administrative Coordinator  
Mike Jeziorski, Deputy City Administrator/Finance Director  
Kendra Lindahl, Community Development Director  
Zeke Peters, Urban Planner at Landform Professionals  
Brian Mundle, City Council Liaison

## 1.0 Call to Order

Chair Johnson called the Planning Commission regular meeting to order at 7:00 pm.

## 2.0 Adopt Agenda

Commissioner Terry moved and Commissioner Jorgensen seconded to adopt the agenda as presented. Johnson asked any discussion? To the motion, all in favor say aye. All in favor. Johnson asked any opposed? That motion passes. Motion passes unanimously.

## 3.0 Updates

Council Liaison Mundle updated the Commission on recent Council actions.

## 4.0 Approve December 17, 2024 meeting minutes

Commissioner Jorgensen moved and Commissioner Downie seconded to adopt the December 17, 2024 regular meeting minutes as written. Johnson asked any discussion? To the motion, all in favor say aye. All in favor. Johnson asked any opposed? That motion passes. Motion passes unanimously.

## 5.0 Variance – Consider the request by applicant, Allen Pagnac, for a variance to allow a second driveway for access to an accessory structure at 1670 229th Lane NE

Lindahl reviewed staff’s report stating the City’s discretion in approving or denying a variance is limited to whether or not the proposed project meets the standards in the Zoning Ordinance for a variance. The City has a higher level of discretion with a variance because the burden of proof is on the applicant to show that the variance standards have been met.

Lindahl added that on December 12, 2024, the city received an application from Allen Pagnac, the owner of the property at 1670 229th Lane NE, to allow for a second driveway in order to build an accessory structure storage shed on their 1.99-acre property.

Lindahl stated that the property is guided as Future Growth Area and is Zoned R-1 Single Family Residential. The intent of the Future Growth Area land use designation is to preserve these areas to accommodate future subdivisions in the event of MUSA expansion. The properties surrounding it are all guided and zoned the same.

Lindahl noted that the Commission could either recommend denial or recommend approval.

Kristina Pagnac noted that they have looked into the option of teeing off their driveway, but it is not very feasible. She noted that their neighbors are all in support of adding the driveway.

Terry noted that he doesn't see any problems with setting a precedent. He also noted that he doesn't see any traffic-related problems. He added that this is a reasonable request.

Jorgensen noted that he thinks this is a very reasonable request and he is in support of approval.

Downie noted that he thinks other options should be explored before going with the off the curb driveway just due to convenience.

Terry noted that he would like to see the width of the driveway minimized.

**Commissioner Jorgensen moved and Commissioner Terry seconded to recommend approval to City Council with the conditions set forth in the provided Resolution.** Johnson asked any discussion? To the motion, all in favor say aye. **Johnson, Terry, Jorgensen -Aye.** Johnson asked any opposed? **Downie- Nay.** That motion passes. **Motion passes.**

This item goes before City Council on March 24, 2025.

**6.0 Public Hearing – Consider the request by applicant, Petra and Jon Fager, for an Interim Use Permit (IUP) for grazing of sheep at 20485 East Bethel Boulevard NE**

Peters reviewed staff's report stating the City received an application from Petra and Jon Fager for an IUP to allow grazing for sheep on a property owned by James Germain and located at 20845 East Bethel Boulevard NE. An IUP is required for the grazing of animals in East Bethel. The applicant intends to use 6.6 acres of the land for grazing of sheep. The property is guided Rural Residential and zoned RR- Rural Residential. The property to the north, south, east, and west are all guided and zoned the same.

Peters added that 10 standards need to be met for IUP approval. Staff found that the general and animal standards have been met.

Johnson opened the public hearing at 7:30 p.m.

Petra addressed some concerns that were brought up by neighbors and by the Commission.

Johnson closed the public hearing at 7:37 p.m.

Johnson noted that she is concerned about the sheep getting out.

Terry noted that he will be abstaining due to a personal relationship with the Fagers.

**Commissioner Downie moved and Commissioner Jorgensen seconded to recommend approval to City Council with the conditions set forth in the provided Resolution.** Johnson asked any discussion? To the motion, all in favor say aye. **Johnson, Downie, Jorgensen -Aye; Terry- Abstain.** Johnson asked any opposed? That motion passes. **Motion passes.**

This item goes before City Council on March 24, 2025.

**7.0 Public Hearing – Consider the request by applicant/owner, Matthew Chacich, for “Blanco de Cola Pradera” a Preliminary Plat for three lots located at PID #26-33-23-32-0012 and #26-33-23-23-0001.**

Lindahl stated that Matt Chacich has applied for a Preliminary Plat of a three-lot subdivision named “Blanco de Cola Pradera.” The property is guided Rural Residential and Zoned Rural Residential.

Lindahl noted that when reviewing a Preliminary Plat, the City's discretion is limited to whether the proposed plat meets the standards outlined in the City's subdivision and zoning ordinance. If it meets the standards, the city must approve the plat.

90 Lindahl added that the City Engineer has reviewed and provided comments with conditions of approval.  
91 Anoka County has also reviewed and provided comments.

92 Lindahl noted that staff recommends approval.

93 Johnson opened the public hearing at 7:43 p.m.

94 Matt Chacich shared information on why he would like to split the land.

95 Johnson closed the public hearing at 7:47 p.m.

96 Lindahl noted that there are no concerns and it meets Code.

97 **Commissioner Terry moved and Commissioner Downie seconded to recommend approval to City**  
98 **Council with the conditions set forth in the provided Resolution.** Johnson asked any discussion? To  
99 the motion, all in favor say aye. **All in favor.** Johnson asked any opposed? That motion passes.  
100 **Motion passes unanimously.**

101 This item goes before City Council on March 24, 2025.

102  
103 **8.0 Public Hearing – Consider the request by applicants, Troy and Laurie Slater, for a zoning map**  
104 **amendment to rezone a property from Rural Residential to Agriculture at 22206 Durant St NE**

105 Peters reviewed staff's report stating that the City received an application from the property owner to  
106 rezone the property located at 22206 Durant St NE. The property is guided as Rural Residential. The  
107 request is to rezone from Rural Residential to Agriculture.

108 Peters noted that the request is consistent with the Comprehensive Plan. The applicant has indicated the  
109 intent to build more accessory structures if approved.

110 Johnson opened the public hearing at 7:51 p.m.

111 Troy Slater provided his reasons for wanting to rezone his property.

112 Terry noted that he has no problems with the rezoning.

113 Johnson closed the public hearing at 7:55 p.m.

114 Johnson asked how difficult it is to change the zoning.

115 Lindahl noted that the Met Council does not review zoning, but they do review the Land Use Plan that is  
116 in the Comprehensive Plan. Since this property is not proposing to change the Land Use designation, the  
117 City has discretion in this decision.

118 **Commissioner Downie moved and Commissioner Terry seconded to recommend approval to City**  
119 **Council with the conditions set forth in the provided Resolution.** Johnson asked any discussion? To  
120 the motion, all in favor say aye. **All in favor.** Johnson asked any opposed? That motion passes.  
121 **Motion passes unanimously.**

122 This item goes before City Council on March 24, 2025.

123  
124 **9.0 Adjournment**

125 **Commissioner Downie moved and Commissioner Terry seconded to adjourn at 8:01 p.m.** Johnson  
126 asked any discussion? To the motion, all in favor say aye. **All in favor.** Johnson asked any opposed?  
127 That motion passes. **Motion passes unanimously.**

128 Submitted by:

129 Sylvia Rokosz

130 *TimeSaver Off Site Secretarial, Inc.*

**City of East Bethel  
Planning Commission Meeting  
Agenda Item Information**



**Date:** March 25, 2025

**Agenda Item Number:** 5

**Request:** **PUBLIC HEARING.** A Site Plan and Conditional Use Permit (CUP) for a second building on one lot located at 18750 Ulysses St. NE (city file 25-004)

**Review Deadline:** April 25, 2025

**Background Information/Context**

On June 14, 2021, the City Council approved Resolution 2021-33 that approved the site plan for the warehouse/distribution center that is currently located on the south portion of the lot located at 18750 Ulysses St NE. The approved site plan showed a concept plan with a second building of similar size and location to the current application.

The City received an application for a Site Plan and Conditional Use permit for a second building on one lot on January 30, 2025, located at 18750 Ulysses St NE. The lot is 5.6 acres and currently has one industrial building that is 23,585 sq. ft. in size and the proposal for the second building is similar to the concept plan reviewed in 2021.

The parcel is guided Light Industrial and zoned I- Light Industrial. The properties to the north, west, and south, this parcel are all guided and zoned the same. The parcels to the east is guided Commercial and zoned B-3- Highway Business.

**Analysis**

When reviewing a Site Plan and a Conditional Use Permit (CUP), the City's discretion is limited to whether the proposed site plan and CUP meets the standards outlined in the City's subdivision and zoning ordinance. If it meets the standards, the city must approve the site plan and the CUP. However, both items should be reviewed independently.

The applicant intends to build a second building on an existing lot of record, and this will require a CUP. The site plan is for the second building and Section 48 (Light Industrial District) requires a CUP for "Two or more buildings on same lot provided such buildings relate to the permitted use and meeting the requirements of the Minnesota State Building Code".

The Planning Commission should evaluate the request for compliance with the general CUP ordinance standards in Section 4, Subd. 9. (D) of the Zoning Ordinance as noted below:

- 1) *The planning commission shall consider if the proposed use is consistent with the general purpose and intent of this chapter and the comprehensive plan. Its judgment shall be based upon, but not limited to, the following:*
  - a) *The impact of the proposed use on the health, safety, and general welfare of the occupants of the surrounding lands;*

The CUP will not impact health, safety and welfare of the occupants on surrounding land. The warehousing and office use expected for this property will have minimal day-to-day impacts to the existing intensity and use of surrounding properties and the neighborhood.

*b) Existing and anticipated traffic conditions, including parking facilities on adjacent streets and lands;*

Additional parking is provided for this property, as well as expanded maneuvering space for loading docks on the existing and proposed buildings. The use will be similar to that of the existing building and is a warehousing and storage use with normal traffic expected for shipping and distribution.

*c) The effect of the proposed use on public utilities;*

The new building will make new connections to the utilities provided on Ulyssess Street. The impact of these is not expected to exceed the capacity currently found on these utilities. The existing stormwater facilities were also developed with this plan in place for a second building and additional parking surfaces. The concept plan showed a smaller building and different parking alignment, which means stormwater will need to be reevaluated. The site plan is not expected to have significant impact on existing utilities.

*d) The effect of the proposed use on property values;*

The second building is not expected to have a negative impact on surrounding property values.

*e) The effect of the proposed use on the comprehensive plan;*

None, as this property is guided and zoned Light Industrial. The use is compatible with the land use anticipated in this district.

*f) The ability of the proposed use to meet the standards of this chapter;*

The proposal meets the site plan standards in the Zoning Ordinance as noted below.

*g) The results of a market feasibility study, if requested by the city, when the purpose for which the conditional use is being requested relies on a business market for its success;*

N/A

*h) The effects of the proposed use on groundwater, surface water, and air quality;*

The impact of this second building was anticipated when the existing building was developed, and stormwater and drainage was designed as such. However, the layout of the building, size, parking and access have changed. The applicant's plans will need to demonstrate that no change is expected on the existing effect on ground water, surface water and air quality.

*i) The proposed use is allowed with a CUP or IUP in the zoning district in which it is proposed; and*

This is a use (two buildings on one lot) allowed by a CUP in the I district.

*j) The effect of the proposed use on natural resources.*

The use is not expected to have an impact outside of stormwater considerations on natural resources on the site.

The Planning Commission should evaluate the request for compliance with the Site Plan ordinance standards in Section 4, Subd. 12. (E.6) of the Zoning Ordinance as noted below:

*6) In evaluating its recommendation and approval, the planning and commission and city council shall take into consideration the following:*

*a) Consistency with the city comprehensive plan;*

This property is guided and zoned Light Industrial. The use is compatible with the land use anticipated in this district and consistent with the future land uses planned for this area in the Comprehensive Plan.

*b) Compliance with this ordinance;*

This site is located in the I- Light Industrial District. This site is also located within 1,320 ft. from Highway 65, which adds additional design and architecture requirements. The following requirements are met:

Setbacks and Coverage

The second building meets the required setbacks and does not change the setbacks for the existing building on the lot.

The existing building is 23,585 sq. f.t and the proposed building is 15,888 sq. ft. equaling to 39,473 sq. ft. total for the lot. This would be 16.18% building coverage and total lot coverage of 64.6%, which is below the allowed 80%.

Parking and Access

The parking and loading area of the proposed building will be combined with the existing building. This will allow for better maneuverability for trucks getting into and out of the loading docks for both buildings. Additionally, they will share the existing access onto Ulyssess Street to the east.

The existing site has 38 parking stalls shown, which is 14 more than required. No changes are planned for these existing parking stalls. The proposed building, using a similar calculation method, would require 33 parking stalls. The plans show 36 parking stalls.

Architecture

This site is located within 1,320 feet of the centerline of the ROW of Highway 65 and required to follow a certain set of architectural design in the Light Industrial district. These are found in Section 28 subd. 3. (B). The exterior elevations provided and renderings of the building show compliance with these standards. This includes an approved mix of allowed materials, and a minimum of 20% glass on the façade facing the street on the east side of the building.

The renderings provided by the applicant show short wing walls for the loading docks. However, Section 23-1 subd. (g) requires screening of all loading docks from the public ROW. The applicant will need to revise the plans and raise these wing walls to screen the loading docks as is found on the existing building on the lot.

## Landscaping

Currently, the landscape plan shows one new tree and relocating seven existing trees from elsewhere on site plus 57 new shrubs. The size of the building would require seven trees and 50 shrubs. While the plans show enough shrubs, the applicant is using existing trees to meet the requirements for landscaping.

The existing conditions plans provided by the applicant do not show the landscaping for the entire site. As part of the original approvals, the applicant was required to provide 11 trees and proposed planting 29 trees. The new building required seven new trees, which would be a total of 18 trees required on site. The City may require additional landscaping as necessary to provide adequate screening.

Deciduous trees must be a minimum 2 ½ caliper inches and coniferous trees must be a minimum of 6 feet in height and no more than 50% of the trees may be of one species. Staff has included a condition requiring the applicant to provide updated existing conditions and landscape plans for the entire site showing compliance with these minimum requirements.

## Lighting and Utilities

The existing lighting on the lot and the proposed lighting generally meet the standards found in Section 26 of the Zoning Ordinance. However, the light poles shown on the plans need to be revised to be less than 30 ft tall as required by Section 26 of the zoning ordinance. This has been added as a condition of approval.

## Stormwater Management

The applicant needs to provide a Stormwater Management Plan that is certified by a licensed Minnesota professional engineer.

*c) The preservation of the site in its natural state, to the extent practicable, by minimizing tree loss, soil removal, and grading;*

The new building will require minimal grading and will preserve existing trees that were planted as part of the original site development. The site was graded flat with the expectations of this development when the first building was built.

*d) The harmonious relationships between buildings, open spaces, natural site features, architectural details, and vehicular and pedestrian circulation;*

The second building will match the character and nature of the existing one and will allow for better access and use of the site for the loading docks and vehicles accessing them. Also, the site preserves existing natural features by moving trees rather than removing them and maintaining the existing infiltration basin and stormwater pond. There are no changes to the existing pedestrian access or vehicle access to the site. The architectural design of the building is cohesive with the other building on the lot and those in the surrounding neighborhood.

*e) The protection of adjacent and neighboring properties.*

The development is in the middle of an industrial business park and will fit into the existing development of the neighborhood. The use of the existing building is compatible with the planned building and matches the general neighborhood use and intensity.

## Engineering

The City Engineer is reviewing the plans and will provide written comments. Compliance with the City Engineer's comments has been added as a condition of approval.

## Summary

The Site Plan and Conditional Use Permit for a second building on one lot requests meet the standards in the code and is generally consistent with the concept plan previously reviewed by the city.

## Requested Action

In consideration of the request, the Planning Commission has the following options:

### A) Recommend approval

Based on the applicant's submission, the contents of this report, public testimony and other evidence available to the Planning Commission, the Planning Commission could recommend approval of the Site Plan and Conditional Use Permit for a second building on one lot located at 18750 Ulysses St. NE A draft resolution with findings of fact and conditions of approval has been included in the packet.

### B) Recommend denial

Based on the applicant's submission, the contents of City Staff report, public testimony and other evidence available to the Planning Commission, the Planning Commission could recommend denial of the request.

- This option should be utilized if the Planning Commission can specifically identify one or more provisions of City Code that are not being met by the Site Plan and CUP request. *Staff does not recommend this option.*

## Attachments:

1. Draft Resolution approving the Site Plan and Conditional Use Permit
2. Location Map
3. Applicant Response letter dated February 25, 2025
4. Architectural Plans
5. Civil Plans

**CITY OF EAST BETHEL  
COUNTY OF ANOKA  
STATE OF MINNESOTA**

**RESOLUTION NO. 2025-XX**

A RESOLUTION APPROVING A SITE PLAN AND GRANTING AN CONDTIONAL USE PERMIT FOR A SECOND BUILDING ON PROPERTY LOCATED AT 18750 ULYSSES STREET NE, EAST BETHEL, MINNESOTA (PIN: 32-33-23-21-0017).

**WHEREAS**, the applicant, Kristin Erickson of Classic Construction Inc., with permission from Lakeland Investors Inc., the property owner of 18750 Ulysses Street NE, requested a site plan and conditional use permit for a second building on one lot, and;

**WHEREAS**, the Planning Commission held a public hearing on March 25, 2025; and,

**WHEREAS**, the Planning Commission finds:

1. This property is zoned (I) Light Industrial and two or more buildings on one lot is allowed as a Conditional Use within this district.
2. The application complies with the general Conditional Use Permit (CUP) standards in Section 4, Subd. 9. (D) of the Zoning Ordinance, as outlined in the March 25, 2025 Planning Commission report.
3. The application complies with the Site Plan standards in Zoning Ordinance, as outlined in the March 25, 2025 Planning Commission report.

**WHEREAS**, the Planning and Zoning Commission recommends to the City Council approval of the site plan and conditional use permit.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of East Bethel hereby approves the site plan and conditional use permit for a second building on one lot on property located at 18750 Ulysses Street NE with the following conditions:

1. Applicant must submit an updated landscape plan for the entire lot that complies with the landscaping regulations in Section 27 of the Zoning Ordinance.
2. The loading docks must be screened as required in Section 23-1 subd. G of the Zoning Ordinance.
3. All light poles shall be less than 30 feet tall. Plans shall be revised to show compliance.
4. The Applicant shall satisfy any and all comments on the site plan from the City Engineer prior to applying for a building permit. The City Engineer will determine when all items have been addressed.

Adopted this xx<sup>th</sup> day of April, 2025 by the City Council of the City of East Bethel.

CITY OF EAST BETHEL

ATTEST

\_\_\_\_\_  
Ardie Anderson, Mayor

\_\_\_\_\_  
Matt Look, City Administrator

# Location Map- Site Plan and CUP



-  Parcels
-  City Mask

1 inch equals 723 feet



# Rosa Architectural Group, Inc.



1084 Sterling Street ♦ St. Paul, MN 55119-3611  
Phone 651-366-7971 ♦ e-mail:rosarchgrp@msn.com

February 25, 2025

Kendra Lindahl, AICP  
East Bethel City Planner  
City of East Bethel  
2241 221<sup>st</sup> Avenue NE  
East Bethel, MN 55011

## **Responses to Planning Letter dated 2-6-2025 for the new Lakeland Building at 18750 Ulysses Street NE, East Bethel, MN 55011 Planning File 25-24**

Dear Ms. Lindahl:

The following are responses to the project File 25-04 review letter:

### **1. Current Title Work**

The proposed building will be a 2<sup>nd</sup> building on the Pan-O-Gold property. The property is owned by Lakeland Investors, Inc. Lakeland Investors own and lease the Pan-O-Gold Building to Pan-O-Gold, they will also own the proposed Lakeland Building and will also be leasing the building to tenants. So, they will be owning two buildings on the property. The buildings are compliant with area and height limits per the MN SBC and can be considered one building for this compliance. The property will be considered one property with two buildings. No required Title work for the project is anticipated.

### **2. Narrative of proposed Lakeland Building**

The proposed Lakeland Building will be constructed and owned by the owner of the Pan-O-Gold building, Lakeland Investors, Inc.. Both buildings will be built on one property. The Lakeland building will be a leased building, as is the Pan-O-Gold building, and is designed as a shell building without a known tenant. The building is designed to have one or two tenants, this will be determined through the leasing process. The type of tenant to be pursued will be small to medium-sized companies with manufacturing and warehousing needs with probable small office space, or possibly just a warehousing tenant with maybe a small office area. Other possible tenants could be a small service company. The project shell plans have been developed with these types of intended users. Parking has been designed with an estimated 10% office component and a 90% Manufacturing / Warehouse component [70% manuf, 30% warehouse of the 90% number]. These breakdowns are noted on the Site Plan sheet A-1.1.

### **3. Updated Lighting Plan**

An updated lighting plan with cut sheets has been prepared and is added to this submittal package.

#### **4. Updated Landscape Plan**

The floor areas on the various project sheets have been adjusted to reflect the same amounts. The proposed trees to be removed and relocated are shown on the site demo plan sheet A-0.1. These 7 relocated trees are trees that were added to the original development of the Pan-O-Gold property and are trees that are over the minimum quantity required for the Pan-O-Gold Landscape plan requirements. These trees were never shown and were not a part of the original Landscape plan. As the trees are in good condition it makes sense to use them for partial compliance with the Lakeland Building Landscape plan requirements. We have noted where these trees are to be relocated on Landscape Plan sheet L-1.1.

#### **5. Updated Building Plans**

Please see included with this submittal drawings of colored building elevations and perspectives indicating the look and images of the proposed Lakeland Building.

Please see on sheet A-3.1, Building Elevations, the percentages of the building materials as noted for glass, architectural colored precast wall panel areas and colored accent stripe areas on each exterior façade,

#### **6. Updated Site Plan**

Building and Parking setbacks have been added to Site Plan sheet A-1.1 and to an added sheet A-1.3 which we have called Building and Parking setbacks. The sheet is at a small scale to show the complete property with both buildings.

#### **7. Signage Plan**

Currently, specific signage for the future building tenants is unknown. We are showing, on the colored elevations and perspective drawings, the location where tenant signage would be placed on the South Elevation. Once specific signage is determined by a tenant it will need to be submitted to the City for review and approval for permit.

#### **8. Trash Enclosure**

The existing trash enclosure will be removed and rebuilt in the new location depicted on the Site Plan sheet A1.1. The trash enclosure is large and will be adequate for both buildings. The trash needs for the Pan-O-Gold building are almost negligent as the building is used as short term warehousing for bread distribution pick-up. Two trash enclosure doors are provided with 10 feet clear space at each door, the interior depth of the trash enclosure is 9 feet four inches.

Thank you, Kendra, for your review of the proposed project. Please contact me if you have any questions with my responses or if you need any additional information. I look forward to the project moving ahead.

Sincerely,



Russ Rosa, Project Architect

# LAKELAND BUILDING

## EAST BETHEL, MINNESOTA

Rosa  
Architectural  
Group  
Inc.

1084 Sterling Street  
St. Paul, Minnesota 55119  
tel: 651-739-7988  
fax: 651-739-3165

LAKELAND  
BUILDING

18750 ULYSSES ST. NE  
EAST BETHEL, MN 55011

CLASSIC  
CONSTRUCTION

PH: 763-434-8870  
18542 ULYSSES ST. NE  
EAST BETHEL, MN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: \_\_\_\_\_

SIGNED: \_\_\_\_\_

DATE: \_\_\_\_\_ REG. NO. \_\_\_\_\_

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: \_\_\_\_\_

SIGNED: \_\_\_\_\_

DATE: \_\_\_\_\_ REG. NO. \_\_\_\_\_

PROJECT NUMBER: 22501

DATE: FEBRUARY 24, 2025

DRAWN BY: JL

CHECKED BY: RR

REVISIONS: \_\_\_\_\_

TITLE SHEET

T1.1

### ABBREVIATIONS

AB.	ANCHOR BOLTS	INSUL.	INSULATION
AFF.	ABOVE FINISHED FLOOR	INT.	INTERIOR
ADJ.	ADJUSTABLE	J.	JOIST
ALT.	ALTERNATE	JT.	JOINT
ALUM.	ALUMINUM	KIT.	KITCHEN
APPROX.	APPROXIMATE	LAB.	LABORATORY
ARCH.	ARCHITECTURAL	LAM.	LAMINATED
BD.	BOARD	LAV.	LAVATORY
BFE.	BOTTOM OF FOOTING	LTG.	LIGHTING
	ELEVATION	MAX.	MAXIMUM
BM.	BEAM	MECH.	MECHANICAL
BM.	BENCH MARK	MTL.	METAL
BIT.	BITUMINOUS	MEZ.	MEZZANINE
BLDG.	BUILDING	MFR.	MANUFACTURER
BLK.	BLOCK	M.H.	MANHOLE
BOT.	BOTTOM	MIN.	MINIMUM
B5MT.	BASEMENT	MISC.	MISCELLANEOUS
BLKG.	BLOCKING	M.O.	MASONRY OPENING
CAB.	CABINET	MULL.	MULLION
CFT.	CARPET	N.C.	NOT IN CONTRACT
C.T.	CERAMIC TILE	N.T.S.	NOT TO SCALE
C.I.	CAST IRON	O.C.	ON CENTER
C.J.	CONSTRUCTION JOINT	O.D.	OUTSIDE DIAMETER
CL.	CENTER LINE	O.H.	OVERHEAD
COL.	COLUMN	FL.	FLATE
CONC.	CONCRETE	FL.Y.WD.	PLYWOOD
C.M.U.	CONCRETE MASONRY UNIT	FR.	FAIR
	CONSTRUCTION	FT.	FAINT
CONST.	CONTINUOUS	F.T.D.	PAPER TOWEL DISPENSER
CONTR.	CONTRACTOR	P.T.	PORCELAIN TILE
CSK.	COUNTERSINK	FFIN.	PREFINISHED
C.T.	CERAMIC TILE	Q.T.	QUARRY TILE
DEM.	DEMOLISH/DEMOLITION	R	RISERS (STAIR) OR RADIUS
DET.	DETAIL	RD.	ROOF DRAIN
D.F.	DRINKING FOUNTAIN	REINF.	REINFORCING
DIA.	DIAMETER	REQ'D.	REQUIRED
DIM.	DIMENSION	RM.	ROOM
DN.	DOWN	RWL.	RAIN WATER LEADER
DWG.	DRAWING	RO.	ROUGH OPENING
EA.	EACH	SND.	SANITARY NAPKIN DISPOSAL
EF.	EACH FACE	SHT.	SHEET
EL.	ELEVATION	S.V.	SHEET VINYL
ELEC.	ELECTRICAL	SIM.	SIMILAR
ELEV.	ELEVATOR	S.C.WD.	SOLID CORE WOOD
EQ.	EQUAL	S.V.T.	SOLID VINYL TILE
EQUIP.	EQUIPMENT	SPECB.	SPECIFICATIONS
E.W.	EACH WAY	SQ.	SQUARE
E.W.C.	ELECTRIC WATER COOLER	STD.	STANDARD
EXIST.	EXISTING	STL.	STEEL
EXP. JT.	EXPANSION JOINT	STRUCT.	STRUCTURAL
EXT.	EXTERIOR	T.	TREAD
E.I.F.S.	EXTERIOR INSUL. FINISH SYSTEM	T & B	TOP AND BOTTOM
		T & G	TONGUE AND GROOVE
F.D.	FLOOR DRAIN	T.H.	TEST HOLE
FDN.	FOUNDATION	T.F.E.	TOP OF FOOTING ELEVATION
F.E.	FIRE EXTINGUISHER	T.S.	TUBE STEEL
FWC.	FABRIC WALL COVERING	TYP.	TYPICAL
FIN.	FINISH	T.P.H.	TOILET PAPER HOLDER
FFE.	FINISHED FLOOR ELEVATION	UH.	UNIT HEATER
FL.	FLOOR	U.N.O.	UNLESS NOTED OTHERWISE
FT.	FOOT	V.B.	VAPOR BARRIER
FTG.	FOOTING	VERT.	VERTICAL
G.B.	GRAB BAR	VEST.	VESTIBULE
G.I.	GALVANIZED IRON	V.C.G.B.	VINYL COATED GYP. BOARD
GL.	GLASS	V.C.T.	VINYL COMPOSITION TILE
GR.	GRADE	V.W.C.	VINYL WALL COVERING
GYP.	GYP.	WDW.	WINDOW
HCPT.	HANDICAPPED	WGL.	WIRE GLASS
HB.	HOSE BIBB	W/	WITH
H.C.W.D.	HOLLOW CORE WOOD	W/O	WITHOUT
H.M.	HOLLOW METAL	W.W.F.	WELDED WIRE FABRIC
HOR.	HORIZONTAL	X	BY (AS 2 X 4)
HTR.	HEATER	X	WITH (HARDWARE)
I.D.	INSIDE DIAMETER		

### PROJECT INFORMATION

<u>OWNER:</u>	PAN-O-GOLD BAKING COMPANY
<u>BUILDING CODES:</u>	MINNESOTA STATE BUILDING CODE 2020 MINNESOTA ACCESSIBILITY CODE 2020 MINNESOTA STATE FIRE CODE - 2020 MINNESOTA ENERGY CODE - 2024 W/ ASHRAE 90.1-2019 WITH MINNESOTA AMENDMENTS
<u>DEFERRED SUBMITTALS:</u>	MECHANICAL: MN MECHANICAL & FUEL GAS CODE 2020 - INITIAL DESIGN BUILD FOR UNOCCUPIED SHELL BUILDING ELECTRICAL: MN ELECTRICAL CODE (2023 NEC) - INITIAL DESIGN BUILD FOR UNOCCUPIED SHELL BUILDING PLUMBING: MN PLUMBING CODE 2020 - INITIAL DESIGN BUILD FOR UNOCCUPIED SHELL BUILDING FIRE SFRINKLER: MN STATE FIRE CODE 2020 - INITIAL DESIGN BUILD FOR UNOCCUPIED SHELL BUILDING
<u>CONSTRUCTION TYPE:</u>	IBC CONSTRUCTION TYPE: 2B
<u>POSSIBLE TENANT OCCUPANCY CLASSIFICATIONS:</u>	B, S-1, F-1
<u>BUILDING HEIGHT:</u>	1 STORY
<u>FIRE SFRINKLER PROTECTION:</u>	BUILDING IS FULLY SFRINKLER PROTECTED
<u>ALLOWABLE BUILDING AREA:</u>	(BASED ON 508.3.2 NON SEPARATED USES, BASED ON MOST RESTRICTIVE F-1 OCCUPANCY) BASIC ALLOWABLE AREA FOR F-1 PER TABLE 506.2 = 62,000 SF. ACTUAL BUILDING AREA = 15,256 SF.
<u>REQUIRED EXITS AND MEANS OF EGRESS:</u>	PER IBC TABLE 1006.2.1 COMMON PATH OF EGRESS NOT TO EXCEED 100' FOR B, F & S OCCUPANCY, THREE EXITS PROVIDED PER EACH PROBABLE FUTURE TENANT SPACE.
<u>PLUMBING FIXTURES REQUIRED:</u>	REQUIRED PLUMBING FIXTURES SHALL BE SUBMITTED WITH FUTURE TENANT BUILD OUT PLANS.
<u>SHELL BUILDING INFORMATION:</u>	NOTE: WITH THE EXCEPTION OF THE FIRE SFRINKLER ROOM, THE REMAINING BUILDING IS A SHELL SPACE AND WILL BE UNOCCUPIED. WHEN TENANTS ARE SECURED THEY SHALL SUBMIT TENANT BUILD-OUT PLANS SPECIFIC FOR THEIR SPACE. THE INITIAL SHELL SPACE IS DESIGNED FOR 3 EXITS FROM EACH FUTURE TENANT AREA. EACH FUTURE TENANT SHALL HAVE ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND MODIFIED FIRE SFRINKLER PLANS, PREPARED AND SUBMITTED TO THE CITY OF EAST BETHEL BUILDING OFFICIAL FOR REVIEW AND APPROVAL AND ISSUANCE OF PERMITS PRIOR TO THE START OF ANY INTERIOR BUILDOUT WORK. ALL PLANS SHALL BE PREPARED AND SIGNED BY APPROPRIATE PROFESSIONALS AS REQ'D. BY THE BUILDING OFFICIAL.

### SHEET INDEX

#### ARCHITECTURAL

- T11 TITLE SHEET
- A0.1 DEMO SITE PLAN
- A1.1 SITE PLAN
- A1.2 SITE PLAN DETAILS
- A1.3 SITE PLAN WITH SETBACK LINES
- A2.1 FLOOR PLAN
- A3.1 ELEVATIONS
- A3.2 COLOR ELEVATIONS
- A3.3 COLOR PERSPECTIVES
- A4.1 BUILDING SECTIONS
- A5.1 WALL SECTIONS
- A5.2 WALL SECTIONS
- A6.1 DETAILS
- A6.2 DETAILS
- A7.1 SCHEDULES
- A8.1 ROOF PLAN

- L11 LANDSCAPE PLAN

#### STRUCTURAL

- S1.1 FOUNDATION PLAN
- S2.1 ROOF FRAMING PLAN
- S3.1 DETAILS
- S3.2 DETAILS & STRUCTURAL NOTES

#### CIVIL

- C0 TITLE SHEET, LEGEND, EXISTING CONDITIONS, & REMOVAL PLAN
- C1 GRADING, DRAINAGE & EROSION CONTROL PLAN
- C2 UTILITY PLAN
- C3.1 DETAILS & NOTES
- C3.2 DETAILS & NOTES
- C3.3 DETAILS & NOTES
- C3.4 DETAILS & NOTES
- C4.1 STORM WATER POLLUTION PREVENTION PLAN
- C4.2 STORM WATER POLLUTION PREVENTION PLAN

#### MISCELLANEOUS

DEFERRED SUBMITTALS SHALL BE PROVIDED AS REQ'D. BY THE DESIGN/BUILD CONTRACTORS.

MECHANICAL DESIGN BUILD  
ELECTRICAL DESIGN BUILD  
PLUMBING DESIGN BUILD



1 SOUTH ELEVATION  
A3.2 1/8" = 1'-0" (ON 24x36 SHEET)



2 EAST ELEVATION  
A3.2 1/8" = 1'-0" (ON 24x36 SHEET)



5 NORTHEAST ELEVATION  
A3.2 1/8" = 1'-0" (ON 24x36 SHEET)



3 WEST ELEVATION  
A3.2 1/8" = 1'-0" (ON 24x36 SHEET)



4 NORTH ELEVATION  
A3.2 1/8" = 1'-0" (ON 24x36 SHEET)

Rosa  
Architectural  
Group  
Inc.

1084 Sterling Street  
St. Paul, Minnesota 55119  
tel: 651-739-7988  
fax: 651-739-3165

LAKELAND  
BUILDING

18750 ULYSSES ST. NE  
EAST BETHEL, MN 55011

CLASSIC  
CONSTRUCTION

PH: 763-434-8870  
18542 ULYSSES ST. NE  
EAST BETHEL, MN

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DATE: FEBRUARY 24, 2025  
DRAWN BY: JL  
CHECKED BY: RR  
REVISIONS: \_\_\_\_\_

COLOR ELEVATIONS

A3.2



1 PERSPECTIVE ELEVATION  
A3.2 NOT TO SCALE



2 PERSPECTIVE ELEVATION  
A3.2 NOT TO SCALE



3 PERSPECTIVE ELEVATION  
A3.2 NOT TO SCALE



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COLOR PERSPECTIVES

A3.3

# Rosa Architectural Group Inc.

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## LAKELAND BUILDING

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EAST BETHEL, MN 55011

## CLASSIC CONSTRUCTION

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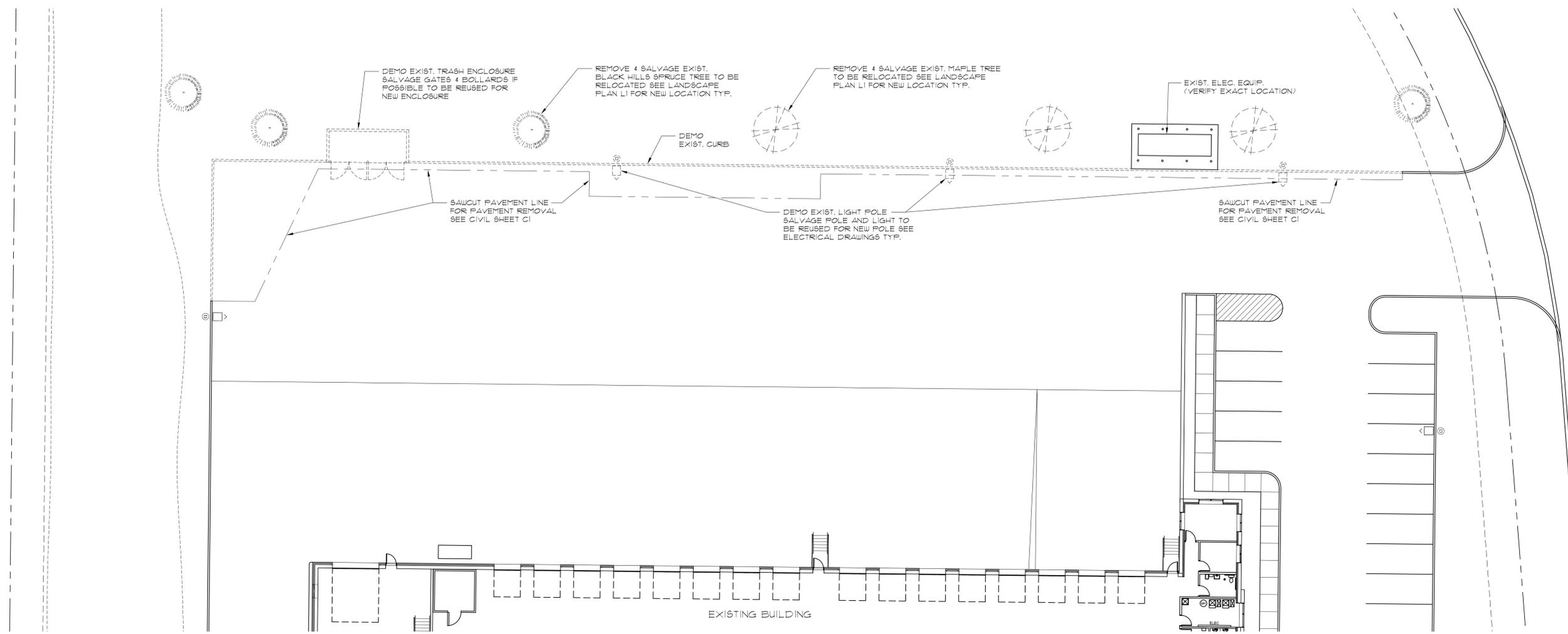
DRAWN BY: KF

CHECKED BY: RR

REVISIONS: \_\_\_\_\_

## DEMO SITE PLAN

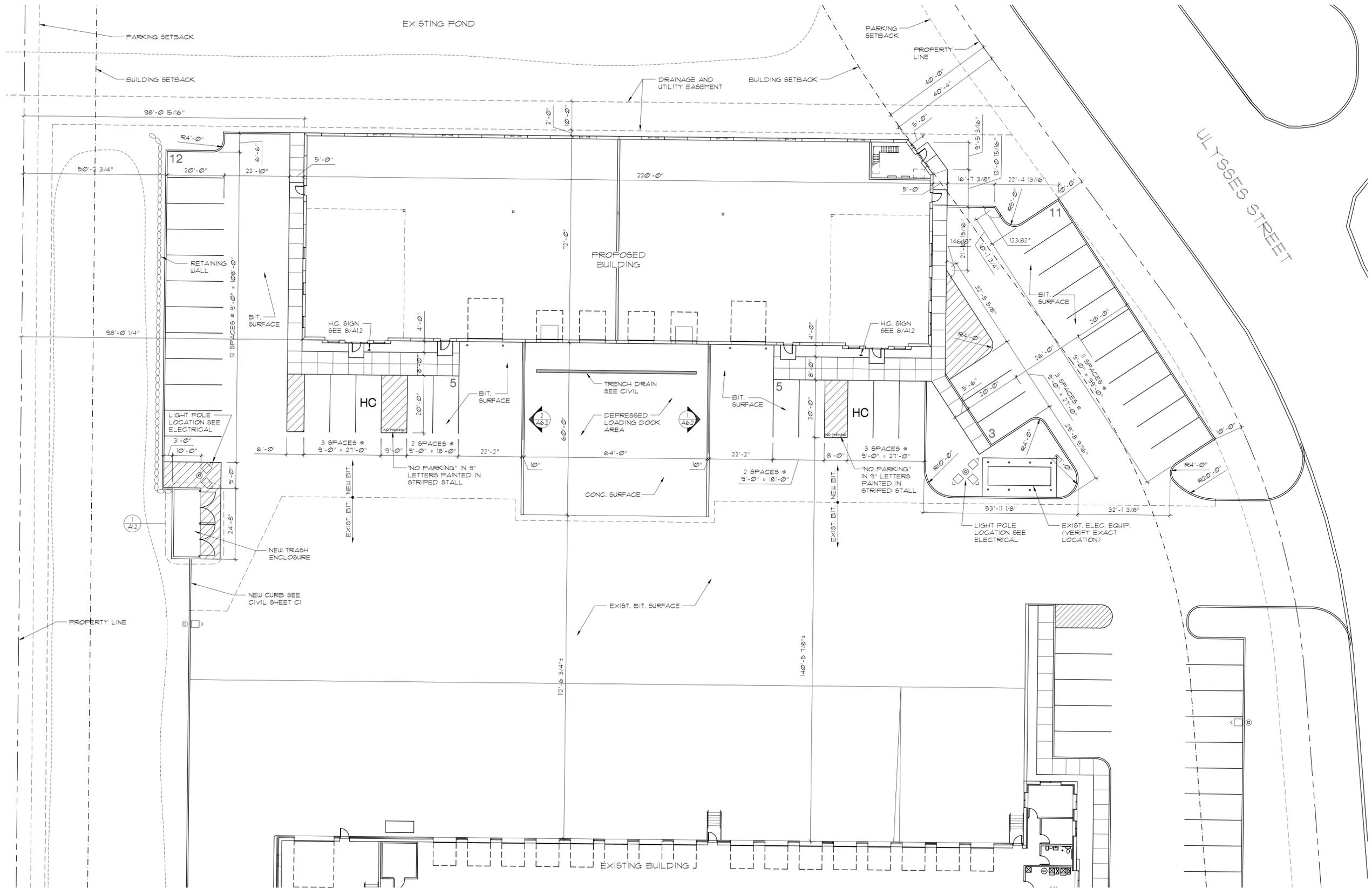
# A0.1



1 DEMO SITE PLAN  
A0.1 1/16" = 1'-0"



EXISTING BUILDING



**Rosa  
Architectural  
Group  
Inc.**

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**LAKELAND  
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REVISIONS: \_\_\_\_\_

**SITE PLAN**

**A1.1**

PER SECTION 22, PART 1, ITEMS #25, #27, #28  
ZONING CODE PARKING REQUIRED:  
1 PER 200 FOR OFFICE  
1 PER 350 FOR GARAGE/INDUSTRIAL  
1 PER 1,100 FOR WAREHOUSE

ITEM #25 - OFFICE:  
ITEM #27 - GARAGE SPACE:  
ITEM #28 - WAREHOUSE:

1 SITE PLAN  
A1.1 1/16" = 1'-0"



**EXISTING PAN-O-GOLD PARKING CALCULATIONS:**

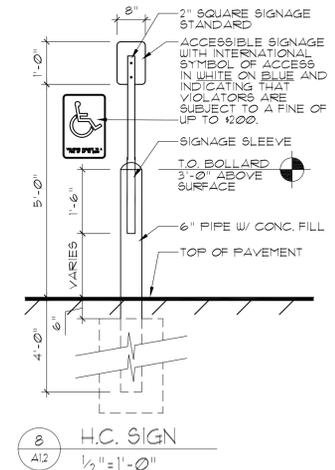
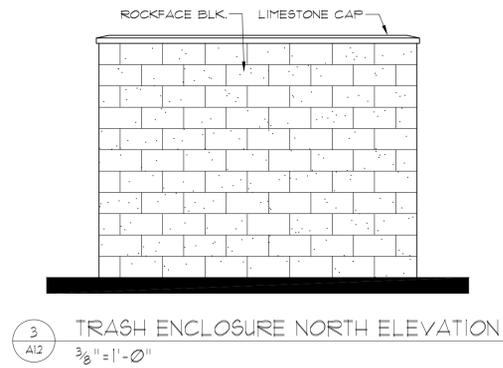
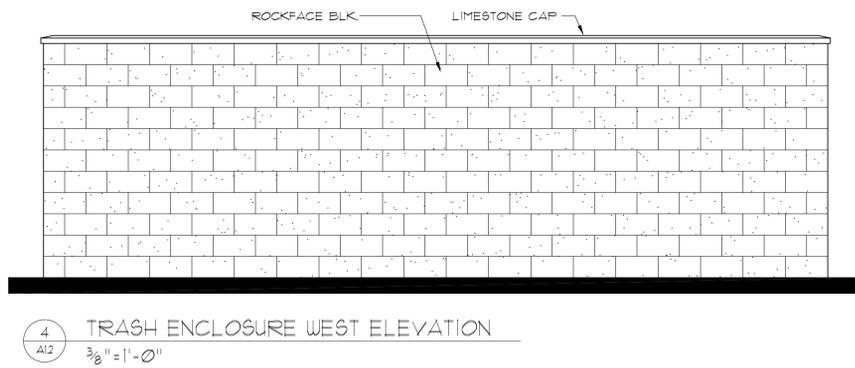
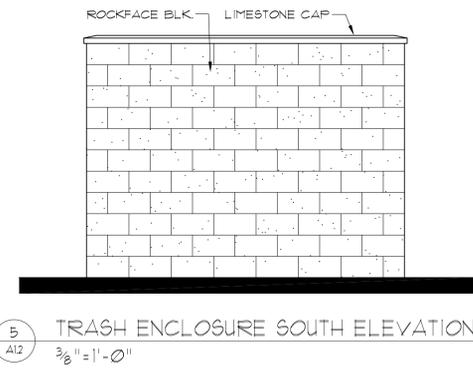
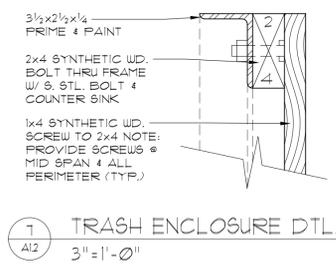
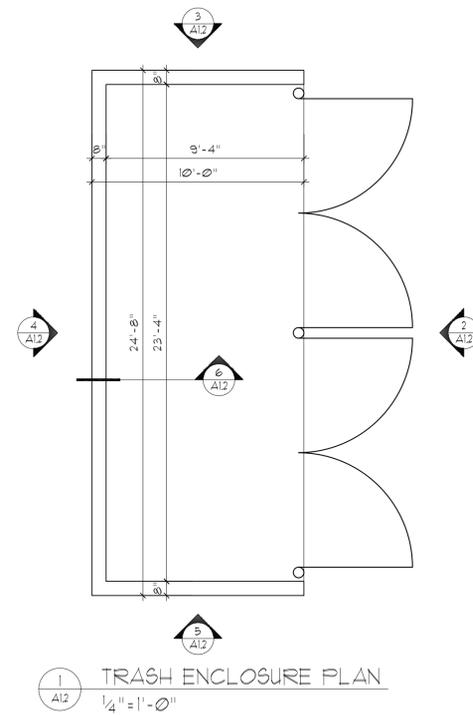
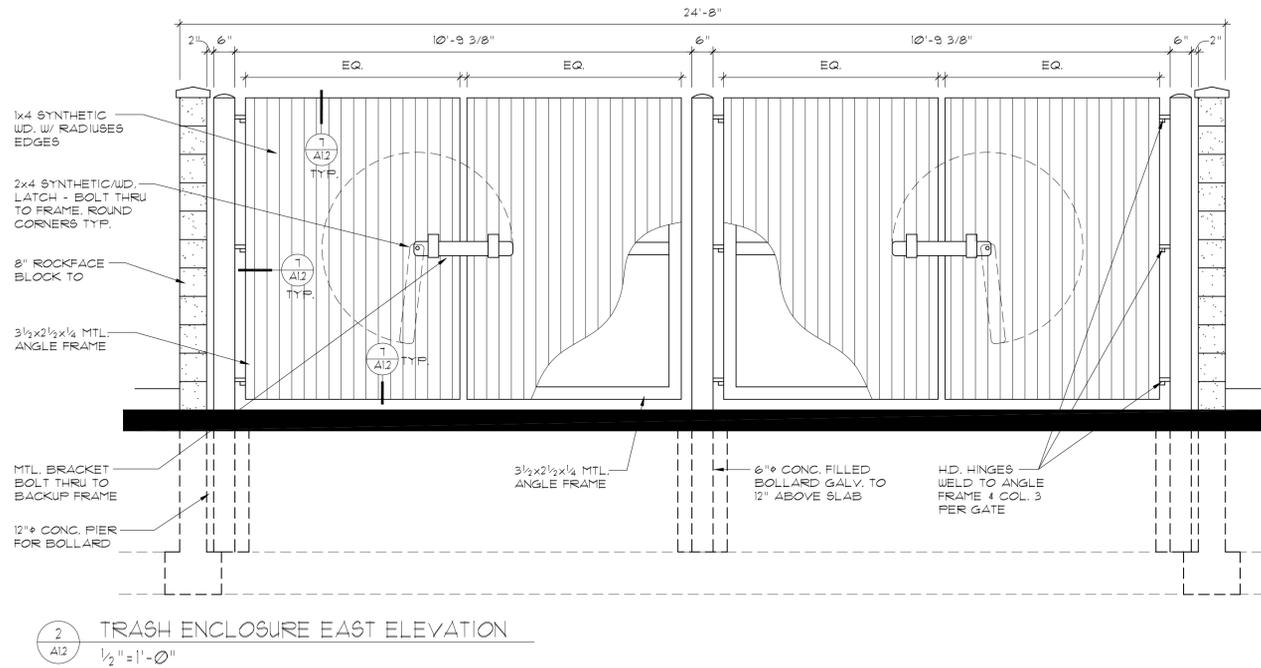
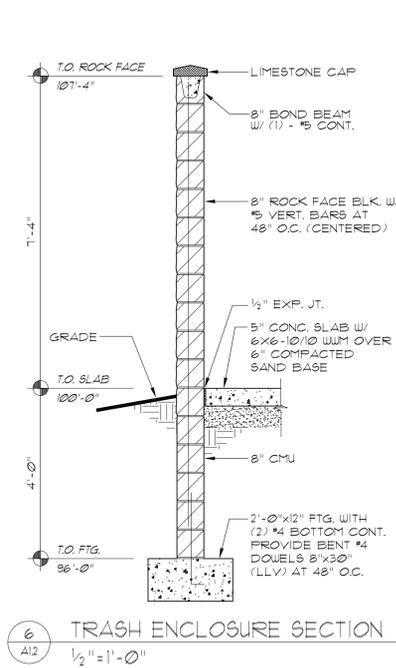
1,155.60 SF. / 200 = 5.78  
2652 SF. / 350 = 7.58  
17,111.50 SF. / 1,100 = 15.56  
TOTAL PARKING REQ'D. = 23.78 = 24  
PROVIDED PARKING = 38 STALLS (14 MORE THAN REQ'D.)

**NEW BUILDING AREA CALCULATIONS:**

TOTAL BUILDING FOOTPRINT: 15,256 SF.

**NEW BUILDING ESTIMATED PARKING CALCULATIONS:**

ESTIMATED OFFICE: 3,116 SF. / 200 = 15.58  
ESTIMATED MANUFACTURE @ 30%: (12,140 x .30) 3,642.0 SF. / 350 = 10.41  
ESTIMATED WAREHOUSE @ 70%: (12,140 x .70) 8,498.0 SF. / 1,100 = 7.72  
ESTIMATED WAREHOUSE (ABOVE OFF. IF PROVIDED): 3,116 SF. / 1,100 = 2.83  
TOTAL PARKING REQ'D. = 32.82  
PROVIDED PARKING = 36 STALLS



**Rosa Architectural Group Inc.**  
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**LAKELAND BUILDING**

18750 ULYSSES ST. NE  
 EAST BETHEL, MN 55011

**CLASSIC CONSTRUCTION**

PH: 763-434-8870  
 18542 ULYSSES ST. NE  
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 REVISIONS: \_\_\_\_\_

**SITE PLAN DETAILS**

**A1.2**

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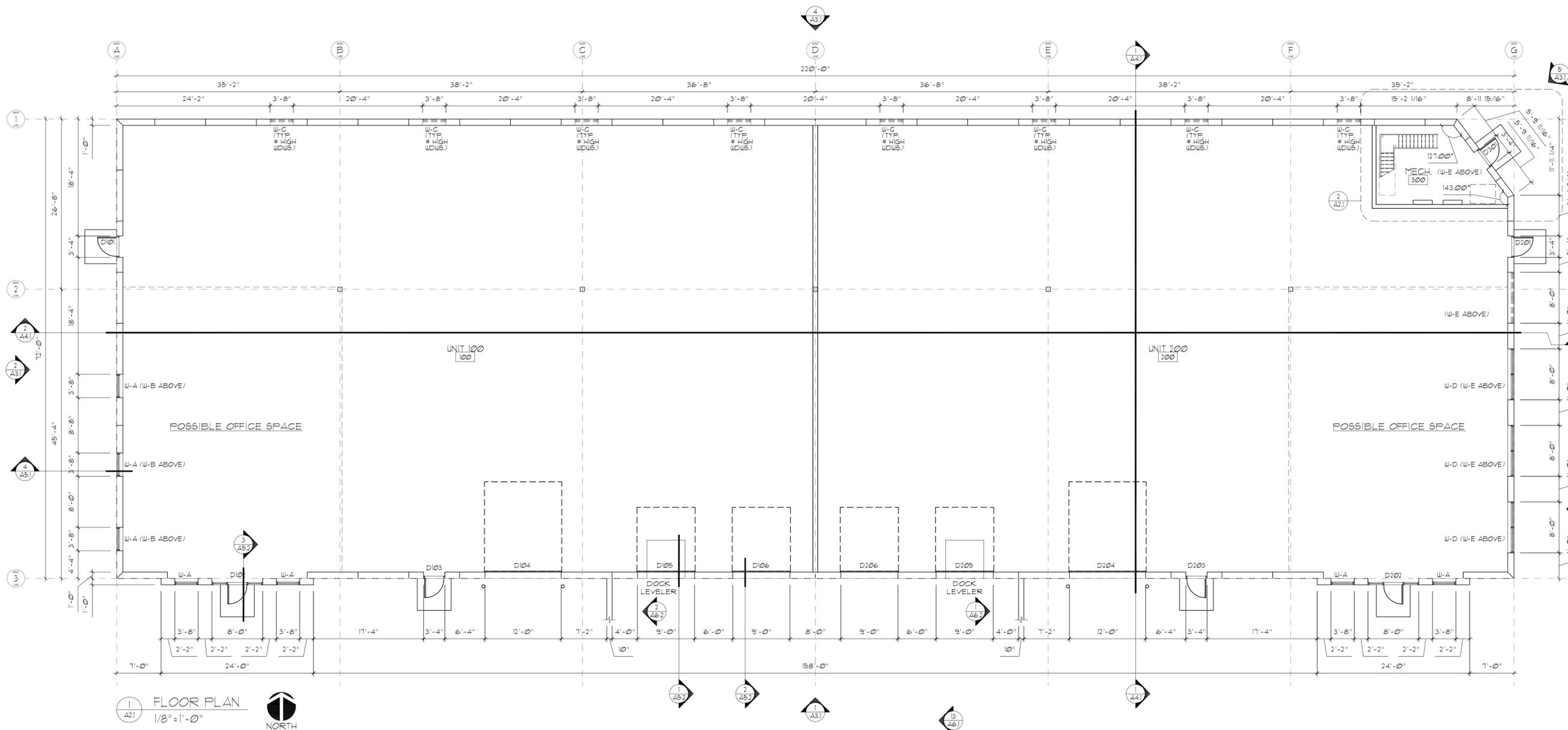
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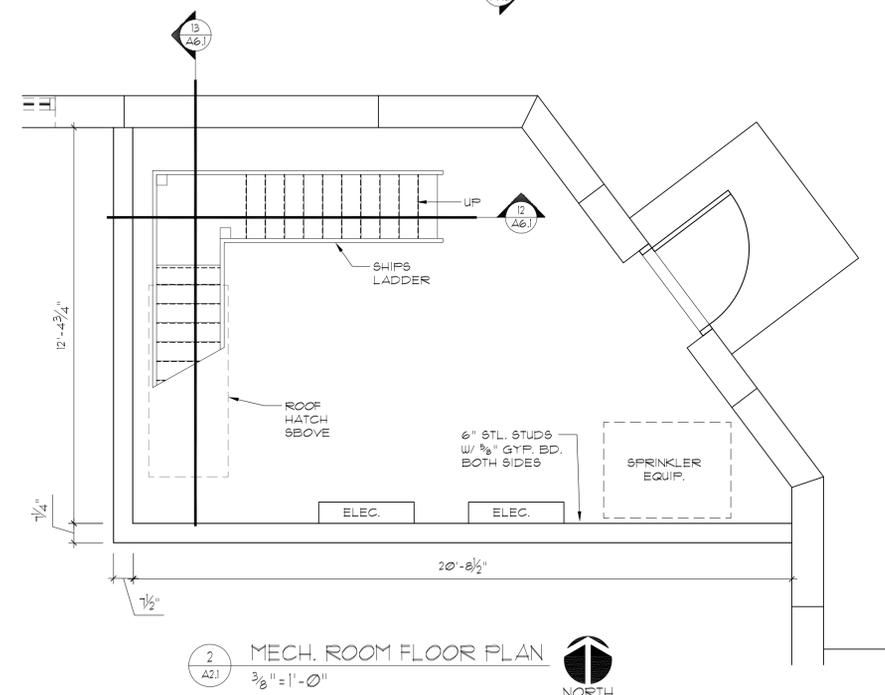
FLOOR PLAN

A2.1



1 FLOOR PLAN  
1/8" = 1'-0"  
NORTH

TOTAL BUILDING AREA = 15,256 S.F.



2 MECH. ROOM FLOOR PLAN  
3/8" = 1'-0"  
NORTH



LAKELAND BUILDING

18750 ULYSSES ST. NE EAST BETHEL, MN 55011

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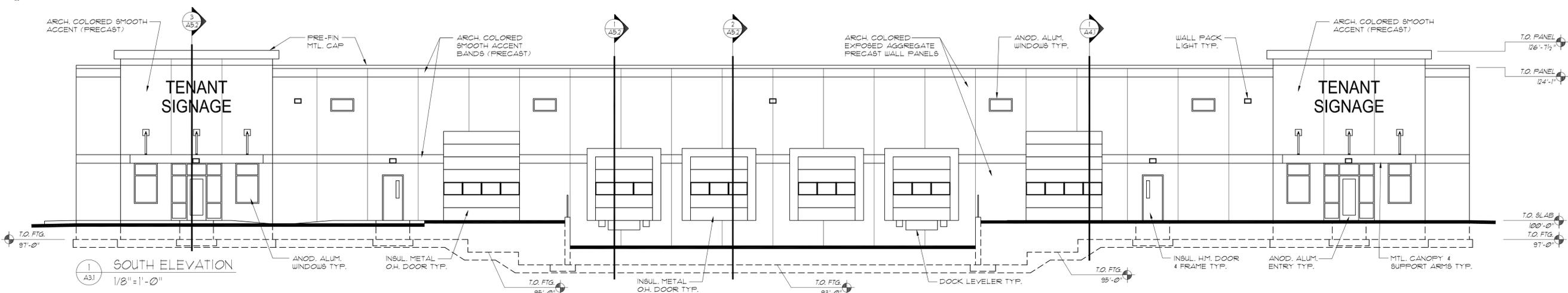
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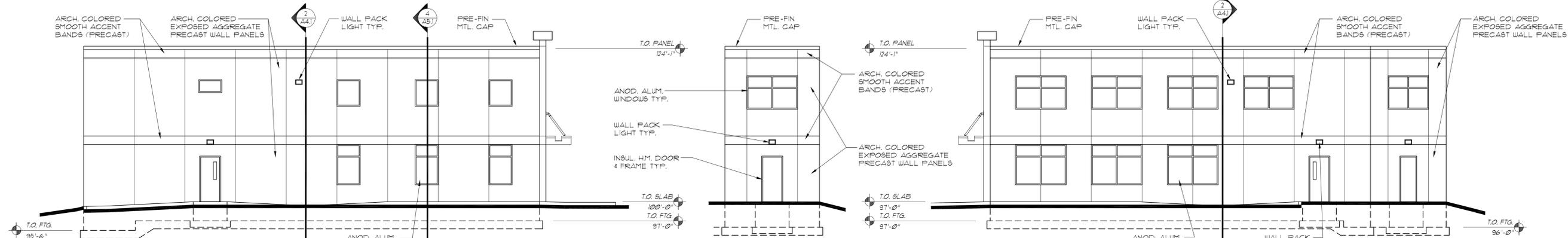
ELEVATIONS

A3.1



1 SOUTH ELEVATION 1/8" = 1'-0"

Table with 2 columns: WALL MATERIAL, AREA, %. It lists materials like ARCH. COLORED EXPOSED AGGREGATE (PRECAST), ARCH. COLORED SMOOTH ACCENT (PRECAST), ARCH. COLORED SMOOTH ACCENT BANDS (PRECAST), PREFINISHED METAL CAPS, ALUMINUM WINDOWS, HOLLOW METAL MAN DOORS, ALUMINUM STOREFRONT ENTRY DOORS, OVERHEAD AND LOADING DOCK DOORS, and PREFINISHED METAL CANOPIES.



2 WEST ELEVATION 1/8" = 1'-0"

Table with 2 columns: WALL MATERIAL, AREA, %. It lists materials like ARCH. COLORED EXPOSED AGGREGATE (PRECAST), ARCH. COLORED SMOOTH ACCENT (PRECAST), ARCH. COLORED SMOOTH ACCENT BANDS (PRECAST), PREFINISHED METAL CAPS, ALUMINUM WINDOWS, HOLLOW METAL MAN DOORS, ALUMINUM STOREFRONT ENTRY DOORS, OVERHEAD AND LOADING DOCK DOORS, and PREFINISHED METAL CANOPIES.

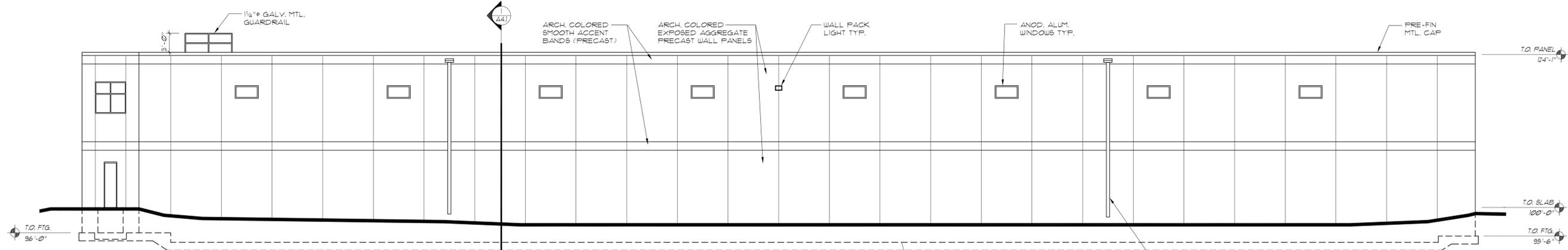
5 NORTHEAST ELEVATION 1/8" = 1'-0"

Table with 2 columns: WALL MATERIAL, AREA, %. It lists materials like ARCH. COLORED EXPOSED AGGREGATE (PRECAST), ARCH. COLORED SMOOTH ACCENT (PRECAST), ARCH. COLORED SMOOTH ACCENT BANDS (PRECAST), PREFINISHED METAL CAPS, ALUMINUM WINDOWS, HOLLOW METAL MAN DOORS, ALUMINUM STOREFRONT ENTRY DOORS, OVERHEAD AND LOADING DOCK DOORS, and PREFINISHED METAL CANOPIES.

3 EAST ELEVATION 1/8" = 1'-0"

Table with 2 columns: WALL MATERIAL, AREA, %. It lists materials like ARCH. COLORED EXPOSED AGGREGATE (PRECAST), ARCH. COLORED SMOOTH ACCENT (PRECAST), ARCH. COLORED SMOOTH ACCENT BANDS (PRECAST), PREFINISHED METAL CAPS, ALUMINUM WINDOWS, HOLLOW METAL MAN DOORS, ALUMINUM STOREFRONT ENTRY DOORS, OVERHEAD AND LOADING DOCK DOORS, and PREFINISHED METAL CANOPIES.

Table titled 'ULYSSES ST. NE FRONTAGE AREA CALCULATIONS:'. It lists materials like ARCH. COLORED EXPOSED AGGREGATE (PRECAST), ARCH. COLORED SMOOTH ACCENT BANDS (PRECAST), PREFINISHED METAL CAPS, ALUMINUM WINDOWS, HOLLOW METAL MAN DOORS, and their respective areas and percentages.



4 NORTH ELEVATION 1/8" = 1'-0"

Table with 2 columns: WALL MATERIAL, AREA, %. It lists materials like ARCH. COLORED EXPOSED AGGREGATE (PRECAST), ARCH. COLORED SMOOTH ACCENT (PRECAST), ARCH. COLORED SMOOTH ACCENT BANDS (PRECAST), PREFINISHED METAL CAPS, ALUMINUM WINDOWS, HOLLOW METAL MAN DOORS, ALUMINUM STOREFRONT ENTRY DOORS, OVERHEAD AND LOADING DOCK DOORS, and PREFINISHED METAL CANOPIES.

LAKELAND  
BUILDING

18750 ULYSSES ST. NE  
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CLASSIC  
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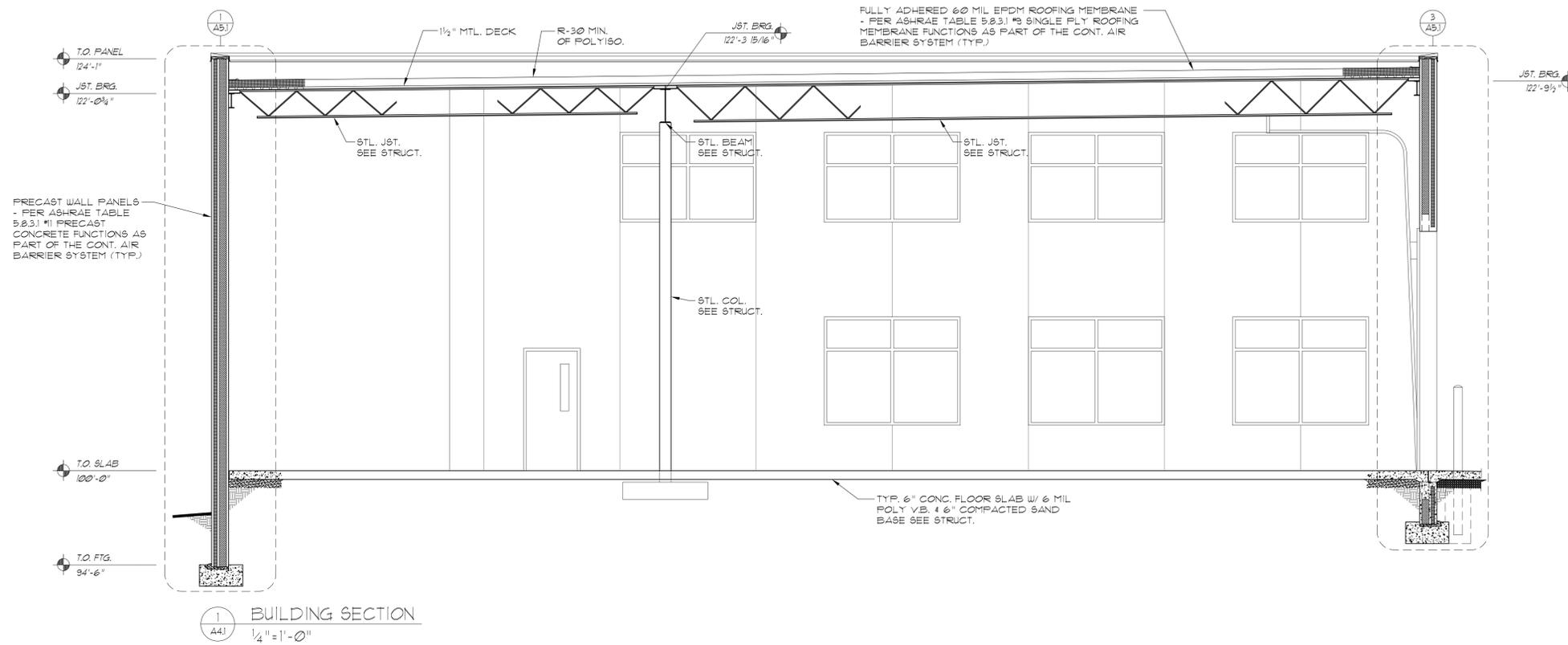
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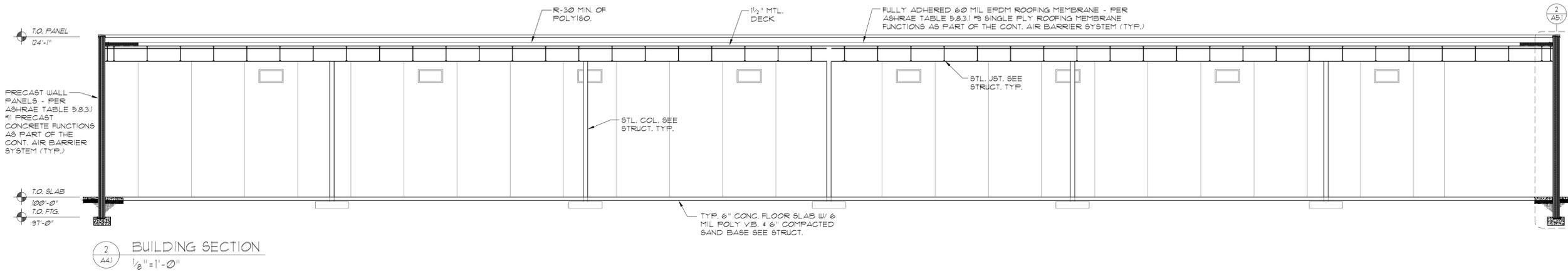
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REVISIONS: \_\_\_\_\_

BUILDING SECTIONS

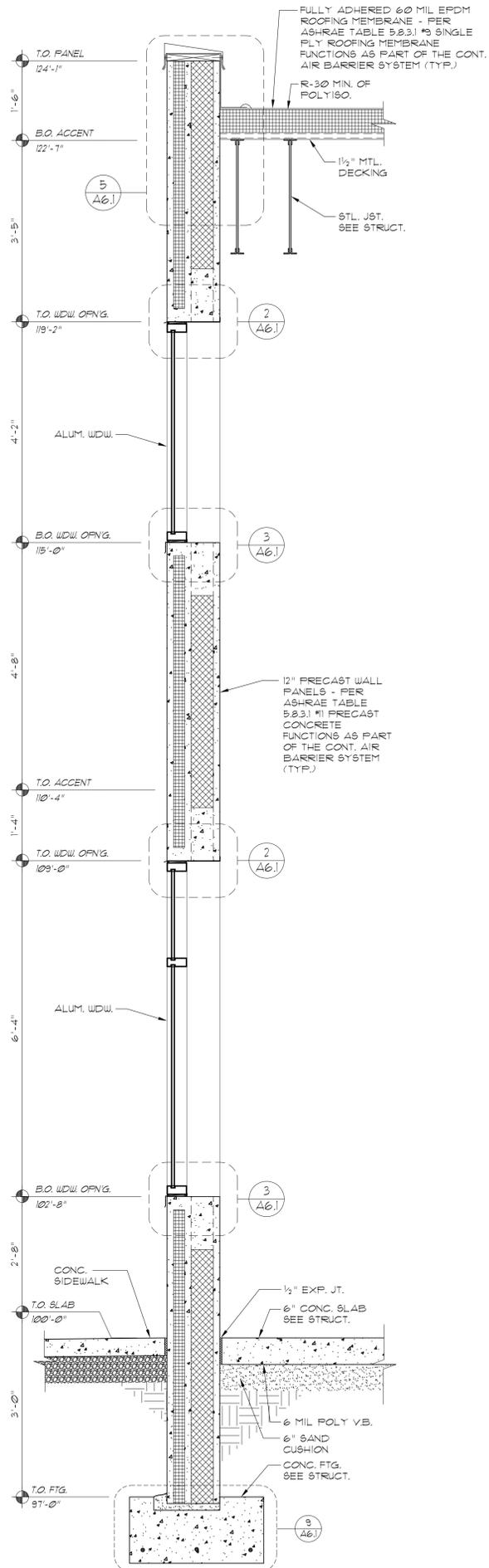
A4.1



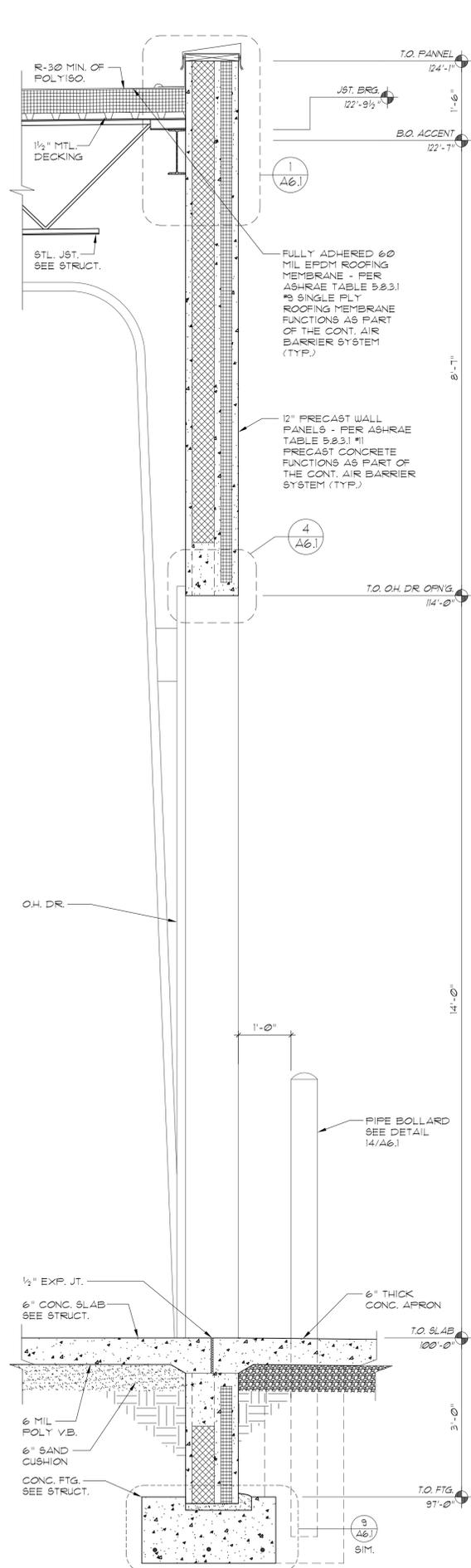
1 BUILDING SECTION  
1/4" = 1'-0"



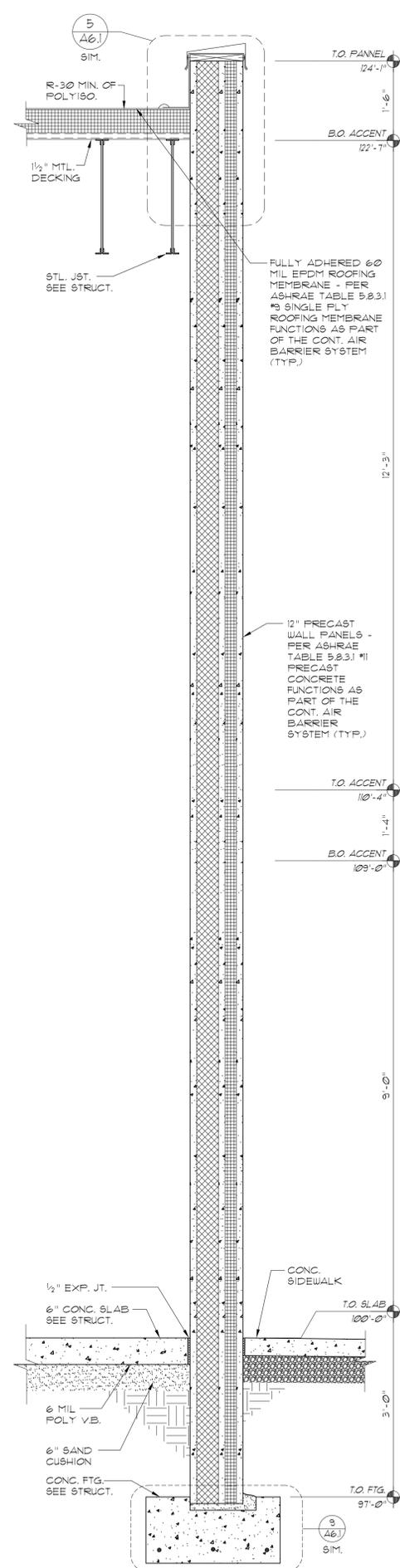
2 BUILDING SECTION  
1/8" = 1'-0"



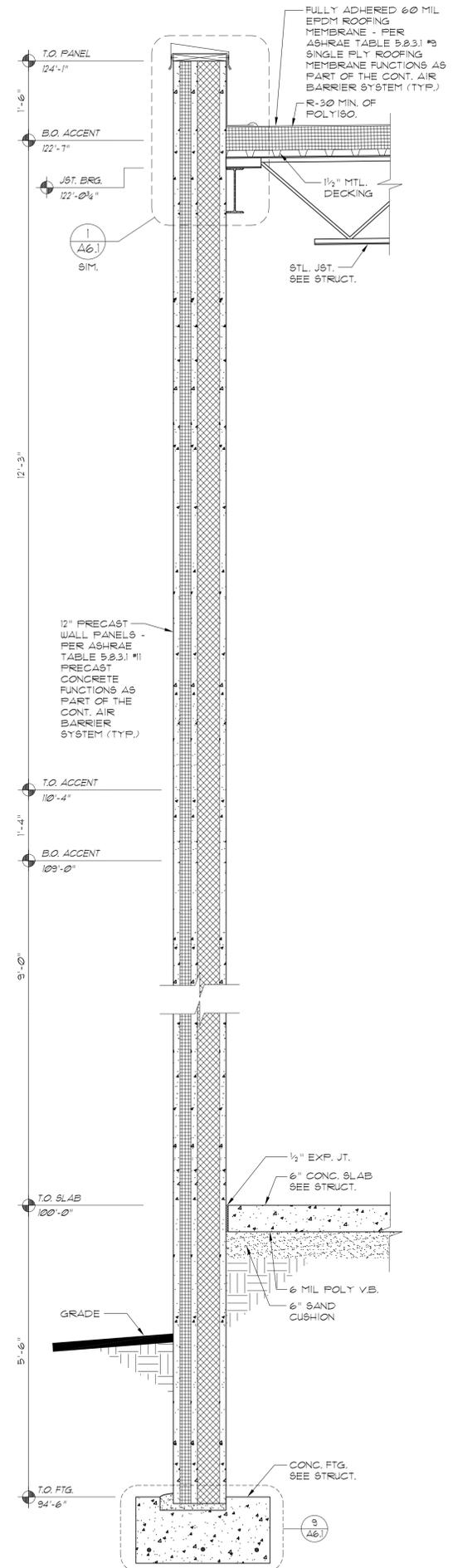
4 WALL SECTION @ WDWS.  
3/4" = 1'-0"



3 WALL SECTION @ O.H. DR.  
3/4" = 1'-0"



2 WALL SECTION  
3/4" = 1'-0"



1 WALL SECTION  
3/4" = 1'-0"

# Rosa Architectural Group Inc.

1084 Sterling Street  
St. Paul, Minnesota 55119  
tel: 651-739-7988  
fax: 651-739-3165

## LAKELAND BUILDING

18750 ULYSSES ST. NE  
EAST BETHEL, MN 55011

## CLASSIC CONSTRUCTION

PH: 763-434-8870  
18542 ULYSSES ST. NE  
EAST BETHEL, MN

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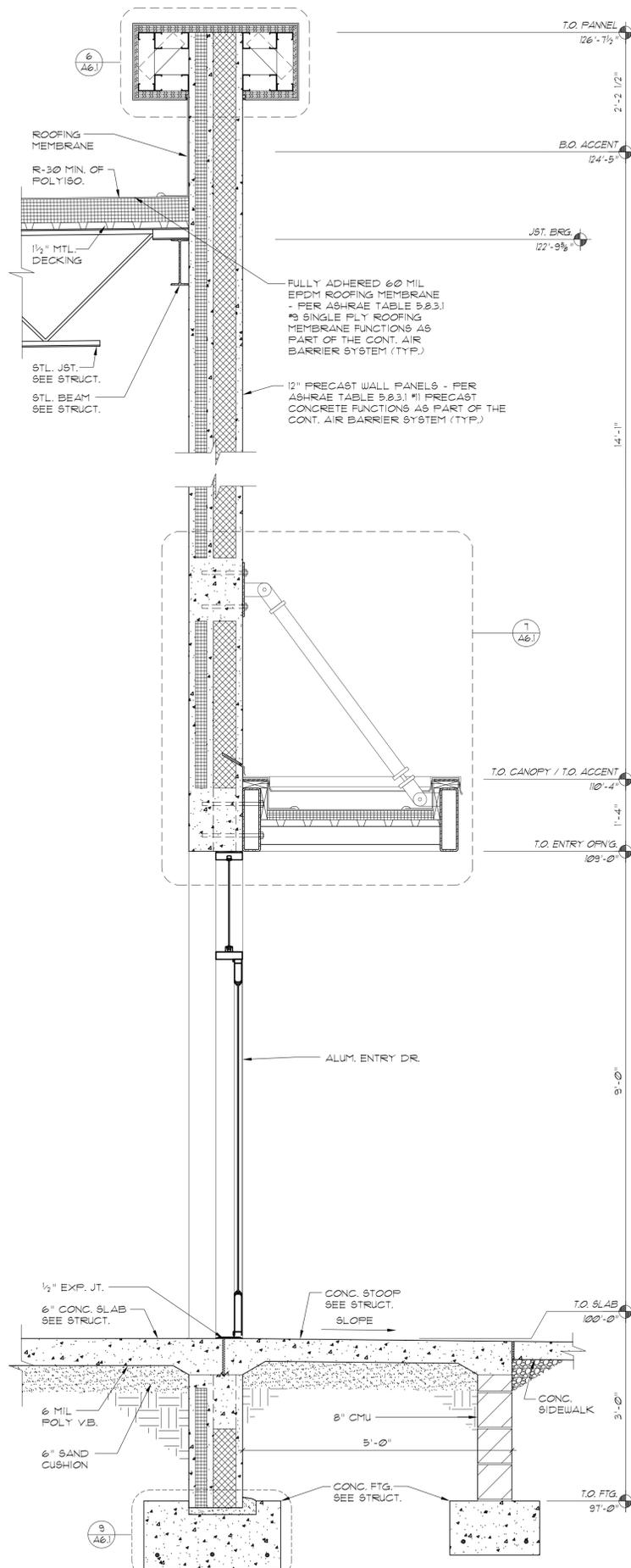
PRINT NAME: \_\_\_\_\_  
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PROJECT NUMBER: 22501  
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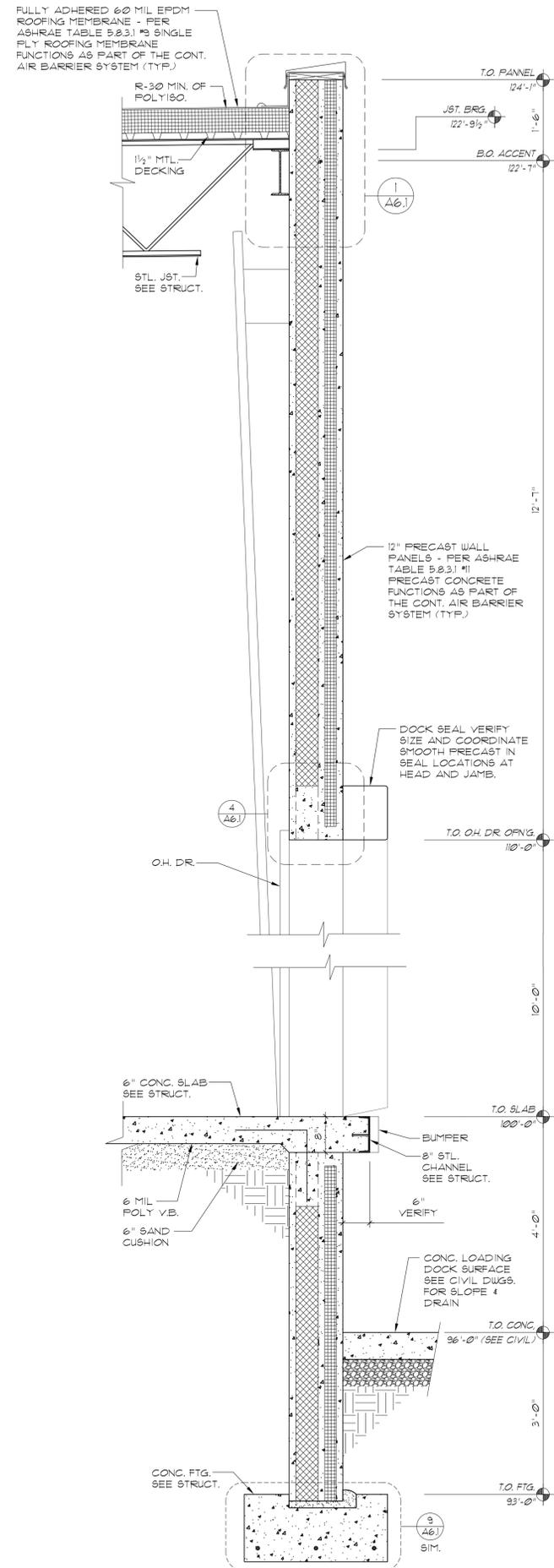
## WALL SECTIONS

# A5.1

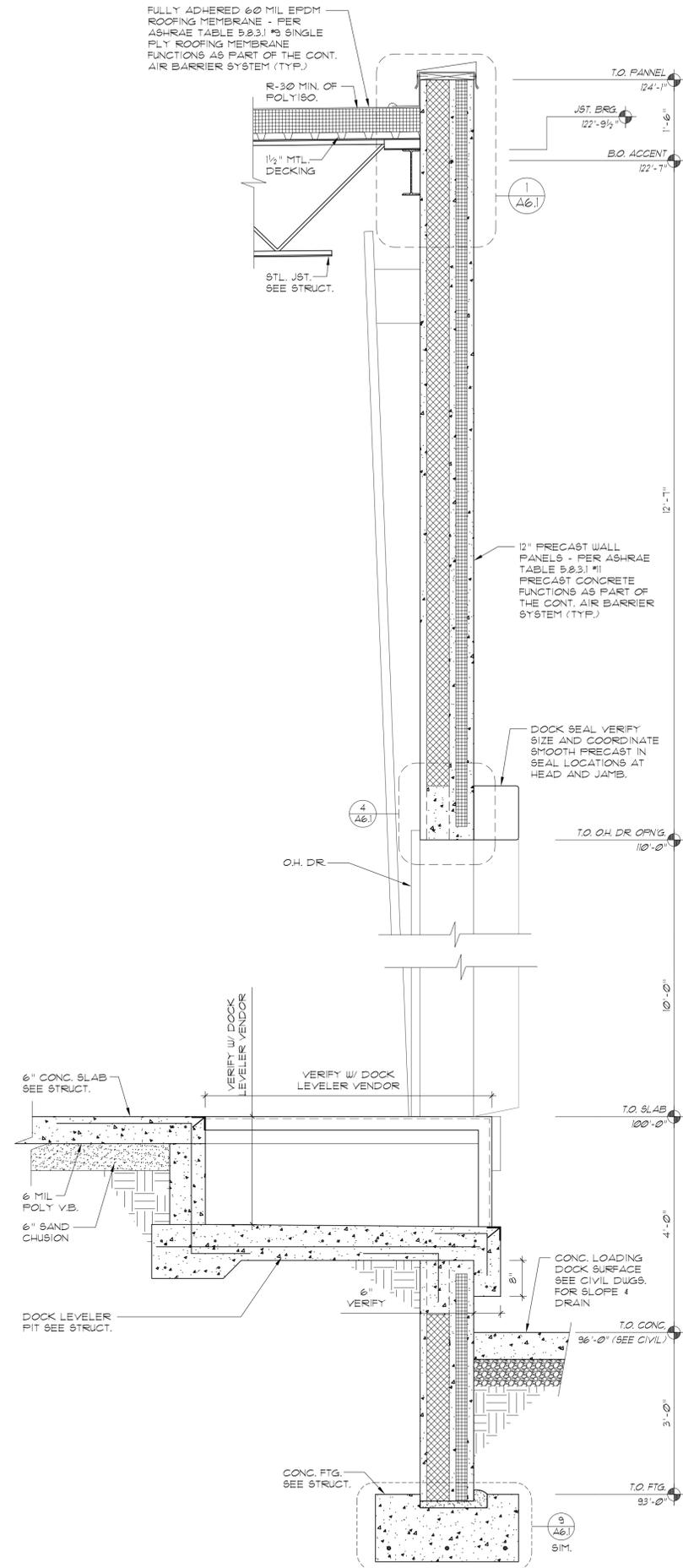
PRELIMINARY  
NOT FOR CONSTRUCTION



3 WALL SECTION @ ENTRY  
3/4" = 1'-0"



2 WALL SECTION @ LOADING DOCK  
3/4" = 1'-0"



1 WALL SECTION @ LOADING DOCK  
3/4" = 1'-0"

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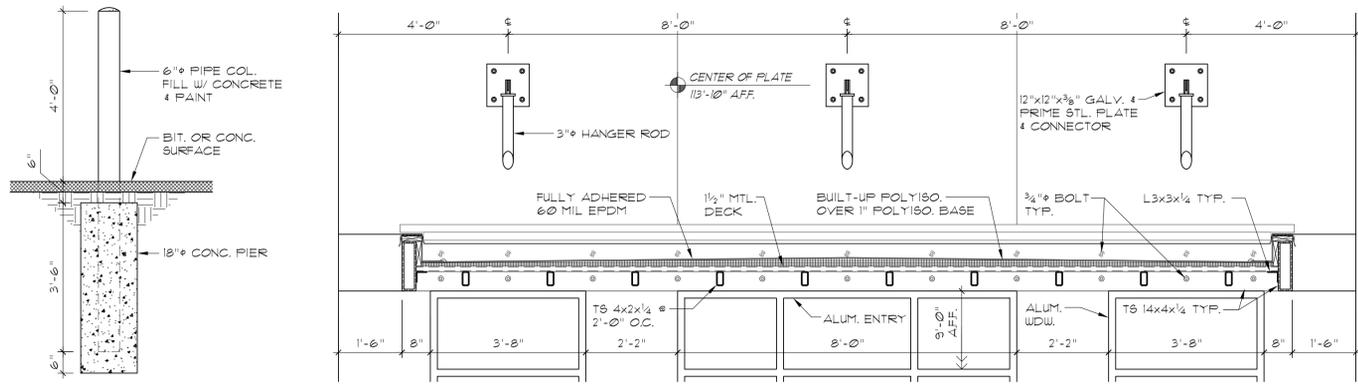
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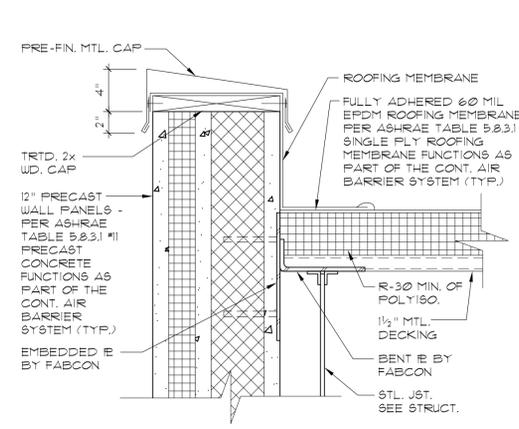
WALL SECTIONS

A5.2

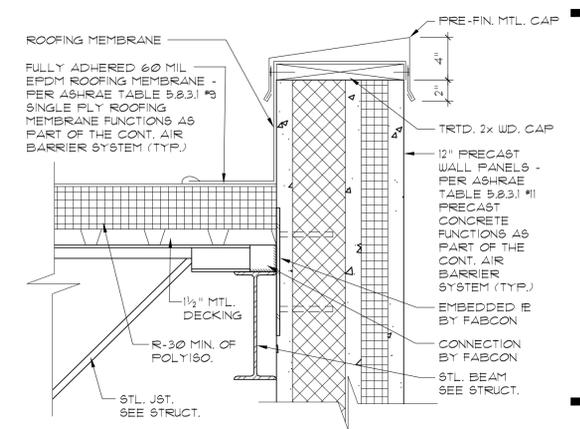


14 PIPE BOLLARD  
1/2" = 1'-0"

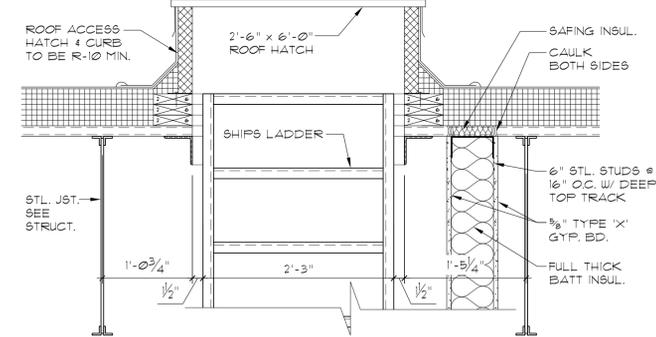
8 SEC. @ CANOPY  
1/2" = 1'-0"



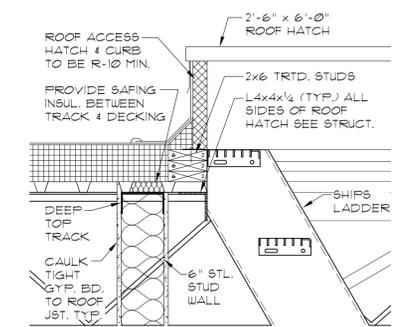
5 DETAIL  
1/2" = 1'-0"



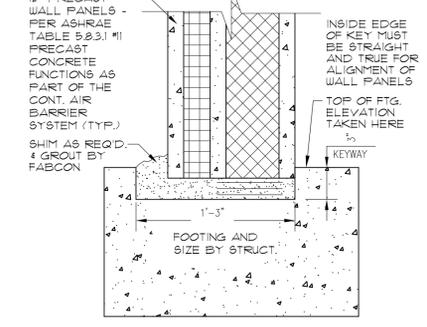
1 DETAIL  
1/2" = 1'-0"



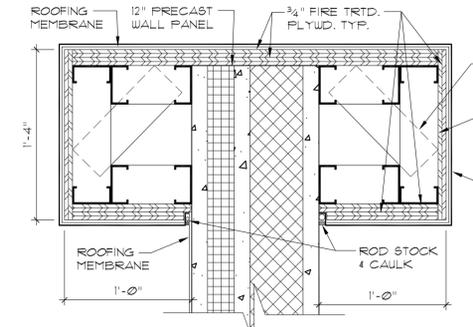
10 DTL. @ ROOF HATCH  
1" = 1'-0"



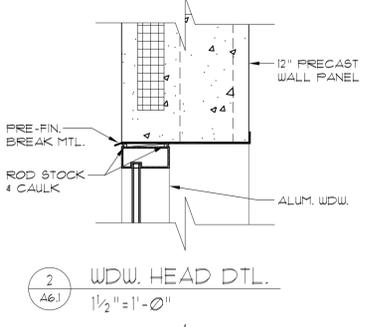
11 DTL. @ ROOF HATCH  
1" = 1'-0"



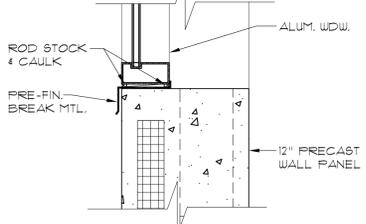
9 FTG. DETAIL  
1/2" = 1'-0"



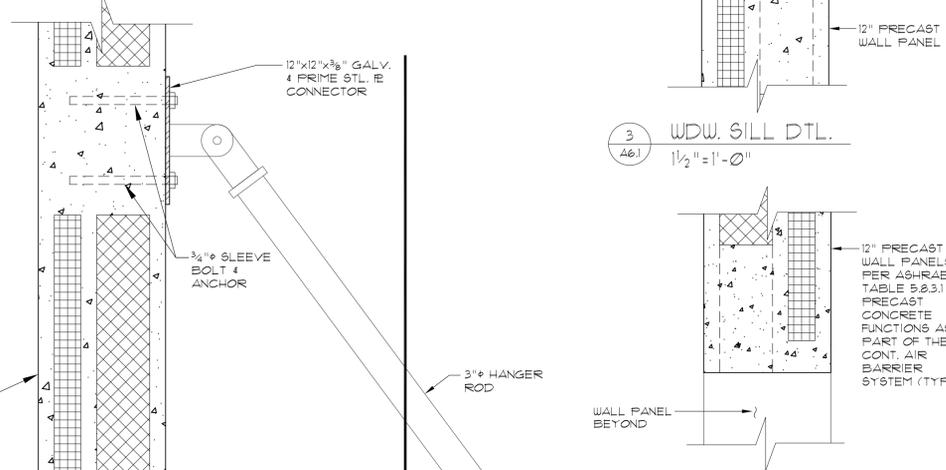
6 DTL. @ MTL. CAP  
1/2" = 1'-0"



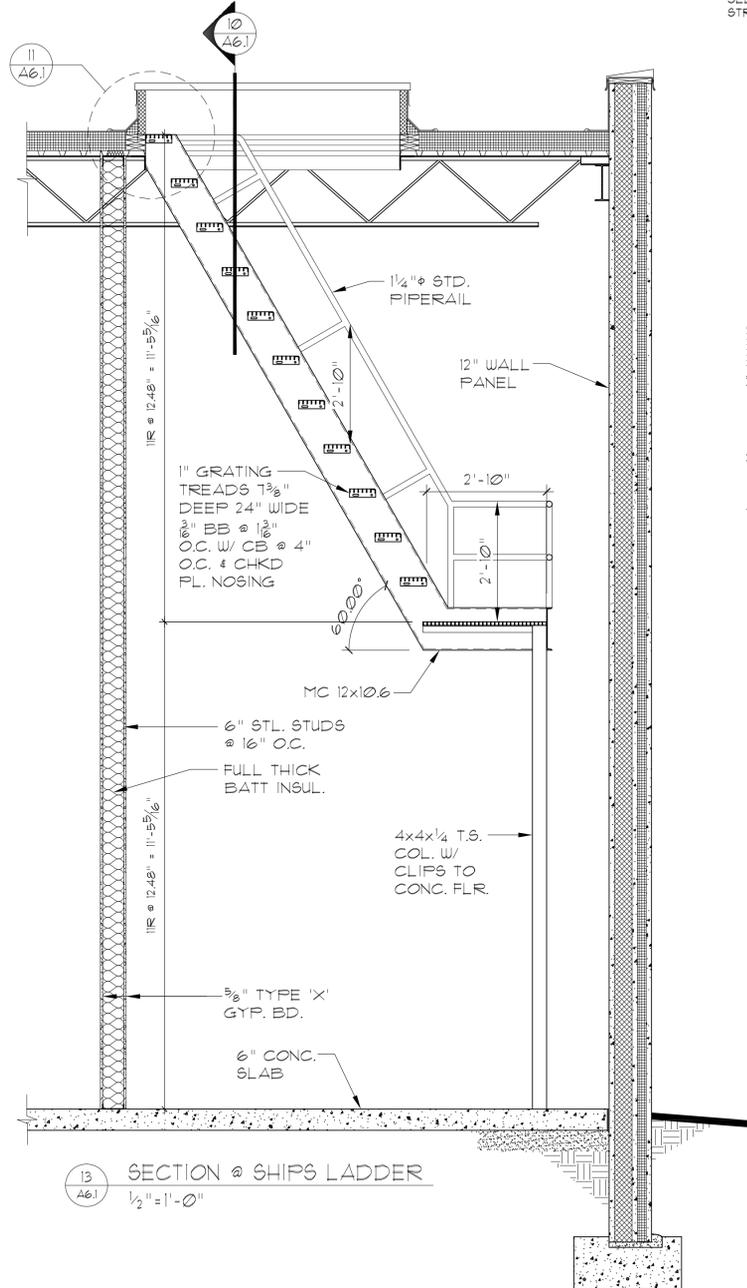
2 WDW. HEAD DTL.  
1/2" = 1'-0"



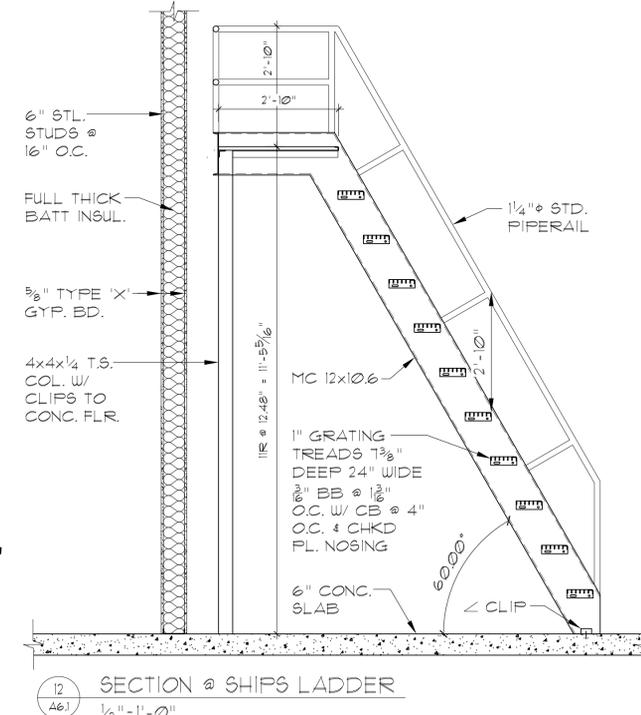
3 WDW. SILL DTL.  
1/2" = 1'-0"



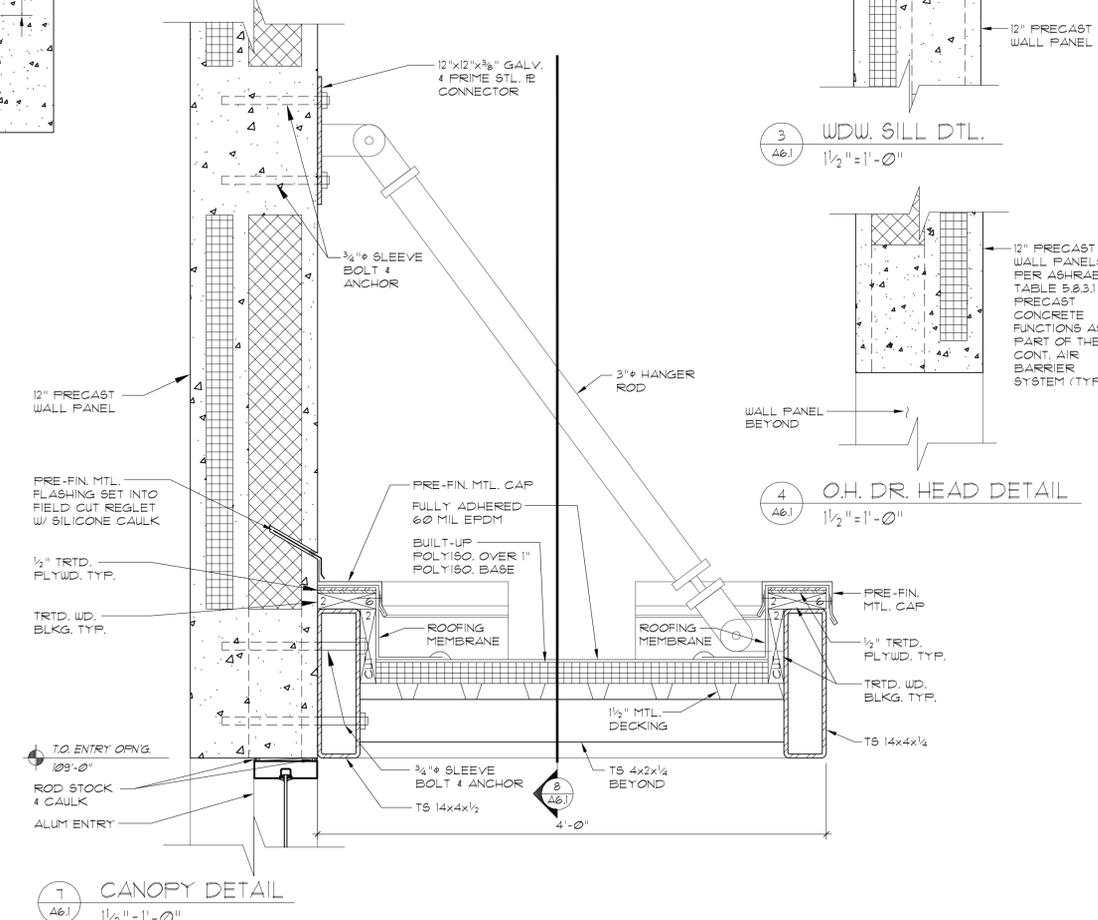
4 O.H. DR. HEAD DETAIL  
1/2" = 1'-0"



13 SECTION @ SHIPS LADDER  
1/2" = 1'-0"



12 SECTION @ SHIPS LADDER  
1/2" = 1'-0"



7 CANOPY DETAIL  
1/2" = 1'-0"

**Rosa Architectural Group Inc.**

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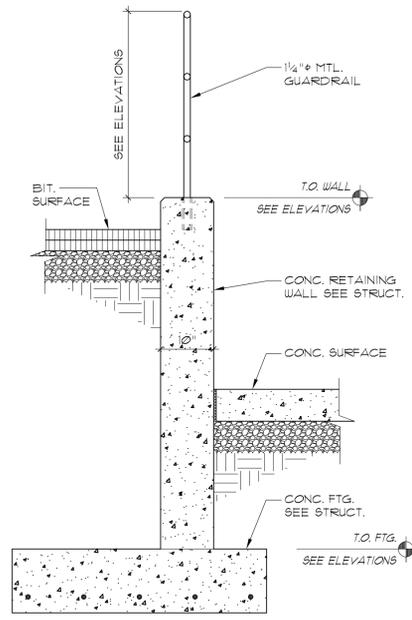
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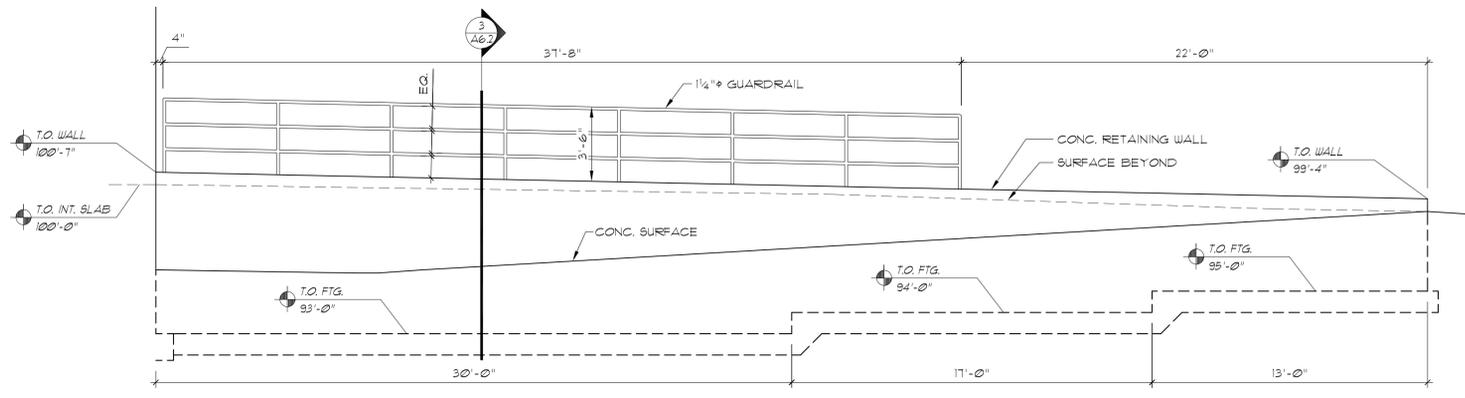
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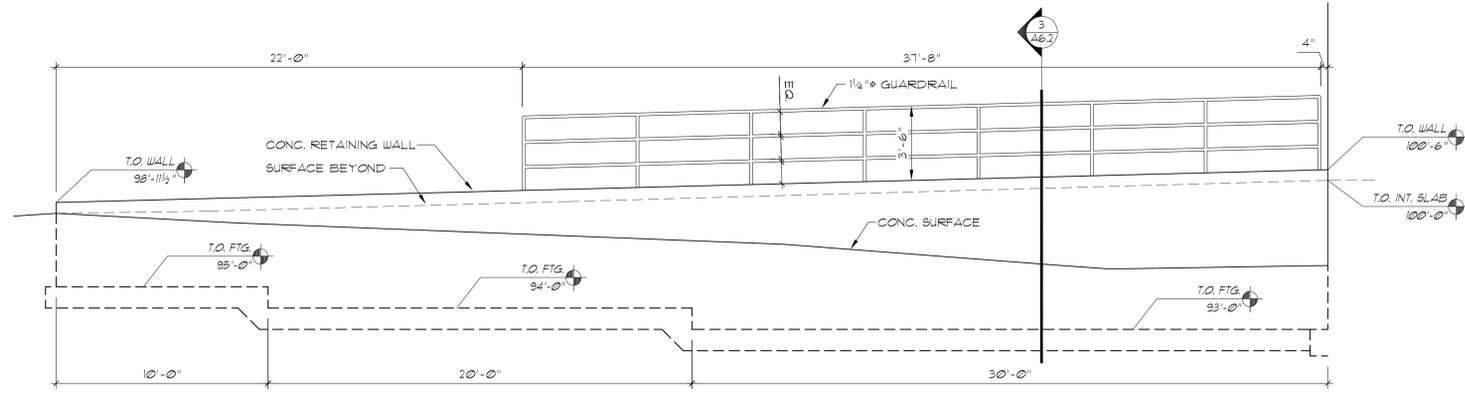
**A6.1**



3  
A6.2  
RETAINING WALL SECTION  
3/4" = 1'-0"



1  
A6.2  
RETAINING WALL ELEVATION  
1/4" = 1'-0"



2  
A6.2  
RETAINING WALL ELEVATION  
1/4" = 1'-0"

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REVISIONS: \_\_\_\_\_

DETAILS

**A6.2**

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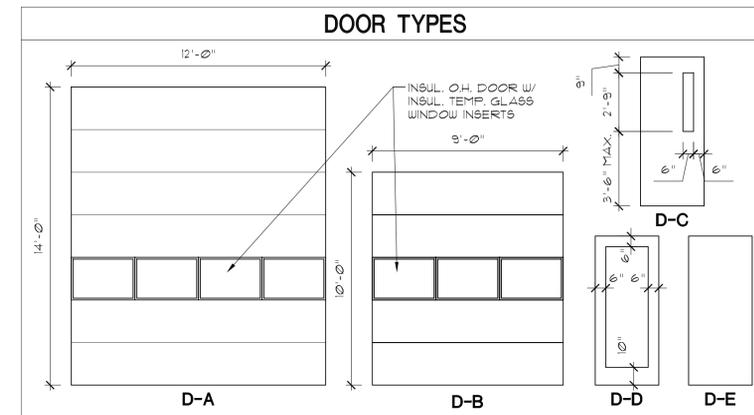
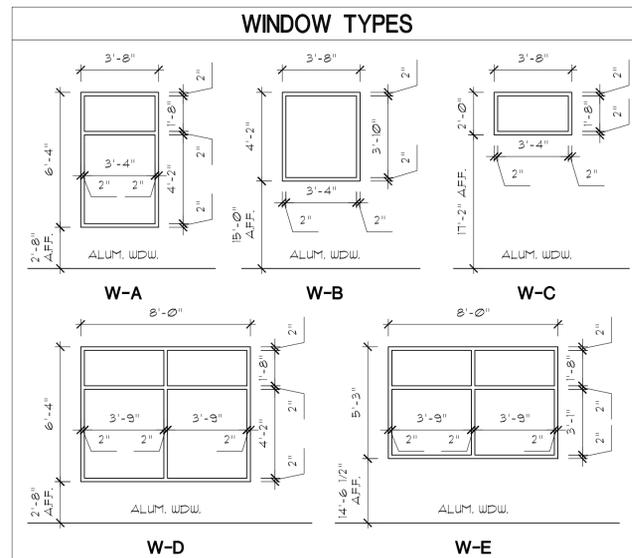
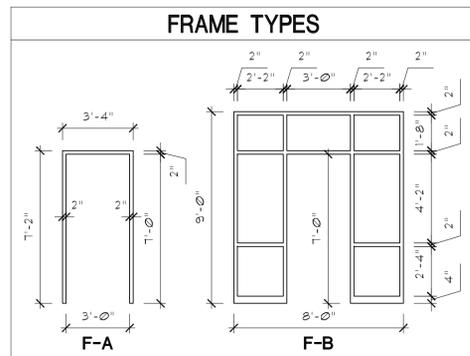
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DRAWN BY: JL  
CHECKED BY: RR  
REVISIONS: \_\_\_\_\_

SCHEDULES

A7.1



GLASS NOTES:  
EXTERIOR GLASS TO BE INSULATED LOW-E SOLAR BAN 60  
SHGC = 0.33  
VT = 0.70  
ASSEMBLY FIXED GLASS U-VALUE = 0.36

REMARKS

- R-1 VINYL BASE ONLY ON GYP. BOARD WALLS.
- R-2 PAINT ON GYP. BD. WALLS ONLY.

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR		BASE	WALL								CEILING			REMARK
		MAT'L	FINISH		NORTH		EAST		SOUTH		WEST		MAT'L	FINISH	HEIGHT	
					MAT'L	FINISH	MAT'L	FINISH	MAT'L	FINISH	MAT'L	FINISH				
100	UNIT 100	CONC.	SEALED	-	PRECAST	-	-	-	PRECAST	-	PRECAST	-	EXPOSED	-	VARIES	-
200	UNIT 200	CONC.	SEALED	VINYL	PRECAST/ GYP. BD.	PT.	PRECAST/ GYP. BD.	PT.	PRECAST	-	-	-	EXPOSED	-	VARIES	R-1, R-2
300	MECHANICAL	CONC.	SEALED	VINYL	PRECAST	-	PRECAST	-	GYP. BD.	PT.	GYP. BD.	PT.	EXPOSED	-	VARIES	R-1, R-2

DOOR AND FRAME SCHEDULE

OPENING NUMBER	DOORS					GLASS	DOOR FRAME			HARDWARE GROUP	LABEL MIN.	REMARK
	TYPE	WIDTH	HEIGHT	THICK.	MAT'L		TYPE	MAT'L	WIDTH			
D101	D-D	3'-0"	7'-0"	1 3/4"	ALUM.	1" INSUL. TEMP.	F-B	ALUM.	4 1/2"	HG-1	-	-
D102	D-C	3'-0"	7'-0"	1 3/4"	H.M.	1" INSUL. TEMP.	F-A	H.M.	5 3/4"	HG-1	-	-
D103	D-C	3'-0"	7'-0"	1 3/4"	H.M.	1" INSUL. TEMP.	F-A	H.M.	5 3/4"	HG-1	-	-
D104	D-A	12'-0"	14'-0"	-	INSUL. MTL.	INSUL. TEMP.	-	-	-	HG-2	-	-
D105	D-B	9'-0"	10'-0"	-	INSUL. MTL.	INSUL. TEMP.	-	-	-	HG-2	-	-
D106	D-B	9'-0"	10'-0"	-	INSUL. MTL.	INSUL. TEMP.	-	-	-	HG-2	-	-
D201	D-D	3'-0"	7'-0"	1 3/4"	ALUM.	1" INSUL. TEMP.	F-B	ALUM.	4 1/2"	HG-1	-	-
D202	D-C	3'-0"	7'-0"	1 3/4"	H.M.	1" INSUL. TEMP.	F-A	H.M.	5 3/4"	HG-1	-	-
D203	D-C	3'-0"	7'-0"	1 3/4"	H.M.	1" INSUL. TEMP.	F-A	H.M.	5 3/4"	HG-1	-	-
D204	D-A	12'-0"	14'-0"	-	INSUL. MTL.	INSUL. TEMP.	-	-	-	HG-2	-	-
D205	D-B	9'-0"	10'-0"	-	INSUL. MTL.	INSUL. TEMP.	-	-	-	HG-2	-	-
D206	D-B	9'-0"	10'-0"	-	INSUL. MTL.	INSUL. TEMP.	-	-	-	HG-2	-	-
D300	D-E	3'-0"	7'-0"	1 3/4"	H.M.	-	F-A	H.M.	5 3/4"	HG-1	-	-

HARDWARE GROUPS

GROUP HG-1

- A. BUTTS AS REQUIRED
- B. EXIT DEVICE (DUR @ ALUM DOORS)
- C. 2 CYLINDERS AS REQUIRED
- D. 1 PULL 658A (DUR @ ALUM DOORS)
- E. 1 CLOSER/STOP (DUR @ ALUM DOORS)
- F. 1 THRESHOLD
- G. 1 SWEEP
- H. MANUFACTURER STANDARD WEATHERSTRIPPING

GROUP HG-2

- A. MANUFACTURER STANDARD O.H. DOOR HARDWARE W/ PULL HANDLES, LOCKS, & LATCHES, ETC.
- B. PROVIDE COMMERCIAL GRADE HEAVY DUTY DOOR LIFT KITS, G.C. TO REVIEW AND VERIFY W/ OWNER.

NOTES:

HARDWARE VENDOR TO REVIEW ALL HARDWARE FINISHES W/ OWNER

HARDWARE VENDOR TO REVIEW ALL HARDWARE & KEYING W/ OWNER

INDICATED LOCK FUNCTIONS ARE BASED ON SCHLAGE UNLESS NOTED OTHERWISE

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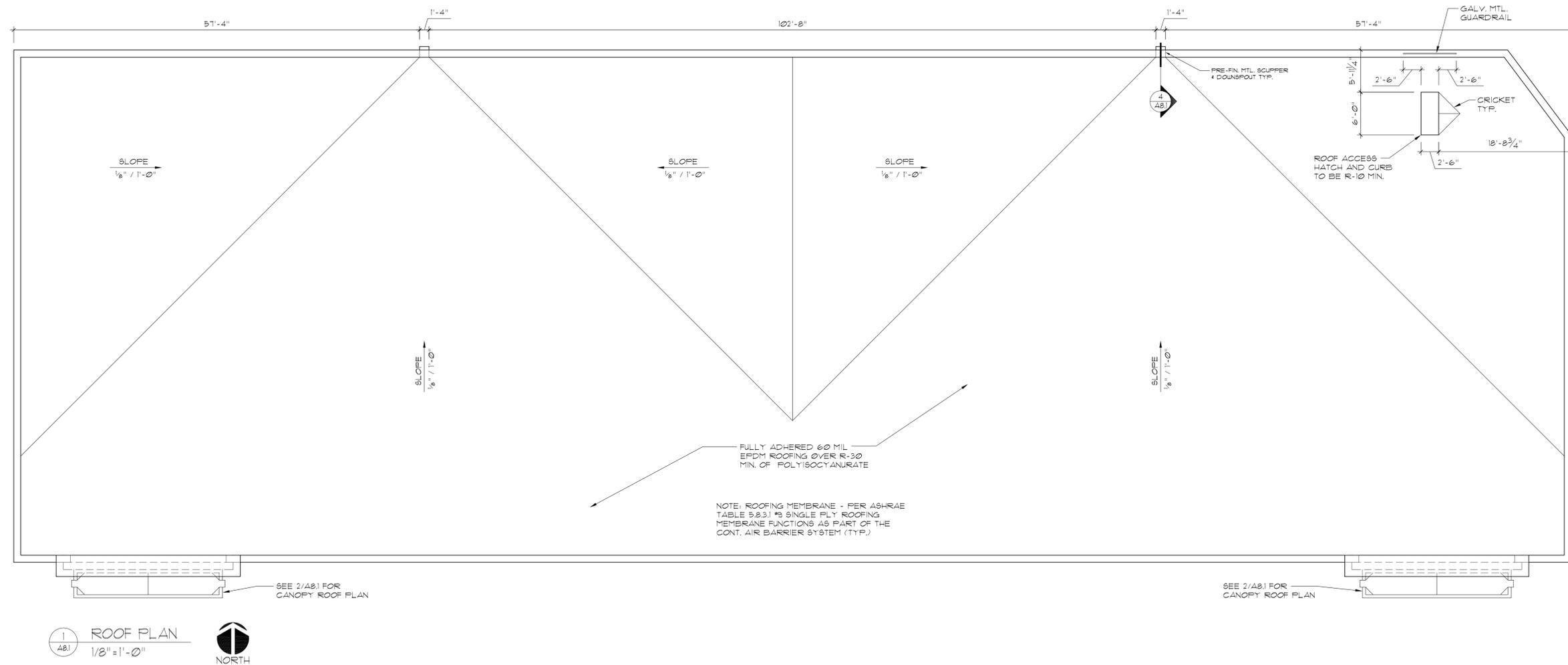
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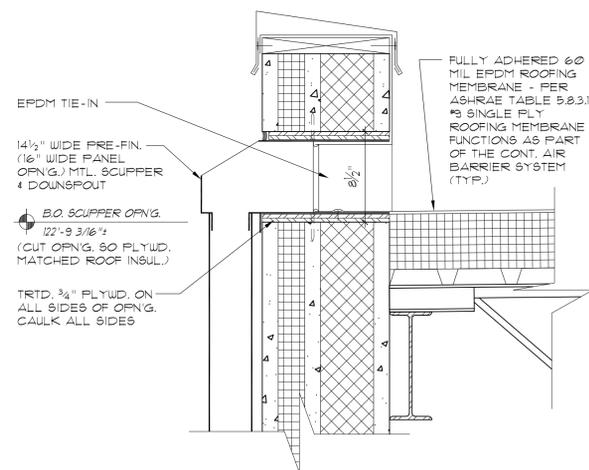
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ROOF PLAN

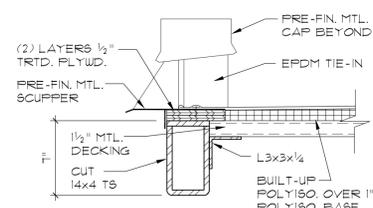
A8.1



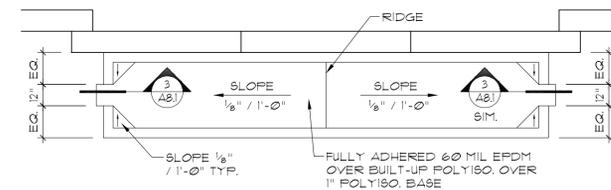
1  
A&1  
ROOF PLAN  
1/8" = 1'-0"  
NORTH



4  
A&1  
TYP. SCUPPER & DOWNSPOUT DTL.  
1/2" = 1'-0"



3  
A&1  
SCUPPER DETAIL  
1/2" = 1'-0"



2  
A&1  
CANOPY ROOF PLAN  
1/4" = 1'-0"  
NORTH

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE/ROOT
<b>TREES</b>				
1	ABM	Acer freemanii	Autumn Blaze Maple	2-1/2" B&B
3	EM	RELOCATED EXISTING MAPLE TREE		
4	EBH	RELOCATED EXISTING BLACK HILLS SPRUCE		
TOTAL 8				
<b>SHRUBS</b>				
22	TY	Taxus x media 'Tauntonii'	Taunton Spreading Yew	5 GAL. Pot
35	CB	Berberis thunbergii atropurpurea 'Moretti Select'	Carbarnet Barberry	2 GAL. Pot
TOTAL 57				

**MINIMUM LANDSCAPING REQUIREMENTS**  
 BUILDING ZONED (I) LIGHT INDUSTRIAL  
 TOTAL BUILDING FLOOR AREA = 15,256 S.F.  
 TREES = 15,256 / 2,000 = 7.6 TREES  
 SHRUBS = 15,256 / 300 = 50.9 SHRUBS

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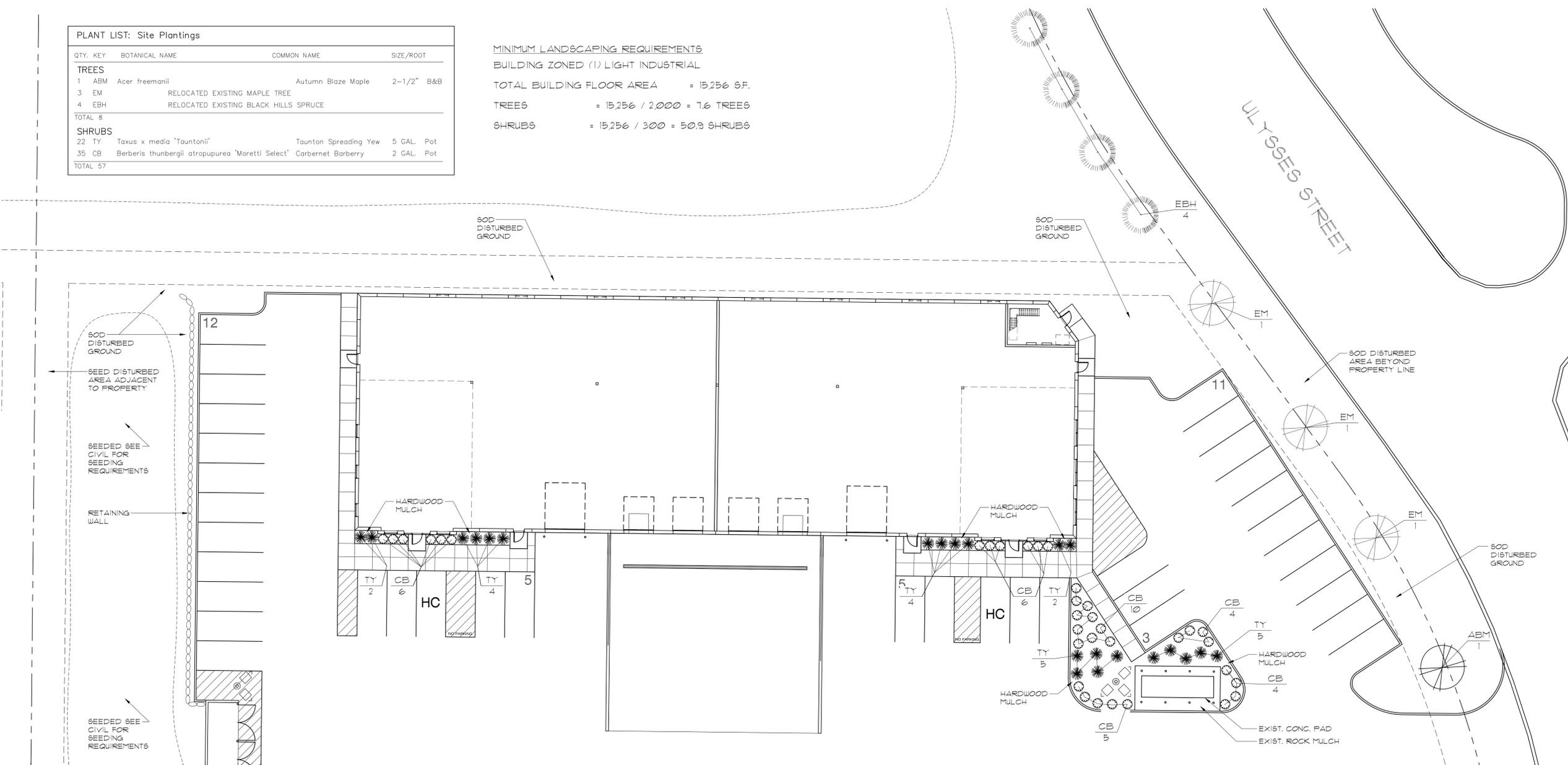
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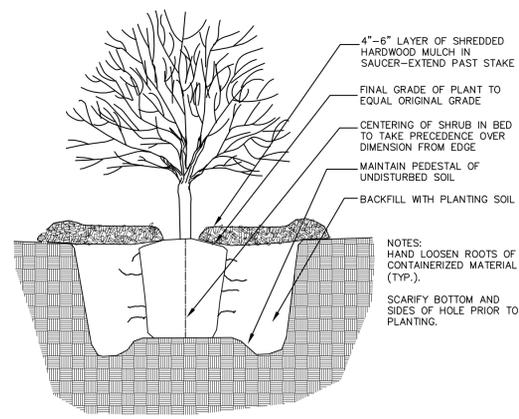
**LANDSCAPE PLAN**

**L1.1**

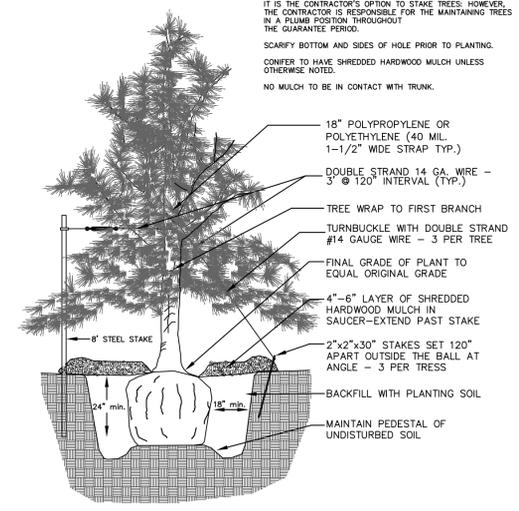


**LANDSCAPE PLAN**  
 1/16" = 1'-0"  
 NORTH

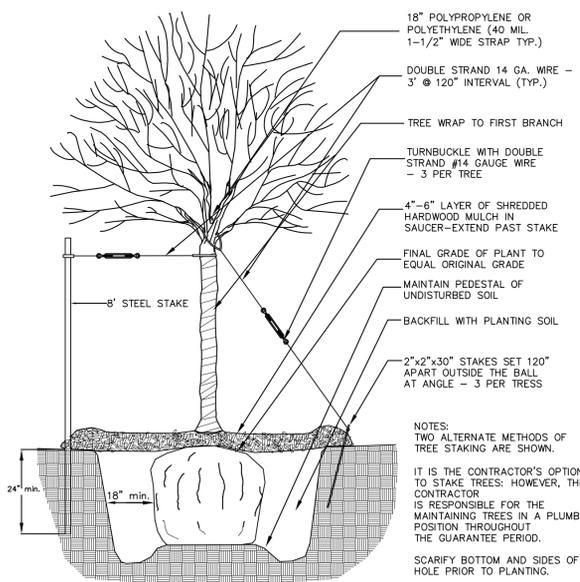
**NOTES:**  
 TWO ALTERNATE METHODS OF TREE STAKING ARE SHOWN.  
 IT IS THE CONTRACTOR'S OPTION TO STAKE TREES. HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD.  
 SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.  
 CONFIR TO HAVE SHREDDED HARDWOOD MULCH UNLESS OTHERWISE NOTED.  
 NO MULCH TO BE IN CONTACT WITH TRUNK.



SHRUB PLANTING DETAIL



CONIFEROUS TREE PLANTING DETAIL



DECIDUOUS TREE PLANTING DETAIL

**PLANTING NOTES:**

Contractor shall provide one year guarantee of all plant materials. The guarantee begins on the date of the Landscape Architect's written acceptance of the initial planting. Replacement plant materials shall also have a one year guarantee commencing upon planting.

All plants to be northern-grown and hardy. Plants to be installed as per standard AAN planting practices. Use minimum 12" loam planting soil on trees and 6" on shrubs.

Contractor shall verify locations with all utilities prior to installation of plants.

Staking of trees optional; reposition if not plumb after one year.

Wrap all smooth-barked trees-fasten top and bottom. Remove by April 1.

Open top of burlap on BB materials; remove pot on potted plants; split and break apart peat pots.

Prune plants as necessary - per standard nursery practice.

Owner shall be responsible for maintenance after acceptance of the work by the Owner.

Plants shall be immediately planted upon arrival at site. Properly heel-in materials if necessary.

All disturbed areas to be seeded unless otherwise noted.

Planting beds for shrubs shall have 3" - 4" of 1-1/2" washed River rock mulch. No weed barrier fabric to be used. Separation of stone mulch from sod shall be by 4" vertical (commercial grade) black poly edging. Edging shall be placed and staked with smooth curves and straight lines.

All planting beds shall be prepared using Preen or an approved equal weed preventative.

Organic black topsoil shall be spread over site where landscaping or sod to be placed, or as per City code.

Double shredded dark brown hardwood mulch 4" deep shall be provided around all new trees.

Field adjust tree and shrub locations to fit site and avoid utility locations and any changes that may have occurred to the buildings exterior and/or site in general.

Construction and soil types to be determined by the site Engineer.

Contractor to field adjust foundation shrubs to best suit space and building's architecture.

# LAKELAND BUILDING

## TITLE SHEET, LEGEND, EXISTING CONDITIONS & REMOVAL PLAN

### EAST BETHEL, MINNESOTA

#### LEGEND \*

— OHW —	EXISTING OVERHEAD ELECTRIC	— T —	PROPOSED WATER PIPE
— TEL —	EXISTING UNDERGROUND TELEPHONE	— S —	PROPOSED SANITARY SEWER PIPE
— CBL —	EXISTING UNDERGROUND CABLE	— SS —	PROPOSED STORM SEWER PIPE
□	EXISTING TELEPHONE PEDESTAL	— D —	PROPOSED DRAINTILE AND CLEAN-OUT
□	EXISTING ELECTRICAL PEDESTAL	— ELEC —	PROPOSED ELECTRIC SERVICE *
□	EXISTING CABLE PEDESTAL	— GAS —	PROPOSED GAS SERVICE *
□	EXISTING UTILITY POLE	— TEL —	PROPOSED TELEPHONE SERVICE *
☆	EXISTING LIGHT POLE	⊙	PROPOSED STORM MANHOLE
— S —	EXISTING STORM SEWER	□	PROPOSED CATCH BASIN
— W —	EXISTING WATER MAIN	□	PROPOSED FLARED-END SECTION
— S —	EXISTING SANITARY SEWER	⊗	PROPOSED GATE VALVE
— FM —	EXISTING FORCEMAIN	⊗	PROPOSED HYDRANT
⊙	EXISTING STORM MANHOLE	⊙	PROPOSED SANITARY SEWER MANHOLE
□	EXISTING CATCH BASIN	— 928 —	PROPOSED CONTOUR
◀	EXISTING FLARED-END SECTION	— 930 —	
⊗	EXISTING GATE VALVE	⊗	EXISTING SPOT ELEVATION
⊗	EXISTING HYDRANT	⊗	EXISTING SPOT ELEVATION (MATCH INTO ELEVATION)
⊗	EXISTING WELL	⊗	
⊙	EXISTING SANITARY SEWER MANHOLE	⊗	
— 928 —	EXISTING CONTOUR	— 928.60 —	EXISTING GATE VALVE
— 930 —		— 930 —	EXISTING HYDRANT
⊗	EXISTING SPOT ELEVATION	— 930.99 —	EXISTING WELL
⊗	EXISTING SPOT ELEVATION (MATCH INTO ELEVATION)	⊗	EXISTING SANITARY SEWER MANHOLE
⊗		⊗	
⊗	EXISTING BITUMINOUS	⊗	
⊗	EXISTING TREES	⊗	
⊗	EXISTING TREE TO BE REMOVED	⊗	
⊗	SURFACE DRAINAGE DIRECTION	⊗	
⊗	EXISTING FENCE	⊗	
⊗	EXISTING RETAINING WALL	⊗	
⊗	EXISTING WETLAND	⊗	
		⊗	

\* NOT ALL SYMBOLS ARE APPLICABLE.

#### GENERAL NOTES

THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF EXISTING UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO TYPE AND LOCATION OF UTILITIES AS NECESSARY TO AVOID DAMAGE TO THESE UTILITIES.

CALL "811" FOR EXISTING UTILITIES LOCATIONS PRIOR TO ANY EXCAVATIONS.

THE CONTRACTOR SHALL FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING SANITARY SEWER, STORM SEWER, AND WATER MAIN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF INSTALLATIONS.

INSTALLATIONS SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS AND DETAIL PLATES.

ALL UTILITIES THAT WILL BE OWNED AND MAINTAINED BY THE CITY AFTER CONSTRUCTION SHALL BE BUILT TO CITY STANDARDS.

THE CONTRACTOR SHALL NOTIFY CITY PUBLIC WORKS DEPARTMENT A MINIMUM OF 24 HOURS PRIOR TO THE INTERRUPTION OF ANY SEWER OR WATER SERVICES TO EXISTING HOMES OR BUSINESSES.

THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FROM THE CITY PRIOR TO ANY WORK.

STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.

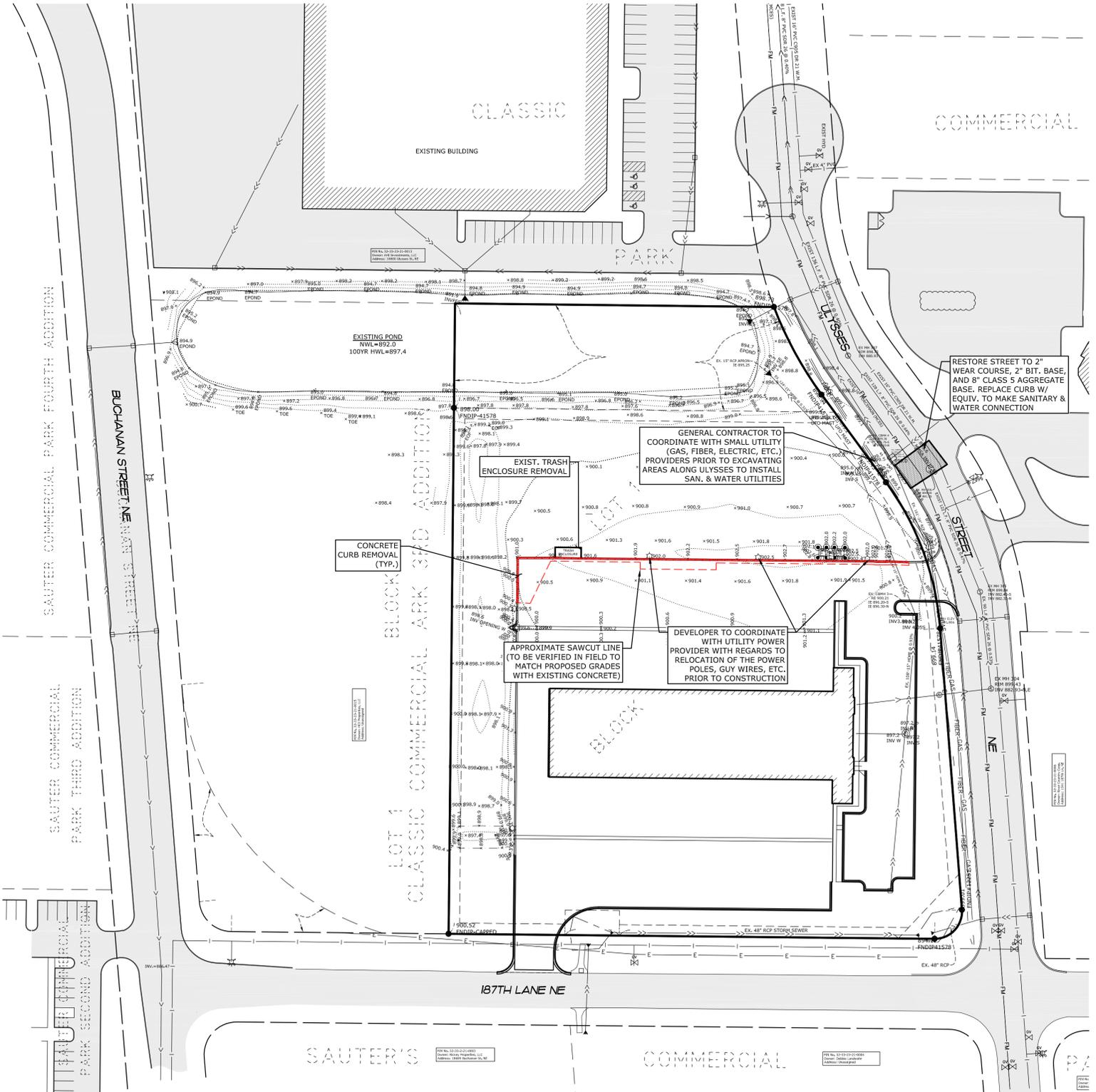
NOTIFY CITY A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.

#### VICINITY MAP



NOT TO SCALE



RESTORE STREET TO 2" WEAR COURSE, 2" BIT. BASE, AND 8" CLASS 5 AGGREGATE BASE. REPLACE CURB W/ EQUIV. TO MAKE SANITARY & WATER CONNECTION

GENERAL CONTRACTOR TO COORDINATE WITH SMALL UTILITY (GAS, FIBER, ELECTRIC, ETC.) PROVIDERS PRIOR TO EXCAVATING AREAS ALONG ULYSSES TO INSTALL SAN. & WATER UTILITIES

EXIST. TRASH ENCLOSURE REMOVAL

CONCRETE CURB REMOVAL (TYP.)

DEVELOPER TO COORDINATE WITH UTILITY POWER PROVIDER WITH REGARDS TO RELOCATION OF THE POWER POLES, GUY WIRES, ETC. PRIOR TO CONSTRUCTION

APPROXIMATE SAWCUT LINE (TO BE VERIFIED IN FIELD TO MATCH PROPOSED GRADES WITH EXISTING CONCRETE)



below.  
Call before you dig.

## TITLE SHEET, LEGEND, EXISTING CONDITIONS, & REMOVAL PLAN LAKELAND BUILDING

#### SHEET INDEX

- C0 TITLE SHEET, LEGEND, EXISTING CONDITIONS, & REMOVAL PLAN
- C1 GRADING, DRAINAGE & EROSION CONTROL PLAN
- C2 UTILITY PLAN
- C3.1 DETAILS
- C3.2 DETAILS
- C3.3 DETAILS
- C3.4 DETAILS
- C4.1 STORM WATER POLLUTION PREVENTION PLAN
- C4.2 STORM WATER POLLUTION PREVENTION PLAN

DRAWN BY:	DESIGN BY:
M.Q.A.	Q.M.A.
CHKD BY:	PROJ. NO.
M.Q.A.	24-2183
ORIGINAL DATE:	
JANUARY 27, 2025	

DATE	REVISION DESCRIPTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

**QASEM M. ABUGHAZLEH** LIC. NO. 56289  
DATE: 1.27.2025

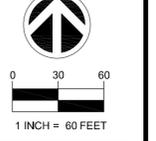
**LAKELAND BUILDING**  
EAST BETHEL, MINNESOTA  
TITLE SHEET, LEGEND, EXISTING CONDITIONS, & REMOVAL PLAN

PREPARED FOR:  
**CLASSIC CONSTRUCTION**

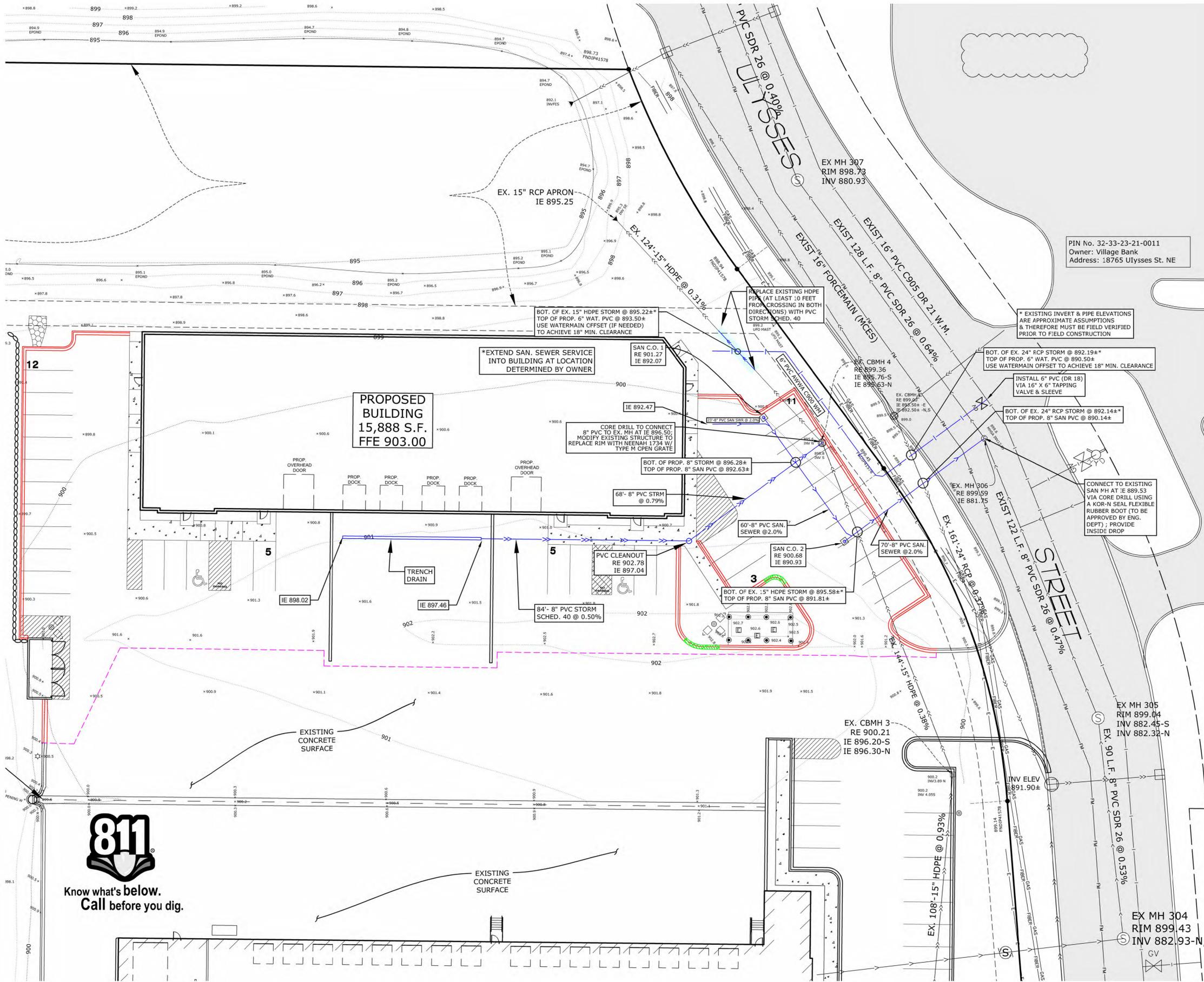


**PLOWE ENGINEERING, INC.**  
6776 LAKE DRIVE  
SUITE 110  
LINO LAKES, MN 55014  
PHONE: (651) 361-8210  
FAX: (651) 361-8701

**NORTH**







### SANITARY SEWER NOTES

EXISTING SANITARY SEWER LOCATION, SIZE, AND ELEVATION SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

PROPOSED SANITARY SEWER SERVICES SHALL BE 8" PVC SCHEDULE 40.

ALL SEWER MAINS AND SERVICES THAT DO NOT MEET A MINIMUM BURY OF 7.5 FEET SHALL BE INSULATED.

### STORM SEWER NOTES

FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

STORM SEWER PIPE SHALL BE PVC SCHEDULE 40 MEETING ASTM D1785, D2665, F891, OR F1488 WITH APPROVED FITTINGS (SEE TABLE 701.2). SOLVENT WELDED JOINTS MUST USE ASTM F656 PURPLE PRIMER AND ASTM D2564 CEMENT. THE SEWER MUST BE INSTALLED BY OPEN-TRENCH ON A CONTINUOUS GRANULAR BED PER SECTION 314.4.1. ASTM D2241 PVC IS NOT AN APPROVED MATERIAL FOR BUILDING SEWERS.

STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF APRON TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.

ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MINNESOTA RULES, PART 4715.2820.

STORM SEWER PIPES TO BE JOINED TO THE CATCH BASIN MANHOLES W/ APPROVED RESILIENT RUBBER JOINTS TO MAKE THEM GASTIGHT OR WATERTIGHT. CEMENT MORTAR JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

### WATER MAIN NOTES

EXISTING WATER MAIN LOCATION AND SIZE SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

PROVIDE PIPE INSULATION WHERE SEWER (SANITARY OR STORM) CROSSES WITHIN 18" OF WATER MAIN.

PROPOSED WATER MAIN SHALL BE 6" AND 8" PVC AWWA C900 DR 18 (CONFORMING TO MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY STANDARDS). ALL WATERMAIN FITTINGS SHALL BE DUCTILE IRON, LONG MECHANICAL JOINT, FULL BODY FITTINGS, PER THE CURRENT STANDARDS.

MECHANICAL JOINTS SHALL BE USED FOR WATER MAIN PIPES 4" IN DIAMETER AND LARGER. RUBBER GASKETS SHALL CONFORM TO AWWA C111 (ANSI A21.11).

ALL FITTINGS AND RETAINING RODS SHALL BE PROTECTED USING SACRIFICIAL ZINC ANODE CAPS SUCH AS 175P190 PROTECTO CAPS AS MANUFACTURED BY EBAA IRON OR AN APPROVED EQUAL. CONTRACTORS SHALL SUPPLY 2 PROTECTO CAPS PER MECHANICAL JOINT GLAND INSTALLED.

ALL FITTING, ETC. SHALL BE SECURED UTILIZING COR-BLUE T-BOLTS AS MANUFACTURED BY NSS INDUSTRIES OR APPROVED EQUAL.

WATERMAIN AND RESTRAINING DEVICES - THE INTERIOR AND EXTERIOR OF ALL WATERMAIN FITTINGS AND RESTRAINING DEVICES SHALL BE COATED WITH A 6-8 MIL NOMINAL THICKNESS, FUSION BONDED EPOXY CONFORMING TO THE REQUIREMENTS OF ANSI/AWWA C550 AND C116/A21.16.

TRACER WIRE SHALL BE COPPERHEAD INDUSTRIES, LLC - #12 CCS HIGH STRENGTH SOFT DRAW 380-OR APPROVED EQUAL. JACKET SHALL BE COLOR CODED BLUE FOR WATERMAIN. JACKET SHALL BE COLOR CODED RED FOR MAGNESIUM GROUNDING RODS. THICKNESS: 30 MIL. RATED FOR 30 VOLTS.

CONNECTORS (THREE-WAY LUG): ALLOWS TAP WITHOUT CUTTING THE MAIN LINE. WIRE SIZE: #14-10 SOLID COPPER AND #12 STEEL CORE COPPER-CLAD TRACER WIRE. INCLUDES SILICON SEALANT. DESIGNED FOR DIRECT BURIAL. CONNECTORS SHALL BE COPPERHEAD INDUSTRIES OR APPROVED EQUAL.

MAGNESIUM GROUNDING RODS: EQUIPMENT FROM THE FOLLOWING MANUFACTURERS AND WHICH MEET THESE SPECIFICATIONS WILL BE ACCEPTED. COPPERHEAD INDUSTRIES PART # ANO-1005 (1.5 LBS). MAGNESIUM GROUNDING RODS ARE REQUIRED AT ALL ACCESS BOXES AS SHOWN ON THE PLANS.

CONNECTORS (WIRE NUTS): JOINS UP TO 4 #12 WIRES. WIRE SIZE: #22-8 SOLID COPPER AND #12 STEEL CORE COPPER-CLAD TRACER WIRE. DESIGNED FOR DIRECT BURIAL. CONNECTORS SHALL BE COPPERHEAD INDUSTRIES OR APPROVED EQUAL.

THE NEW WATERMAIN WILL NEED TO BE PRESSURE TESTED PER THE CURRENT STANDARDS.

MAINTAIN MINIMUM 8-FT COVER TO TOP OF ALL WATER MAIN PIPE.

ALL PERMITS, INCLUDING BUT NOT LIMITED TO PERMITS FROM CITY OF EAST BETHEL AND THE MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY, SHALL BE OBTAINED PRIOR TO ORDERING OF MATERIAL AND STARTING OF CONSTRUCTION. NO INSTALLATION OF UTILITIES SHALL BE PERMITTED UNTIL ALL APPLICABLE PERMITS ARE RECEIVED BY THE CONTRACTOR.

INSTALLATION OF UTILITIES SHALL BE CONSTRUCTED TO MINNESOTA DEPARTMENT OF LABOR AND INDUSTRY STANDARDS AND CITY STANDARDS AS IDENTIFIED IN THE PUBLIC WORKS/ENGINEERING STANDARDS.

ALL WORK SHALL CONFORM TO THE "CITY OF EAST BETHEL ENGINEERING MANUAL" AND THE "STANDARD UTILITY SPECIFICATIONS AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA, LATEST REVISION."

## UTILITY PLAN LAKELAND BUILDING

DRAWN BY:	DESIGN BY:
M.Q.A.	Q.M.A.
CHKD BY:	PROJ. NO.
M.Q.A.	24-2183
ORIGINAL DATE:	
JANUARY 27, 2025	

DATE	REVISION DESCRIPTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

**QASEM M. ABUGHAZLEH** LIC. NO. 56259  
DATE: 1.27.2025

**LAKELAND BUILDING**  
EAST BETHEL, MINNESOTA  
UTILITY PLAN

PREPARED FOR:  
**CLASSIC CONSTRUCTION**

**PLOWE ENGINEERING, INC.**  
6776 LAKE DRIVE  
SUITE 110  
LINO LAKES, MN 55014  
PHONE: (651) 361-8210  
FAX: (651) 361-8701

**NORTH**

0 10 20  
1 INCH = 20 FEET

**C2**



### SITE SEQUENCING

• PRIOR TO ANY GRADING OPERATIONS, THE CONTRACTOR SHALL INSTALL ROCK CONSTRUCTION ENTRANCE (LOCATIONS TO BE DETERMINED - COORDINATE WITH OWNER) AND PERIMETER SILT FENCE AS SHOWN ON PLAN. (CONTACT CITY TO INSPECT EROSION CONTROL MEASURES PRIOR TO GRADING OPERATIONS, IF NECESSARY.) ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE.

• THE CONTRACTOR SHALL PROVIDE ALL SOD, SEED, MULCH AND FERTILIZER WHICH SHALL CONFORM WITH THE FOLLOWING MNDOT SPECIFICATIONS AS MODIFIED BELOW.

ITEM	MNDOT SPECIFICATION/NOTES
SOD	3878
SEED **	3876
* FOR TURF ESTABLISHMENT	
COMMERCIAL TURF	MNDOT MIX 25-131 (220 LBS/ACRE)
RESIDENTIAL TURF	MNDOT MIX 25-131 (120 LBS/ACRE)
TEMPORARY	
FALL COVER	MNDOT MIX 21-112 (100 LBS/ACRE)
SPRING/SUMMER	MNDOT MIX 21-111 (100 LBS/ACRE)
SOIL-BUILDING COVER	MNDOT MIX 21-113 (110 LBS/ACRE)
1-2 YEARS COVER	MNDOT MIX 22-111 (30.5 LBS/ACRE)
2-5 YEARS COVER	MNDOT MIX 22-112 (40 LBS/ACRE)
MULCH	3882 (TYPE 1 - DISC ANCHORED)
FERTILIZER	3881
WOOD FIBER BLANKET	3885 (CATEGORY 2)

\* MOW A MINIMUM OF ONCE PER 2 WEEKS  
 \*\* SEEDED AREAS SHALL BE EITHER MULCHED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION.

- ALL EXPOSED SOILS MUST HAVE TEMPORARY EROSION CONTROL PROTECTION OR PERMANENT COVER WITHIN FOURTEEN (14) DAYS.
- THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO ALL ADJACENT PROPERTY LINES AND MAKE SURE THE EROSION CONTROL PRACTICES IN PLACE IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION. SILT FENCE TO BE REMOVED ONLY AFTER COMPLETION OF BUILDING CONSTRUCTION AND UPON ESTABLISHMENT OF VEGETATION.
- THE CONTRACTOR SHALL PROVIDE WOOD FIBER BLANKET FOR ALL AREAS OF CONCENTRATED FLOW AND FOR ALL SLOPES 3:1 OR GREATER.
- PROTECT ALL STORM WATER MANAGEMENT FACILITIES FROM CONSTRUCTION RUN-OFF. CONTRACTOR TO INSTALL AND CONSTRUCT SAID FACILITIES ONCE SITE HAS BEEN STABILIZED.
- IF ANY SLOPES APPEAR TO BE FAILING, THE CONTRACTOR SHALL PROVIDE ADDITIONAL SILT FENCE, BIOROLLS AND EROSION CONTROL BLANKET AS NEEDED.
- THE CONTRACTOR SHALL FINAL GRADE SWALE AREAS UPON STABILIZATION OF UPSTREAM AREAS.
- THE CONTRACTOR SHALL SOD ALL DISTURBED DRAINAGE AREAS, INCLUDING SWALES & OVERFLOWS.
- UPON GRADING COMPLETION THE CONTRACTOR SHALL PROVIDE NATIVE TOPSOIL WITH SOD OR SEED, AND MULCH ANCHORED WITH A STRAIGHT SET DISC WITHIN 48 HOURS OF FINAL GRADING.
- EXCESS SOIL SHOULD BE TREATED LIKE OTHER EXPOSED SOIL AND STABILIZED WITHIN 72 HOURS. ANY SOIL STOCKPILES ARE TO HAVE SILT FENCE PLACED ON DOWNSTREAM SIDES.
- IF A STREET, ALLEY, SIDEWALK OR OTHER PUBLIC PLACE SHOULD BECOME SOILED OR LITTERED, THE CONTRACTOR SHALL CAUSE SUCH SOILING OR LITTERING TO BE CLEANED UP BY SWEEPING NOT LATER THAN THE END OF THE WORKING DAY IN WHICH SUCH SOILING OR LITTERING SHALL HAVE OCCURRED OR BEEN OBSERVED.

### OTHER POLLUTION CONTROL MEASURES

CONSTRUCTION WASTE MATERIALS - ALL WASTE MATERIALS GENERATED AS A RESULT OF SITE CONSTRUCTION SHALL BE COLLECTED AND REMOVED ACCORDING TO ALL LOCAL AND/OR STATE WASTE MANAGEMENT REGULATIONS BY A LICENSED SOLID WASTE MANAGEMENT COMPANY. THE CONTRACTOR WILL ENSURE THAT ALL SITE PERSONNEL ARE INSTRUCTED IN THESE PRACTICES.

HAZARDOUS WASTES - ALL HAZARDOUS WASTE MATERIALS SHALL BE STORED PROPERLY TO PREVENT SPILLS AND VANDALISM. WHEN NECESSARY, HAZARDOUS WASTES WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL AND/OR STATE REGULATION OR BY THE MANUFACTURER.

SANITARY WASTE - ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS BY A LOCAL, LICENSED WATER MANAGEMENT COMPANY, AS REQUIRED BY LOCAL REGULATION.

OFFSITE VEHICLE TRACKING - A ROCK CONSTRUCTION ENTRANCE HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. IF A STREET, ALLEY, SIDEWALK OR OTHER PUBLIC PLACE SHOULD BECOME SOILED OR LITTERED, THE CONTRACTOR SHALL CAUSE SUCH SOILING OR LITTERING TO BE CLEANED UP BY SWEEPING NOT LATER THAN THE END OF THE WORKING DAY IN WHICH SUCH SOILING OR LITTERING SHALL HAVE OCCURRED OR BEEN OBSERVED. DUMP TRUCKS HAULING LOOSE MATERIALS (SAND, TOPSOIL, ETC.) TO AND/OR FROM THE SITE SHALL BE COVERED WITH A TARPULIN.

VEHICLE CLEANING - NO ENGINE DEGREASING IS ALLOWED ON-SITE. EXTERNAL WASHING OF VEHICLES TO BE CONFINED TO A DEFINED AREA ("BONE YARD") ON-SITE. CONTRACTOR TO PROVIDE DESIGNATED TRUCK WASHOUT AREA WITH APPROPRIATE SIGNAGE. WASHOUT AREA IS TO BE A MINIMUM OF 50' FROM DITCHES, PONDS, OR OTHER STORMWATER FEATURES. ALL LIQUID AND SOLID WASTE GENERATED BY WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK-PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER (E.G. COMPACTED CLAY LINER, IMPERMEABLE GEO-MEMBRANE) AND DISPOSED OF PROPERLY.

SPILL PREVENTION AND CONTROL - ALL VEHICLES WILL BE CHECKED FOR LEAKING OIL AND FLUIDS. VEHICLES LEAKING FLUIDS WILL NOT BE ALLOWED ON-SITE. SPILL KITS WILL BE STORED ON-SITE AND ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. SPENT ABSORBENT MATERIALS AND RAGS WILL BE HAULED OFF-SITE IMMEDIATELY AFTER THE SPILL IS CLEANED UP AND PROPERLY DISPOSED OF. SPILL PREVENTION AND CONTROL MEASURES SHALL BE IMPLEMENTED ONCE CONSTRUCTION BEGINS.

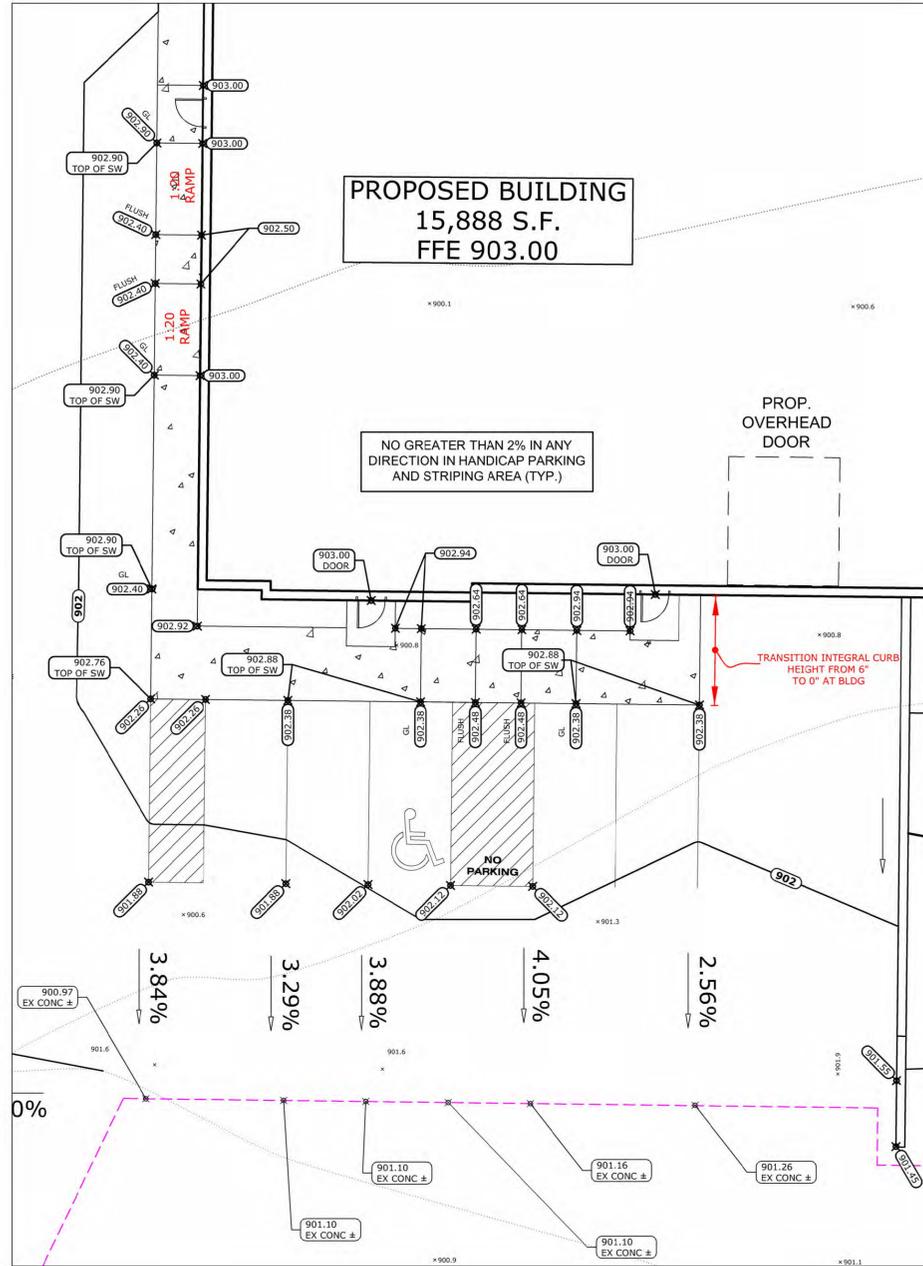
SOIL STOCKPILES - INSTALL SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AROUND ALL TEMPORARY SOIL STOCKPILES. LOCATE SOIL OR DIRT STOCKPILES SUCH THAT DOWNSLOPE DRAINAGE LENGTH IS NO LESS THAN 8 M (25 FEET) FROM THE TOE OF THE PILE TO A SURFACE WATER, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS, OR CONDUITS AND DITCHES UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER. IF REMAINING FOR MORE THAN 7 DAYS, STABILIZE THE STOCKPILES BY MULCHING, VEGETATIVE COVER, TARPS, OR OTHER MEANS. DURING STREET REPAIR, COVER CONSTRUCTION SOIL OR DIRT STOCKPILES LOCATED CLOSER THAN 8 M (25 FEET) TO A ROADWAY OR DRAINAGE CHANNEL WITH TARP, AND PROTECT STORM SEWER INLETS WITH SILT SOCKS OR STAKED SILT FENCE.

PROVIDE WIMCO (OR APPROVED EQUAL) FOR INLET PROTECTION AT ALL EXISTING STORM SEWER INLETS THAT WILL RECEIVE RUN-OFF DURING CONSTRUCTION. INLET PROTECTION TO REMAIN IN-PLACE UNTIL AT LEAST 70% OF SITE VEGETATION HAS BEEN ESTABLISHED.

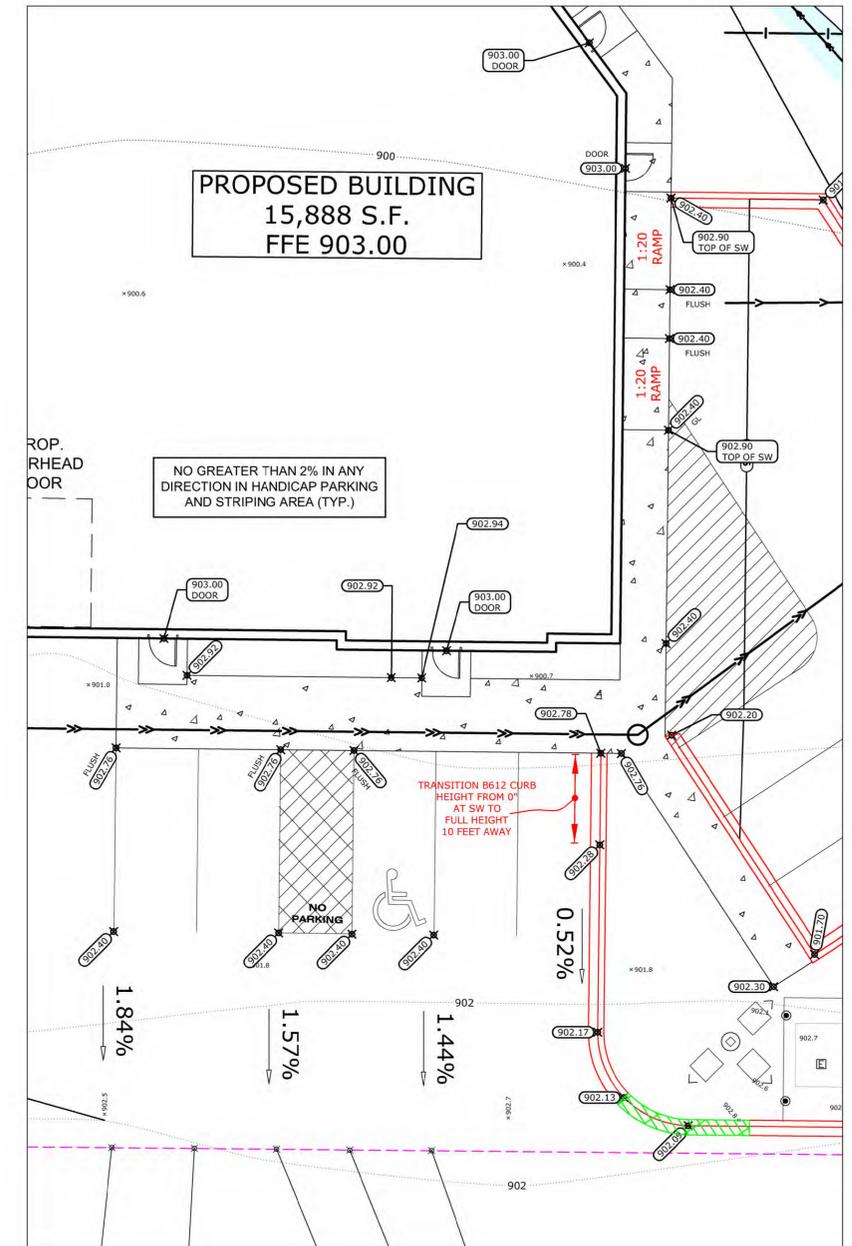
CONTRACTOR TO PROVIDE DESIGNATED CONCRETE TRUCK WASHOUT AREA WITH APPROPRIATE SIGNAGE. KEEP WASHOUT AREAS AS FAR AS PRACTICAL FROM STORM DRAINS, DITCHES AND PONDS. DO NOT ALLOW RUN-OFF FROM THIS AREA BY CONSTRUCTING A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH FOR LIQUID AND SOLID WASTE. AFTER WASTE CONCRETE IS SET, BREAK-UP AND DISPOSE OF PROPERLY.

THE CONTRACTOR MUST DISCHARGE TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENTATION BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. THE CONTRACTOR MAY DISCHARGE FROM THE TEMPORARY OR PERMANENT SEDIMENTATION BASINS TO SURFACE WATERS IF THE BASIN WATER HAS BEEN VISUALLY CHECKED TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED IN THE BASIN AND THAT NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF THE WATER CANNOT BE DISCHARGED TO A SEDIMENTATION BASIN PRIOR TO ENTERING THE SURFACE WATER, IT MUST BE TREATED WITH THE APPROPRIATE BMPs, SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE RECEIVING WATER OR DOWNSTREAM PROPERTIES.

ALL WORK SHALL CONFORM TO THE "CITY OF EAST BETHEL ENGINEERING MANUAL" AND THE "STANDARD UTILITY SPECIFICATIONS AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA, LATEST REVISION."



HC DETAILS (WEST)



HC DETAILS (EAST)

DRAWN BY: M.Q.A. DESIGN BY: Q.M.A.  
 CHCKD BY: M.Q.A. PROJ. NO. 24-2183  
 ORIGINAL DATE: JANUARY 27, 2025

REVISION DESCRIPTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

QASEM M. ABUGHAZLEH LIC. NO. 56289  
 DATE: 1.27.2025

LAKELAND BUILDING  
 EAST BETHEL, MINNESOTA  
 DETAILS & NOTES

PREPARED FOR:  
 CLASSIC  
 CONSTRUCTION



SITE PLANNING & ENGINEERING  
**Plowe Engineering, Inc.**  
 6776 LAKE DRIVE  
 SUITE 110  
 LINO LAKES, MN 55014  
 PHONE: (651) 361-8210  
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NORTH

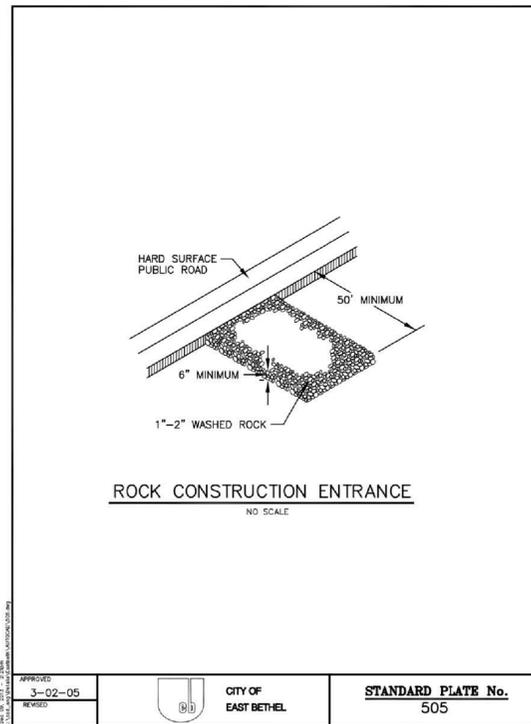
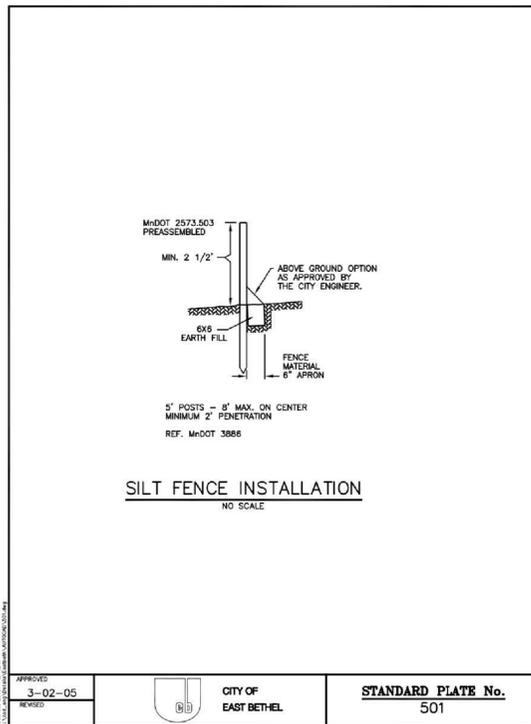
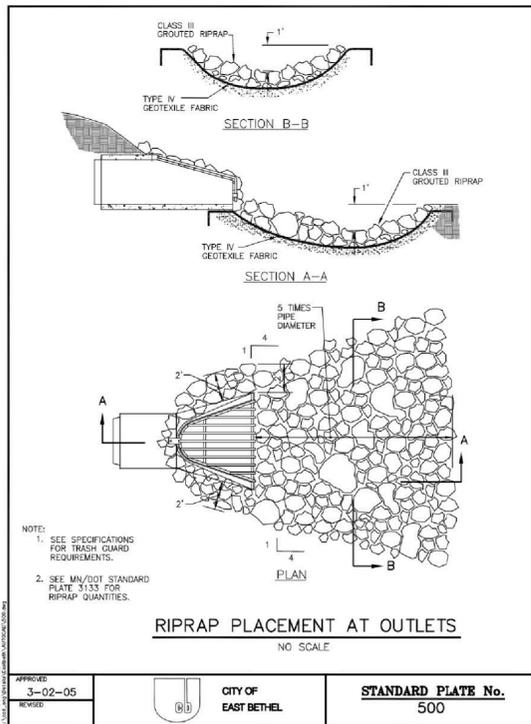
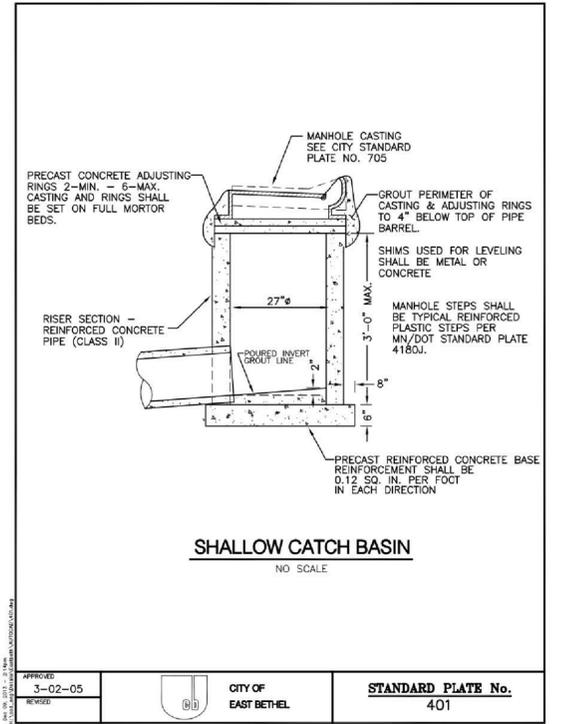
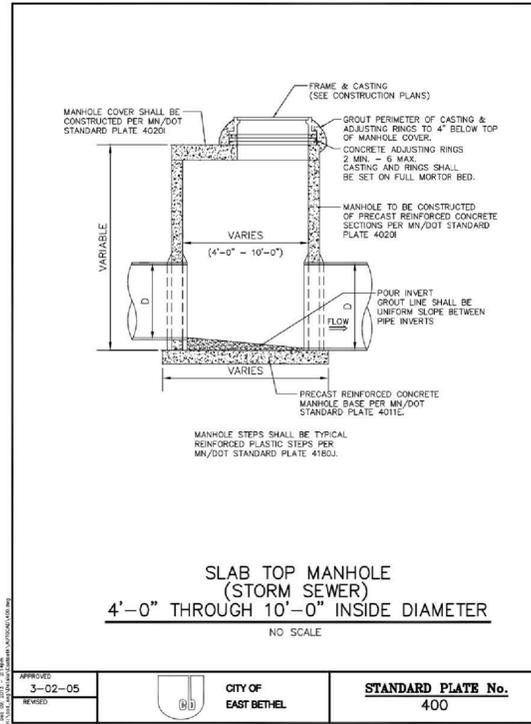
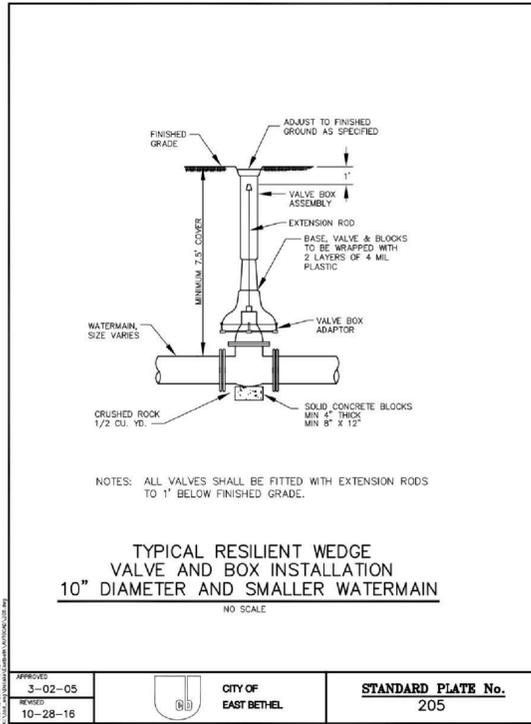
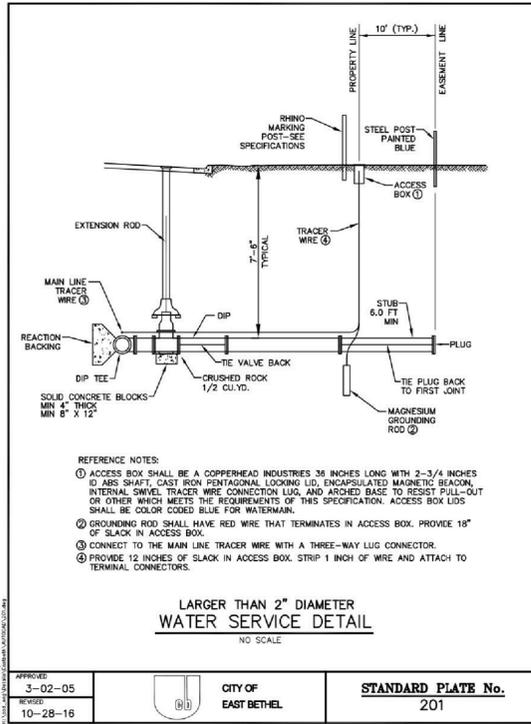


0 5 10  
 1 INCH = 10 FEET

DETAILS & NOTES  
 LAKELAND BUILDING

**C3.1**





DRAWN BY: M.Q.A.	DESIGN BY: Q.M.A.
CHKD BY: M.Q.A.	PROJ. NO. 24-2183
ORIGINAL DATE: JANUARY 27, 2025	

DATE	REVISION DESCRIPTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

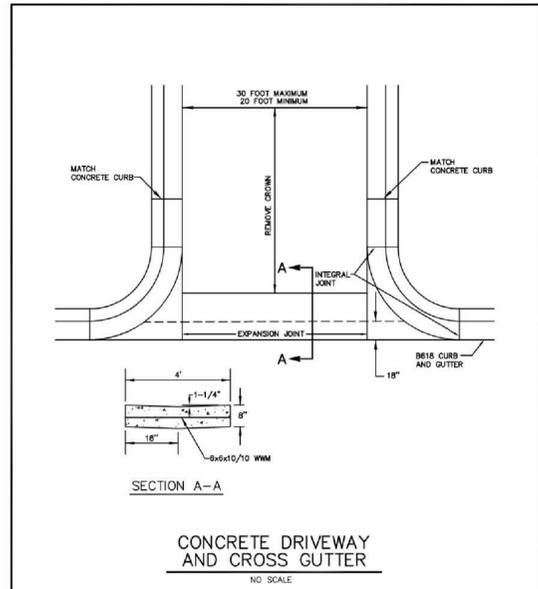
**CASEM M. ABUGHAZLEH**  
 LIC. NO. 56289  
 DATE: 1-27-2025

**LAKELAND BUILDING**  
**EAST BETHEL, MINNESOTA**  
 DETAILS & NOTES

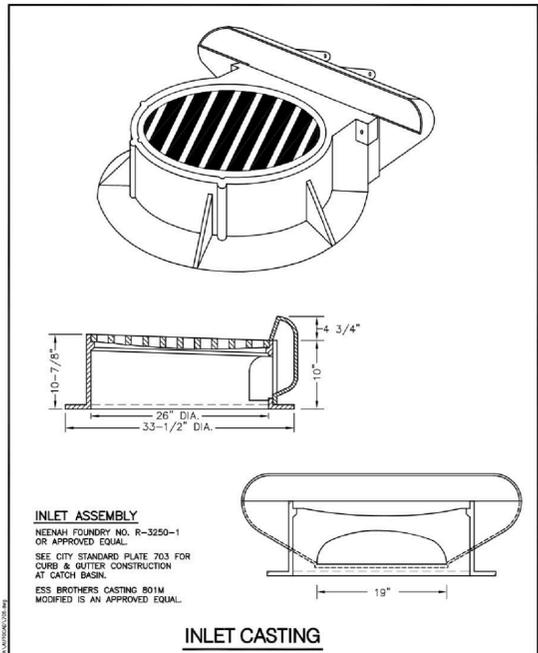
PREPARED FOR:  
**CLASSIC CONSTRUCTION**

**PLOWE ENGINEERING, INC.**  
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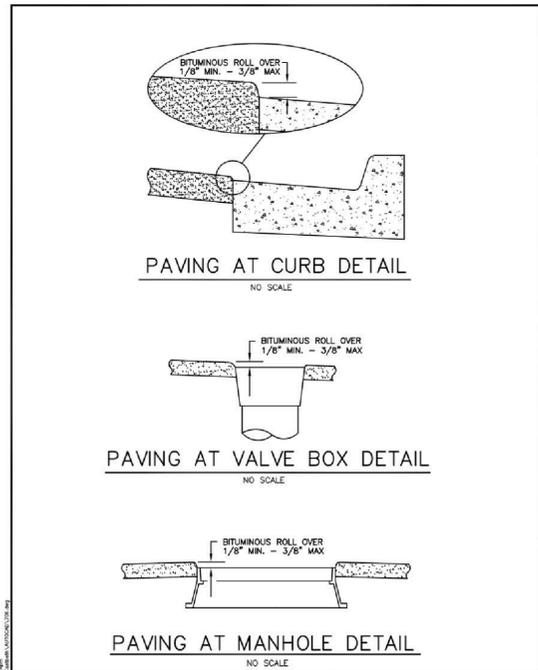
S:\Information\24\proj\02183 Plan of Grid Bldg 2 (East Bethel)\02183 CAD\24-2183 BASE IS.dwg 2/25/2025



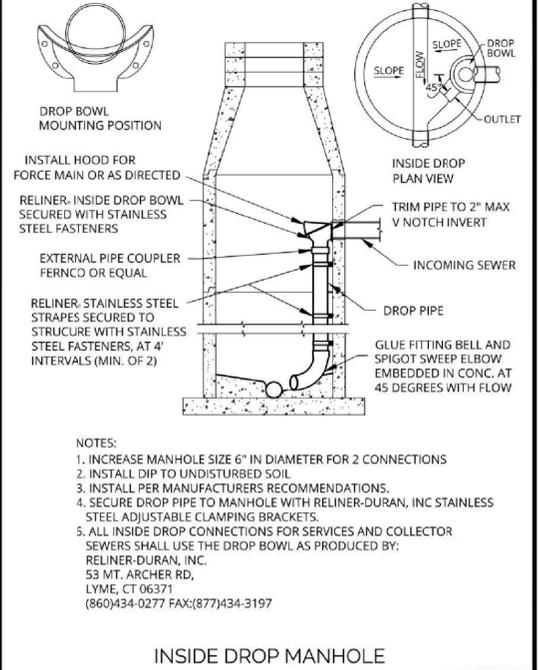
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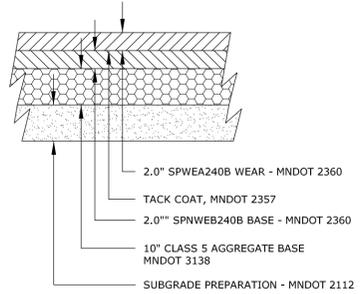
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APPROVED 3-02-05		CITY OF EAST BETHEL	STANDARD PLATE No. 706
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APPROVED 3-02-05		CITY OF EAST BETHEL	STANDARD PLATE No. 706
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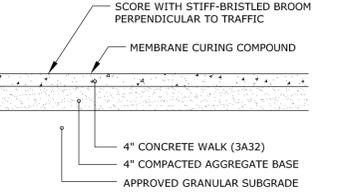


PAVING SHALL CONFORM TO THE LATEST EDITION OF MNDOT'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY'S STANDARDS FOR STREET AND UTILITY CONSTRUCTION.

BITUMINOUS PAVING SECTION SHALL BE REVIEWED AND APPROVED BY GEOTECHNICAL ENGINEER PRIOR TO ANY INSTALLATIONS. ALSO, SEE GEOTECHNICAL REPORT PREPARED BY HAUGO GEOTECHNICAL SERVICES DATED JANUARY 12, 2021.

**BITUMINOUS - HEAVY DUTY (PARKING LOT)**

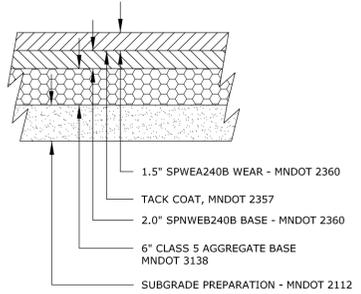
NOT TO SCALE



- NOTES:
- 1) USE EXPANSION JOINT WHERE NEW CONCRETE MEETS EXISTING CONCRETE OR STRUCTURE.
  - 2) CONTROL JOINTS SHALL BE CUT WITH A JOINTER HAVING A RADIUS OF 1/4" AND SPACED @ 5'-0" O.C. MAX. U.N.O.
  - 3) EXPANSION JOINTS SHALL BE SPACED AT 20'-0" O.C. MAX. AND SHALL CONSIST OF A 1/2" PRE-FORMED JOINT FILLER.
  - 4) ANTI-SPALLING COMPOUND SHALL BE APPLIED TO CONCRETE SURFACES.

**TYPICAL CONCRETE SIDEWALK**

NOT TO SCALE

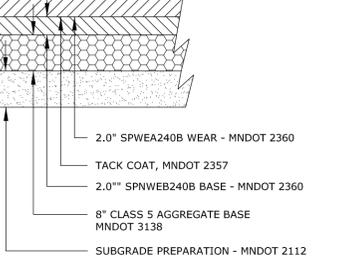


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**BITUMINOUS - LIGHT DUTY (PARKING LOT)**

NOT TO SCALE

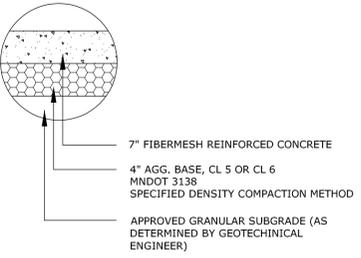


PAVING SHALL CONFORM TO THE LATEST EDITION OF MNDOT'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY'S STANDARDS FOR STREET AND UTILITY CONSTRUCTION.

BITUMINOUS PAVING SECTION SHALL BE REVIEWED AND APPROVED BY CITY OF EAST BETHEL PRIOR TO ANY INSTALLATIONS.

**BITUMINOUS - HEAVY DUTY (ULYSSES ST.)**

NOT TO SCALE

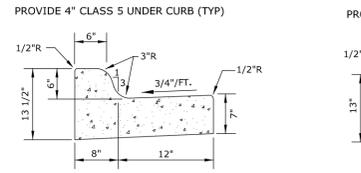


PAVING SHALL CONFORM TO THE LATEST EDITION OF MNDOT'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY'S STANDARDS FOR STREET AND UTILITY CONSTRUCTION.

CONCRETE PAVING SECTION SHALL BE REVIEWED AND APPROVED BY GEOTECHNICAL ENGINEER PRIOR TO ANY INSTALLATIONS.

**CONCRETE PAVEMENT (PARKING LOT)**

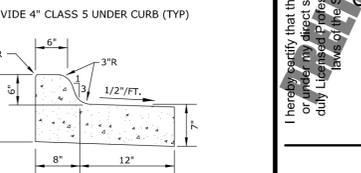
NOT TO SCALE



NOTE: FOR MECHANICALLY LAID CURB, SHOE MAY BE TILTED.

**B612 CONCRETE CURB & GUTTER**

NOT TO SCALE



NOTE: FOR MECHANICALLY LAID CURB, SHOE MAY BE TILTED.

**B612 CONCRETE CURB & GUTTER (TIP-OUT)**

NOT TO SCALE

DRAWN BY: M.Q.A.	DESIGN BY: Q.M.A.
CHKD BY: M.Q.A.	PROJ. NO. 24-2183
ORIGINAL DATE: JANUARY 27, 2025	

DATE	REVISION DESCRIPTION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

**QASEM M. ABUGHAZLEH**  
LIC. NO. 56299  
DATE: 1.27.2025

**LAKELAND BUILDING**  
EAST BETHEL, MINNESOTA

PREPARED FOR:  
**CLASSIC CONSTRUCTION**

**PLOWE ENGINEERING, INC.**  
SITE PLANNING & ENGINEERING  
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**DETAILS & NOTES**  
**LAKELAND BUILDING**

**C3.4**

4.1 TERMINATION OF COVERAGE. [MINN. R. 7090]

- 4.2 PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ALL TERMINATION CONDITIONS LISTED IN SECTION 13 ARE COMPLETE. [MINN. R. 7090]
4.3 PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER SELLING OR OTHERWISE LEGALLY TRANSFERRING THE ENTIRE SITE, INCLUDING PERMIT RESPONSIBILITY FOR ROADS (E.G., STREET SWEEPING) AND STORMWATER INFRASTRUCTURE FINAL LEAN OUT, OR TRANSFERRING PORTIONS OF A SITE TO ANOTHER PARTY. THE PERMITTEES' COVERAGE UNDER THIS PERMIT TERMINATES AT MIDNIGHT ON THE SUBMISSION DATE OF THE NOT. [MINN. R. 7090]
4.4 PERMITTEES MAY TERMINATE PERMIT COVERAGE PRIOR TO COMPLETION OF ALL CONSTRUCTION ACTIVITY IF THEY MEET ALL OF THE FOLLOWING CONDITIONS:
A. CONSTRUCTION ACTIVITY HAS CEASED FOR AT LEAST 90 DAYS; AND
B. AT LEAST 90 PERCENT (BY AREA) OF ALL ORIGINALLY PROPOSED CONSTRUCTION ACTIVITY HAS BEEN COMPLETED AND PERMANENT COVER HAS BEEN ESTABLISHED ON THOSE AREAS; AND
C. ON AREAS WHERE CONSTRUCTION ACTIVITY IS NOT COMPLETE, PERMANENT COVER HAS BEEN ESTABLISHED; AND
D. THE SITE COMPLIES WITH ITEM 13.3 THROUGH 13.7.

- AFTER PERMIT COVERAGE IS TERMINATED UNDER THIS ITEM, ANY SUBSEQUENT DEVELOPMENT ON THE REMAINING PORTIONS OF THE SITE WILL REQUIRE PERMIT COVERAGE IF THE SUBSEQUENT DEVELOPMENT ITSELF OR AS PART OF THE REMAINING COMMON PLAN OF DEVELOPMENT OR SALE WILL RESULT IN LAND DISTURBING ACTIVITIES OF ONE (1) OR MORE ACRES IN SIZE. [MINN. R. 7090]
4.5 PERMITTEES MAY TERMINATE COVERAGE UPON MPCA APPROVAL AFTER SUBMITTING INFORMATION DOCUMENTING THE OWNER CANCELED THE PROJECT. [MINN. R. 7090]

5.1 STORMWATER POLLUTION PREVENTION PLAN (SWPPP) CONTENT [MINN. R. 7090]

- 5.1.3 THE SWPPP MUST INCORPORATE SPECIFIC BEST MANAGEMENT PRACTICES (BMP) USED TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT. [MINN. R. 7090]
5.1.4 THE SWPPP MUST INCLUDE A NARRATIVE DESCRIBING THE TIMING FOR INSTALLATION OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs AND A DESCRIPTION OF THE PERMANENT STORMWATER TREATMENT SYSTEMS. [MINN. R. 7090]
5.1.5 THE SWPPP MUST INCLUDE THE LOCATION AND TYPE OF ALL TEMPORARY AND PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMPs ALONG WITH PROCEDURES USED TO ESTABLISH ADDITIONAL TEMPORARY BMPs AS NECESSARY FOR THE SITE CONDITIONS DURING CONSTRUCTION. STANDARD DETAILS AND/OR SPECIFICATIONS FOR BMPs MUST BE INCLUDED IN THE FINAL PLANS AND SPECIFICATIONS FOR THE PROJECT. [MINN. R. 7090]
5.1.6 THE SWPPP MUST INCLUDE THE CALCULATIONS AND OTHER INFORMATION USED FOR THE DESIGN OF TEMPORARY SEDIMENT BASINS AND ANY OF THE PERMANENT STORMWATER TREATMENT SYSTEMS REQUIRED IN SECTION 15. [MINN. R. 7090]
5.1.7 THE SWPPP MUST INCLUDE ESTIMATED QUANTITIES ANTICIPATED AT THE START OF THE PROJECT FOR THE LIFE OF THE PROJECT FOR ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs (E.G., LINEAR FEET OF SILT FENCE OR SQUARE FEET OF EROSION CONTROL BLANKET). [MINN. R. 7090]
5.1.8 THE SWPPP MUST INCLUDE THE NUMBER OF ACRES OF IMPERVIOUS SURFACE FOR BOTH PRE- AND POST-CONSTRUCTION. [MINN. R. 7090]

- 5.1.9 THE SWPPP MUST INCLUDE A SITE MAP WITH EXISTING AND FINAL GRADES, INCLUDING DRAINAGE AREA BOUNDARIES, DIRECTIONS OF FLOW AND ALL DISCHARGE POINTS WHERE STORMWATER IS LEAVING THE SITE OR ENTERING A SURFACE WATER. THE SITE MAP MUST INDICATE THE AREAS OF STEEP SLOPES. THE SITE MAP MUST ALSO INCLUDE IMPERVIOUS SURFACES, SOIL TYPES AND LOCATIONS OF POTENTIAL POLLUTANT-GENERATING ACTIVITIES AS IDENTIFIED IN SECTION 12. [MINN. R. 7090]
5.1.10 THE SWPPP MUST INCLUDE A MAP OF ALL SURFACE WATERS, EXISTING WETLANDS, AND STORMWATER PONDS OR BASINS THAT CAN BE IDENTIFIED ON MAPS SUCH AS UNITED STATES GEOLOGICAL SURVEY 7.5 MINUTE QUADRANGLE MAPS, THE NATIONAL WETLAND INVENTORY MAP OR EQUIVALENT MAPS AND ARE WITHIN ONE MILE (AERIAL RADIUS MEASUREMENT) FROM THE PROJECT BOUNDARIES THAT WILL RECEIVE STORMWATER FROM THE CONSTRUCTION SITE, DURING OR AFTER CONSTRUCTION. THE SWPPP MUST IDENTIFY IF THE SURFACE WATERS ARE SPECIAL OR IMPAIRED WATERS. [MINN. R. 7090]
5.1.11 THE SWPPP MUST INCLUDE A SITE MAP SHOWING CONSTRUCTION ACTIVITY AREAS THAT ARE ADJACENT TO AND DRAIN TO PUBLIC WATERS FOR WHICH THE DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPAWNING TIME FRAMES. [MINN. R. 7090]
5.1.2 PERMITTEES MUST IDENTIFY LOCATIONS OF 50' BUFFER ZONES AS REQUIRED IN ITEM 9.17 AND 100' PERMANENT BUFFER ZONES AS REQUIRED IN ITEM 23.11, ON PLAN SHEETS IN THE SWPPP. [MINN. R. 7090]
5.1.3 IF PERMITTEES DETERMINE COMPLIANCE WITH THE FOLLOWING REQUIREMENTS IS INFEASIBLE, THEY MUST DOCUMENT THE DETERMINATION IN THE SWPPP:
a. TEMPORARY SEDIMENT BASIN AS DESCRIBED IN SECTION 14; AND
b. FOR LINEAR PROJECTS, IF THE PERMANENT STORMWATER TREATMENT SYSTEM CANNOT BE CONSTRUCTED WITHIN THE RIGHT-OF-WAY, A REASONABLE ATTEMPT MUST BE MADE TO OBTAIN ADDITIONAL RIGHT-OF-WAY (ITEM 15.9); AND
c. BUFFER ZONES AS DESCRIBED IN ITEM 9.17 AND ITEM 23.11. [MINN. R. 7090]
5.1.4 IF PERMITTEES DETERMINE THAT A TEMPORARY SEDIMENT BASIN IS INFEASIBLE AS DESCRIBED IN ITEM 14.10, THE SWPPP MUST DESCRIBE THE ALTERNATIVE BMPs USED. [MINN. R. 7090]
5.1.5 WHERE SYSTEMS CANNOT MEET THE FULL VOLUME REDUCTION REQUIREMENT ON SITE (E.G., THE SITE HAS INFILTRATION PROHIBITIONS), SEE ITEM 16.14 THROUGH ITEM 16.21 THE PERMITTEE MUST DOCUMENT THE REASONS IN THE SWPPP. [MINN. R. 7090]

- 5.1.6 THE SWPPP MUST INCLUDE ANY STORMWATER MITIGATION MEASURES PROPOSED TO BE PART OF THE FINAL PROJECT IN AN ENVIRONMENTAL REVIEW DOCUMENT, ENDANGERED SPECIES REVIEW, ARCHEOLOGICAL OR OTHER REQUIRED LOCAL, STATE OR FEDERAL REVIEW CONDUCTED FOR THE PROJECT. FOR PURPOSES OF THIS PERMIT, MITIGATION MEASURES MEANS ACTIONS NECESSARY TO AVOID, MINIMIZE, OR MITIGATE FOR IMPACTS RELATED TO EROSION PREVENTION, SEDIMENT CONTROL, THE PERMANENT STORMWATER TREATMENT SYSTEM, POLLUTION PREVENTION MANAGEMENT MEASURES AND DISCHARGES ASSOCIATED WITH THE PROJECT'S CONSTRUCTION ACTIVITY. [MINN. R. 7090]
5.1.7 THE SWPPP MUST DESCRIBE THE METHODS USED FOR PERMANENT COVER OF ALL EXPOSED SOIL AREAS. [MINN. R. 7090]
5.1.8 PERMITTEES MUST IDENTIFY THE LOCATIONS OF AREAS WHERE CONSTRUCTION WILL BE PHASED TO MINIMIZE THE DURATION OF EXPOSED SOIL AREAS IN THE SWPPP. [MINN. R. 7090]
5.1.9 FOR PROJECTS WITH A DISCHARGE POINT ON THE PROJECT WITHIN ONE (1) MILE (AERIAL RADIUS MEASUREMENT) OF AND WHICH FLOWS TO AN IMPAIRED WATER, PERMITTEES MUST IDENTIFY THE IMPAIRED WATER(S), AND ANY UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (USEPA)-APPROVED TOTAL MAXIMUM DAILY LOAD (TMDL) FOR THE POLLUTANT(S) OR CONTROLS(S) DESCRIBED IN ITEM 23.7. PERMITTEES' IDENTIFICATION MUST INCLUDE THOSE TMDLS APPROVED AT ANY TIME PRIOR TO PERMIT APPLICATION SUBMITTAL AND ARE STILL IN EFFECT. [MINN. R. 7090]
5.2.0 PERMITTEES MUST DOCUMENT IN THE SWPPP, ALL TRAINED INDIVIDUALS IDENTIFIED IN ITEM 21.2. DOCUMENTATION MUST INCLUDE:
a. NAMES OF PERSONNEL REQUIRED TO BE TRAINED; AND
b. DATES OF TRAINING AND NAME OF INSTRUCTOR(S) AND ENTITY PROVIDING TRAINING; AND
c. CONTENT OF TRAINING COURSE.

- IF PERMITTEES DO NOT KNOW THE NAMES OF THE INDIVIDUALS AT THE TIME OF APPLICATION, THE PERMITTEES MUST ENSURE THEY DOCUMENT TRAINING BEFORE CONSTRUCTION ACTIVITY COMMENCES. [MINN. R. 7090]
5.2.1 THE SWPPP MUST IDENTIFY A PERSON KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPs WHO WILL COORDINATE WITH ALL CONTRACTORS, SUBCONTRACTORS, AND OPERATORS ON-SITE TO OVERSEE THE IMPLEMENTATION OF THE SWPPP. [MINN. R. 7090]
5.2.2 THE SWPPP MUST DESCRIBE ANY SPECIFIC CHEMICALS AND CHEMICAL TREATMENT SYSTEMS USED FOR ENHANCING THE SEDIMENTATION PROCESS AND HOW IT ACHIEVES COMPLIANCE WITH ITEM 9.18. [MINN. R. 7090]
5.2.3 THE SWPPP MUST IDENTIFY THE PERSON(S), ORGANIZATION, OR ENTITIES RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PERMANENT STORMWATER TREATMENT SYSTEMS. [MINN. R. 7090]
5.2.4 THE SWPPP MUST DESCRIBE METHODS TO MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL, MINIMIZING SOIL COMPACTION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES COMPACTION. [MINN. R. 7090]
5.2.5 THE SWPPP MUST INCLUDE ANY SITE ASSESSMENTS FOR GROUNDWATER OR SOIL CONTAMINATION REQUIRED IN ITEM 16.15. [MINN. R. 7090]
5.2.6 THE SWPPP MUST ACCOUNT FOR THE FOLLOWING FACTORS IN DESIGNING TEMPORARY EROSION PREVENTION AND SEDIMENT CONTROL BMPs:
a. THE EXPECTED AMOUNT, FREQUENCY, INTENSITY, AND DURATION OF PRECIPITATION; AND
b. THE NATURE OF STORMWATER RUNOFF AND RUN-ON AT THE SITE, INCLUDING FACTORS SUCH AS EXPECTED FLOW FROM IMPERVIOUS SURFACES, SLOPES, AND SITE DRAINAGE FEATURES; AND
c. THE STORMWATER VOLUME, VELOCITY, AND PEAK FLOWRATES TO MINIMIZE DISCHARGE OF POLLUTANTS IN STORMWATER AND TO MINIMIZE CHANNEL AND STREAMBANK EROSION AND SOUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS; AND
d. THE RANGE OF SOIL PARTICLES SIZES EXPECTED TO BE PRESENT. [MINN. R. 7090]

6.1 SWPPP AMENDMENTS. [MINN. R. 7090]

- 6.2 ONE OF THE INDIVIDUALS DESCRIBED IN ITEM 21.2.A OR ITEM 21.2.B OR ANOTHER QUALIFIED INDIVIDUAL MUST COMPLETE ALL SWPPP CHANGES. CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS. [MINN. R. 7090]
6.3 PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPs AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER OR SEASONAL CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER. [MINN. R. 7090]
6.4 PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPs AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER INSPECTIONS OR INVESTIGATIONS BY THE SITE OWNER OR OPERATOR, USEPA OR MPCA OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER OR THE DISCHARGES ARE CAUSING WATER QUALITY STANDARD EXCEEDANCES (E.G., NUISANCE CONDITIONS AS DEFINED IN MINN. R. 7050.0210, SUBP. 2) OR THE SWPPP IS NOT CONSISTENT WITH THE OBJECTIVES OF A USEPA APPROVED TMDL. [MINN. R. 7050.0210]

7.1 BMP SELECTION AND INSTALLATION. [MINN. R. 7090]

- 7.2 PERMITTEES MUST SELECT, INSTALL, AND MAINTAIN THE BMPs IDENTIFIED IN THE SWPPP AND IN THIS PERMIT IN AN APPROPRIATE AND FUNCTIONAL MANNER AND IN ACCORDANCE WITH RELEVANT MANUFACTURER SPECIFICATIONS AND ACCEPTED ENGINEERING PRACTICES. [MINN. R. 7090]
8.1 EROSION PREVENTION PRACTICES. [MINN. R. 7090]
8.2 BEFORE WORK BEGINS, PERMITTEES MUST DELINEATE THE LOCATION OF AREAS NOT TO BE DISTURBED. [MINN. R. 7090]
8.3 PERMITTEES MUST MINIMIZE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT WITH STEEP SLOPES. WHEN STEEP SLOPES MUST BE DISTURBED, PERMITTEES MUST USE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINING AND TERRACING). [MINN. R. 7090]
8.4 PERMITTEES MUST STABILIZE ALL EXPOSED SOIL AREAS, INCLUDING STOCKPILES. STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHEN CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE WHICH WILL NOT BE RE-ENTERED EXCEEDING 7 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 7 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY HAS CEASED. STABILIZATION IS NOT REQUIRED ON CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SIMILAR SURFACES. STABILIZATION IS NOT REQUIRED ON TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) BUT PERMITTEES MUST PROVIDE SEDIMENT CONTROLS AT THE BASE OF THE STOCKPILE. [MINN. R. 7090]
8.5 FOR PUBLIC WATERS THAT THE MINNESOTA DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPAWNING TIME FRAMES, PERMITTEES MUST COMPLETE STABILIZATION OF ALL EXPOSED SOIL AREAS WITHIN 200 FEET OF THE WATER'S EDGE, AND THAT DRAIN TO THESE WATERS, WITHIN 24 HOURS DURING THE RESTRICTION PERIOD. [MINN. R. 7090]
8.6 PERMITTEES MUST STABILIZE THE NORMAL WETTED PERIMETER OF THE LAST 200 LINEAR FEET OF TEMPORARY OR PERMANENT DRAINAGE DITCHES OR SWALES THAT DRAIN WATER FROM THE SITE WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE. PERMITTEES MUST COMPLETE STABILIZATION OF REMAINING PORTIONS OF TEMPORARY OR PERMANENT DITCHES OR SWALES WITHIN 7 CALENDAR DAYS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE AND CONSTRUCTION IN THAT PORTION OF THE DITCH TEMPORARILY OR PERMANENTLY CEASES. [MINN. R. 7090]
8.7 TEMPORARY OR PERMANENT DITCHES OR SWALES BEING USED AS A SEDIMENT CONTAINMENT SYSTEM DURING CONSTRUCTION (WITH PROPERLY DESIGNED CHECKS, BIO ROLLS, SILT DIKES, ETC.) DO NOT NEED TO BE STABILIZED. PERMITTEES MUST STABILIZE THESE AREAS WITHIN 24 HOURS AFTER THEIR USE AS A SEDIMENT CONTAINMENT SYSTEM CEASES. [MINN. R. 7090]
8.8 PERMITTEES MUST NOT USE MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR EROSION PREVENTION PRACTICES WITHIN ANY PORTION OF THE NORMAL WETTED PERIMETER OF A TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE SECTION WITH A CONTINUOUS SLOPE OF GREATER THAN 2 PERCENT. [MINN. R. 7090]
8.9 PERMITTEES MUST PROVIDE TEMPORARY OR PERMANENT ENERGY DISSIPATION AT ALL PIPE OUTLETS WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER OR PERMANENT STORMWATER TREATMENT SYSTEM. [MINN. R. 7090]
8.10 PERMITTEES MUST NOT DISTURB MORE LAND (I.E., PHASING) THAN CAN BE EFFECTIVELY INSPECTED AND MAINTAINED IN ACCORDANCE WITH SECTION 11. [MINN. R. 7090]

9.1 SEDIMENT CONTROL PRACTICES. [MINN. R. 7090]

- 9.2 PERMITTEES MUST ESTABLISH SEDIMENT CONTROL BMPs ON ALL DOWNGRADE PERIMETERS OF THE SITE AND DOWNGRADE AREAS OF THE SITE THAT DRAIN TO ANY SURFACE WATER, INCLUDING CURB AND GUTTER SYSTEMS. PERMITTEES MUST LOCATE SEDIMENT CONTROL PRACTICES UPGRADIENT OF ANY BUFFER ZONES. PERMITTEES MUST INSTALL SEDIMENT CONTROL PRACTICES TO PREVENT DISTURBANCE OF SOIL. PERMITTEES MUST KEEP THE SEDIMENT CONTROL PRACTICES IN PLACE UNTIL THEY ESTABLISH PERMANENT COVER. [MINN. R. 7090]
9.3 IF DOWNGRADE SEDIMENT CONTROLS ARE OVERLOADED, BASED ON FREQUENT FAILURE OR EXCESSIVE MAINTENANCE REQUIREMENTS, PERMITTEES MUST INSTALL ADDITIONAL UPGRADIENT SEDIMENT CONTROL PRACTICES OR REDUNDANT BMPs TO ELIMINATE THE OVERLOADING AND AMEND THE SWPPP TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN ITEM 6.2. [MINN. R. 7090]
9.4 TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS DESIGNED AS PART OF A SEDIMENT CONTAINMENT SYSTEM (E.G., DITCHES WITH ROCK-CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR SITE CONDITIONS. [MINN. R. 7090]
9.5 A FLOATING SILT CURTAIN PLACED IN THE WATER IS NOT A SEDIMENT CONTROL BMP TO SATISFY ITEM 9.2 EXCEPT WHEN WORKING ON A SHORELINE OR BELOW THE WATERLINE. IMMEDIATELY AFTER THE SHORT TERM CONSTRUCTION ACTIVITY IS COMPLETED, PERMITTEES MUST RE-INSTALL SEDIMENT CONTROL PRACTICES BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE SHORT-TERM ACTIVITY IS NOT COMPLETE. [MINN. R. 7090]
9.7 PERMITTEES MUST PROTECT ALL STORM DRAIN INLETS USING APPROPRIATE BMPs DURING CONSTRUCTION UNTIL THEY ESTABLISH PERMANENT COVER ON ALL AREAS WITH POTENTIAL FOR DISCHARGING TO THE INLET. [MINN. R. 7090]
9.8 PERMITTEES MAY REMOVE INLET PROTECTION FOR A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (E.G. STREET FLOODING/FREEZING) IS IDENTIFIED BY THE PERMITTEES OR THE JURISDICTIONAL AUTHORITY (E.G., CITY/COUNTY/TOWNSHIP/MINNESOTA DEPARTMENT OF TRANSPORTATION ENGINEER). PERMITTEES MUST DOCUMENT THE NEED FOR REMOVAL IN THE SWPPP. [MINN. R. 7090]
9.9 PERMITTEES MUST PROVIDE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROL CONTROLS AT THE BASE OF STOCKPILES ON THE DOWNGRADE PERIMETER. [MINN. R. 7090]
9.10 PERMITTEES MUST LOCATE STOCKPILES OUTSIDE OF NATURAL BUFFERS OR SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS UNLESS THERE IS A BYPASS IN PLACE FOR THE SITE. [MINN. R. 7090]
9.11 PERMITTEES MUST INSTALL A VEHICLE TRACKING BMP TO MINIMIZE THE TRACK OUT OF SEDIMENT FROM THE CONSTRUCTION SITE OR ONTO PAVED ROADS WITHIN THE SITE. [MINN. R. 7090]
9.12 PERMITTEES MUST USE STREET SWEEPING IF VEHICLE TRACKING BMPs ARE NOT ADEQUATE TO PREVENT SEDIMENT TRACKING ONTO THE STREET. [MINN. R. 7090]
9.13 PERMITTEES MUST INSTALL TEMPORARY SEDIMENT BASINS AS REQUIRED IN SECTION 14. [MINN. R. 7090]
9.14 IN ANY AREAS OF THE SITE WHERE FINAL VEGETATIVE STABILIZATION WILL OCCUR, PERMITTEES MUST RESTRICT VEHICLE AND EQUIPMENT USE TO MINIMIZE SOIL COMPACTION. [MINN. R. 7090]
9.15 PERMITTEES MUST PRESERVE TOPSOIL ON THE SITE, UNLESS INFEASIBLE. [MINN. R. 7090]
9.16 PERMITTEES MUST DIRECT DISCHARGES FROM BMPs TO VEGETATED AREAS UNLESS INFEASIBLE. [MINN. R. 7090]
9.17 PERMITTEES MUST PRESERVE A 50 FOOT NATURAL BUFFER OR, IF A BUFFER IS INFEASIBLE ON THE SITE, PROVIDE TEMPORARY SEDIMENT CONTROL PRACTICES TO PREVENT DISTURBANCE OF SOIL. PERMITTEES MUST PRESERVE 50 FEET OF THE PROJECTS EARTH DISTURBANCES AND STORMWATER FLOWS TO THE SURFACE WATER. PERMITTEES MUST INSTALL PERIMETER SEDIMENT CONTROLS AT LEAST 5 FEET APART UNLESS LIMITED BY LACK OF AVAILABLE SPACE. NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES, JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAINAGE SYSTEMS, OR OTHER STRUCTURES. PERMITTEES MUST DOCUMENT THE REASONS IN THE SWPPP. SHEET PILING IS A REDUNDANT PERIMETER CONTROL IF INSTALLED IN A MANNER THAT RETAINS ALL STORMWATER. [MINN. R. 7090]
9.18 PERMITTEES MUST USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR SUPPLIER. THE PERMITTEES MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION AND MUST DIRECT TREATED STORMWATER TO A SEDIMENT CONTROL SYSTEM FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE. [MINN. R. 7090]
10.1 DEWATERING AND BASIN DRAINING. [MINN. R. 7090]
10.2 PERMITTEES MUST DISCHARGE TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING OR BASIN DRAINING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENT BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. PERMITTEES MAY DEWATER TO SURFACE WATERS IF THEY VISUALLY CHECK TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED AND NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF PERMITTEES CANNOT DISCHARGE THE WATER TO A SEDIMENTATION BASIN PRIOR TO ENTERING A SURFACE WATER, PERMITTEES MUST TREAT IT WITH APPROPRIATE BMPs SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE SURFACE WATER OR DOWNSTREAM PROPERTIES. [MINN. R. 7050.0210]
10.3 IF PERMITTEES MUST DISCHARGE WATER CONTAINING OIL OR GREASE, THEY MUST USE AN OIL-WATER SEPARATOR OR SUITABLE FILTRATION DEVICE (E.G., CARTRIDGE FILTERS, ABSORBENT PADS) PRIOR TO DISCHARGE. [MINN. R. 7090]
10.4 PERMITTEES MUST DISCHARGE ALL WATER FROM DEWATERING OR BASIN-DRAINING ACTIVITIES IN A MANNER THAT DOES NOT CAUSE EROSION OR OCCUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS OR NUNDATION OF WETLANDS IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS THAT CAUSES SIGNIFICANT ADVERSE IMPACT TO THE WETLAND. [MINN. R. 7090]
10.5 IF PERMITTEES USE FILTERS WITH BACKWASH WATER, THEY MUST HAUL THE BACKWASH WATER AWAY FOR DISPOSAL, RETURN THE BACKWASH WATER TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE THE BACKWASH WATER INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION. [MINN. R. 7090]

11.1 INSPECTIONS AND MAINTENANCE. [MINN. R. 7090]

- 11.2 PERMITTEES MUST ENSURE A TRAINED PERSON, AS IDENTIFIED IN ITEM 21.2.B, WILL INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 1/2 INCH IN 24 HOURS. [MINN. R. 7090]
11.3 PERMITTEES MUST INSPECT AND MAINTAIN ALL PERMANENT STORMWATER TREATMENT BMPs. [MINN. R. 7090]
11.4 PERMITTEES MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs AND POLLUTION PREVENTION MANAGEMENT MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL NONFUNCTIONAL OR DEFICIENT BMPs WITHIN 7 CALENDAR DAYS AFTER DISCOVERY OR, IF APPLICABLE, WITHIN ANOTHER TIME FRAME IS SPECIFIED IN ITEM 11.5 OR 11.6. PERMITTEES MAY TAKE ADDITIONAL TIME IF FIELD CONDITIONS PREVENT ACCESS TO THE AREA. [MINN. R. 7090]
11.5 DURING EACH INSPECTION, PERMITTEES MUST INSPECT SURFACE WATERS, INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS BUT NOT CURB AND GUTTER SYSTEMS, FOR EVIDENCE OF EROSION AND SEDIMENT DEPOSITION. PERMITTEES MUST REMOVE ALL DEBRIS AND SEDIMENT FROM SURFACES INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. PERMITTEES MUST COMPLETE REMOVAL AND STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS OF THE PROBLEMS IDENTIFIED BY THE INSPECTIONS UNLESS PRECIPITATION, LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS PERMITTEES MUST USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS TO THE AREAS AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF OBTAINING ACCESS. PERMITTEES ARE RESPONSIBLE FOR CONTACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK IN SURFACE WATERS. [MINN. R. 7090]
11.6 PERMITTEES MUST INSPECT CONSTRUCTION SITE VEHICLE EXIT LOCATIONS, STREETS AND CURB AND GUTTER SYSTEMS WITHIN AND ADJACENT TO THE PROJECT FOR SEDIMENTATION FROM EROSION OR TRACKED SEDIMENT FROM VEHICLES. PERMITTEES MUST REMOVE SEDIMENT FROM ALL PAVED SURFACES WITHIN ONE (1) CALENDAR DAY OF DISCOVERY OR, IF APPLICABLE, WITHIN A SHORTER TIME TO AVOID A SAFETY HAZARD TO USERS OF PUBLIC STREETS. [MINN. R. 7090]

- 11.7 PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL PERIMETER CONTROL DEVICES WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE DEVICE. [MINN. R. 7090]
11.8 PERMITTEES MUST DRAIN TEMPORARY AND PERMANENT SEDIMENTATION BASINS AND REMOVE THE SEDIMENT WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME. [MINN. R. 7090]
11.9 PERMITTEES MUST ENSURE THAT AT LEAST ONE INDIVIDUAL PRESENT ON THE SITE (OR AVAILABLE TO THE PROJECT SITE IN THREE (3) CALENDAR DAYS) IS TRAINED IN THE JOB DUTIES DESCRIBED IN ITEM 21.2.B. [MINN. R. 7090]
11.10 PERMITTEES MAY ADJUST THE INSPECTION SCHEDULE DESCRIBED IN ITEM 11.2 AS FOLLOWS:
A. INSPECTIONS OF AREAS WITH PERMANENT COVER CAN BE REDUCED TO ONCE PER MONTH, EVEN IF CONSTRUCTION ACTIVITY CONTINUES ON OTHER PORTIONS OF THE SITE; OR
B. WHERE SITES HAVE PERMANENT COVER ON ALL EXPOSED SOIL AND NO CONSTRUCTION ACTIVITY IS OCCURRING ANYWHERE ON THE SITE, INSPECTIONS CAN BE REDUCED TO ONCE PER MONTH AND, AFTER 12 MONTHS, MAY BE SUSPENDED COMPLETELY UNTIL CONSTRUCTION ACTIVITY RESUMES. THE MPCA MAY REQUIRE INSPECTIONS TO RESUME IF CONDITIONS WOULD CAUSE EROSION OR SEDIMENTATION.
C. WHERE CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED DUE TO FROZEN GROUND CONDITIONS, INSPECTIONS MAY BE SUSPENDED, INSPECTIONS MUST RESUME WITHIN 24 HOURS OF RUNOFF OCCURRING, OR UPON RESUMING CONSTRUCTION, WHICHEVER COMES FIRST. [MINN. R. 7090]
11.11 PERMITTEES MUST RECORD ALL INSPECTIONS AND MAINTENANCE ACTIVITIES WITHIN 24 HOURS OF BEING CONDUCTED AND THESE RECORDS MUST BE RETAINED WITH THE SWPPP. THESE RECORDS MUST INCLUDE:
A. DATE AND TIME OF INSPECTIONS; AND
B. NAME OF PERSONS CONDUCTING INSPECTIONS; AND
C. ACCURATE FINDINGS OF INSPECTIONS, INCLUDING THE SPECIFIC LOCATION WHERE CORRECTIVE ACTIONS ARE NEEDED; AND
D. CORRECTIVE ACTIONS TAKEN (INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES); AND
E. DATE OF ALL RAINFALL EVENTS GREATER THAN 1/2 INCHES IN 24 HOURS, AND THE AMOUNT OF RAINFALL FOR EACH EVENT. PERMITTEES MUST OBTAIN RAINFALL AMOUNTS BY EITHER A PROPERLY MAINTAINED RAIN GAUGE INSTALLED ON-SITE, A WEATHER STATION THAT IS WITHIN ONE (1) MILE OF YOUR LOCATION, OR A WEATHER REPORTING SYSTEM THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM RADAR SUMMARIES; AND
F. IF PERMITTEES OBSERVE A DISCHARGE DURING THE INSPECTION, THEY MUST RECORD AND SHOULD PHOTOGRAPH AND DESCRIBE THE LOCATION OF THE DISCHARGE (I.E., COLOR, ODOR, SETTLED OR SUSPENDED SOLIDS, OIL, SHEEN, AND OTHER OBVIOUS INDICATORS OF POLLUTANTS); AND
G. ANY AMENDMENTS TO THE SWPPP PROPOSED AS A RESULT OF THE INSPECTION MUST BE DOCUMENTED AS REQUIRED IN SECTION 6 WITHIN SEVEN (7) CALENDAR DAYS. [MINN. R. 7090]

12.1 POLLUTION PREVENTION MANAGEMENT MEASURES. [MINN. R. 7090]

- 12.2 PERMITTEES MUST PLACE BUILDING PRODUCTS AND LANDSCAPE MATERIALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. PERMITTEES ARE NOT REQUIRED TO COVER OR PROTECT PRODUCTS WHICH ARE EITHER NOT A SOURCE OF CONTAMINATION TO STORMWATER OR ARE DESIGNED TO BE EXPOSED TO STORMWATER. [MINN. R. 7090]
12.3 PERMITTEES MUST PLACE PESTICIDES, FERTILIZERS AND TREATMENT CHEMICALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER. [MINN. R. 7090]
12.4 PERMITTEES MUST STORE HAZARDOUS MATERIALS AND TOXIC WASTE, INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE. [MINN. R. 7090]
12.5 PERMITTEES MUST PROPERLY STORE, COLLECT AND DISPOSE SOLID WASTE IN COMPLIANCE WITH MINN. R. CH. 7035. [MINN. R. 7035]
12.6 PERMITTEES MUST POSITION PORTABLE TOILETS SO THEY ARE SECURE AND WILL NOT TIP OR BE KNOCKED OVER. PERMITTEES MUST PROPERLY DISPOSE SANITARY WASTE IN ACCORDANCE WITH MINN. R. CH. 7041. [MINN. R. 7041]
12.7 PERMITTEES MUST TAKE REASONABLE STEPS TO PREVENT THE DISCHARGE OF SPILLED OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED INCLUDING THE USE OF DRIP PANS OR ABSORBENT CONCRESS INFEASIBLE. PERMITTEES MUST ENSURE ADEQUATE SUPPLIES ARE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD IS AVAILABLE FOR RECOVERED SPILLED MATERIALS. PERMITTEES MUST REPORT AND CLEAN UP SPILLS IMMEDIATELY AS REQUIRED BY MINN. STAT. 115.061, USING DRY CLEAN UP MEASURES WHERE POSSIBLE. [MINN. STAT. 115.061]
12.8 PERMITTEES MUST LIMIT VEHICLE EXTERIOR WASHING AND EQUIPMENT TO A DEFINED AREA OF THE SITE. PERMITTEES MUST CONTAIN RUNOFF FROM THE WASHING AREA IN A SEDIMENT BASIN OR OTHER SIMILARLY EFFECTIVE CONTROLS AND MUST DISPOSE WASTE FROM THE WASHING ACTIVITY PROPERLY. PERMITTEES MUST PROPERLY USE AND STORE SOAPS, DETERGENTS, OR SOLVENTS. [MINN. R. 7090]
12.9 PERMITTEES MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS (E.G., OPERATIONS (E.G., CONCRETE, STUCCO, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS) RELATED TO THE CONSTRUCTION ACTIVITY. PERMITTEES MUST PREVENT LIQUID AND SOLID WASHOUT WASTES FROM CONTACTING THE GROUND AND MUST DESIGN THE CONTAINMENT SO IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. PERMITTEES MUST PROPERLY DISPOSE LIQUID AND SOLID WASTES IN COMPLIANCE WITH MPCA RULES. PERMITTEES MUST INSTALL A SIGN INDICATING THE LOCATION OF THE WASHOUT FACILITY. [MINN. R. 7035, MINN. R. 7090]

13.1 PERMIT TERMINATION CONDITIONS. [MINN. R. 7090]

- 13.2 PERMITTEES MUST COMPLETE ALL CONSTRUCTION ACTIVITY AND MUST INSTALL PERMANENT COVER OVER ALL AREAS PRIOR TO SUBMITTING THE SWPPP. PERMANENT COVER MUST CONSIST OF A UNIFORM PERENNIAL VEGETATION WITH A DENSITY OF 70 PERCENT OF ITS EXPECTED FINAL GROWTH. VEGETATION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES NO VEGETATION, SUCH AS IMPERVIOUS SURFACES OR THE BASE OF A SAND FILTER. [MINN. R. 7090]
13.3 PERMITTEES MUST CLEAN THE PERMANENT STORMWATER TREATMENT SYSTEM OF ANY ACCUMULATED SEDIMENT AND MUST ENSURE THE SYSTEM MEETS ALL APPLICABLE REQUIREMENTS IN SECTION 15 THROUGH 19 AND IS OPERATING AS DESIGNED. [MINN. R. 7090]
13.4 PERMITTEES MUST REMOVE ALL SEDIMENT FROM CONVEYANCE SYSTEMS PRIOR TO SUBMITTING THE NOT. [MINN. R. 7090]
13.5 PERMITTEES MUST REMOVE ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMPs PRIOR TO SUBMITTING THE NOT. PERMITTEES MAY LEAVE BMPs DESIGNED TO DECOMPOSE ON-SITE IN PLACE. [MINN. R. 7090]
13.6 FOR RESIDENTIAL CONSTRUCTION ONLY, PERMIT COVERAGE TERMINATES ON INDIVIDUAL LOTS IF THE STRUCTURES ARE FINISHED AND TEMPORARY EROSION PREVENTION AND DOWNGRADE PERIMETER CONTROL IS COMPLETE, THE RESIDENCE SELLS TO THE HOMEOWNER, AND THE PERMITTEE DISTRIBUTES THE MPCA'S "HOMEOWNER FACT SHEET" TO THE HOMEOWNER. [MINN. R. 7090]
13.7 FOR CONSTRUCTION PROJECTS ON AGRICULTURAL LAND (E.G., PIPELINES ACROSS CROPLAND), PERMITTEES MUST RETURN THE DISTURBED LAND TO ITS PRECONSTRUCTION AGRICULTURAL USE PRIOR TO SUBMITTING THE NOT. [MINN. R. 7090]

14.1 TEMPORARY SEDIMENT BASINS. [MINN. R. 7090]

- 14.2 WHERE FIVE (5) OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION, PERMITTEES MUST PROVIDE A TEMPORARY SEDIMENT BASIN TO PROVIDE TREATMENT OF THE RUNOFF BEFORE IT LEAVES THE CONSTRUCTION SITE OR ENTERS SURFACE WATERS. PERMITTEES MAY CONVERT A TEMPORARY SEDIMENT BASIN TO A PERMANENT BASIN AFTER CONSTRUCTION IS COMPLETE. THE TEMPORARY BASIN IS NO LONGER REQUIRED WHEN PERMANENT COVER HAS REDUCED THE ACREAGE OF DISTURBED SOIL TO LESS THAN FIVE (5) ACRES DRAINING TO A COMMON LOCATION. [PROVISIONS TO MINN. R. 7090]
14.3 THE TEMPORARY BASIN MUST PROVIDE LIVE STORAGE FOR A CALCULATED VOLUME OF RUNOFF FROM A TWO (2)-YEAR, 24-HOUR STORM FROM EACH ACRE DRAINED TO THE BASIN OR 1,800 CUBIC FEET OF LIVE STORAGE PER ACRE DRAINED, WHICHEVER IS GREATER. [MINN. R. 7090]
14.4 WHERE PERMITTEES HAVE NOT CALCULATED THE TWO (2)-YEAR, 24-HOUR STORM RUNOFF AMOUNT, THE TEMPORARY BASIN MUST PROVIDE 3,000 CUBIC FEET OF LIVE STORAGE PER ACRE OF THE BASIN'S DRAINAGE AREA. [MINN. R. 7090]
14.5 PERMITTEES MUST DESIGN BASIN OUTLETS TO PREVENT SHORT-CIRCUITING AND THE DISCHARGE OF FLOATING DEBRIS. [MINN. R. 7090]
14.6 PERMITTEES MUST DESIGN THE OUTLET STRUCTURE TO WITHDRAW WATER FROM THE SURFACE TO MINIMIZE THE DISCHARGE OF POLLUTANTS. PERMITTEES MAY TEMPORARILY SUSPEND THE USE OF A SURFACE WITHDRAWAL MECHANISM DURING FROZEN CONDITIONS. THE BASIN MUST INCLUDE A STABILIZED EMERGENCY OVERTFLOW TO PREVENT FAILURE OF POND INTEGRITY. [MINN. R. 7090]
14.7 PERMITTEES MUST PROVIDE ENERGY DISSIPATION FOR THE BASIN OUTLET WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER. [MINN. R. 7090]
14.8 PERMITTEES MUST LOCATE TEMPORARY BASINS OUTSIDE OF SURFACE WATERS AND ANY BUFFER ZONE REQUIRED IN ITEM 23.11. [MINN. R. 7090]
14.9 PERMITTEES MUST CONSTRUCT THE TEMPORARY BASINS PRIOR TO DISTURBING 10 OR MORE ACRES OF SOIL DRAINING TO A COMMON LOCATION. [MINN. R. 7090]
14.10 WHERE A TEMPORARY SEDIMENT BASIN MEETING THE REQUIREMENTS OF ITEM 14.3 THROUGH 14.9 IS INFEASIBLE, PERMITTEES MUST INSTALL EFFECTIVE CONTROLS SUCH AS SMALLER SBs, BIO ROLLS, SLOTTED SAND FILTERS, TRAPS, SILT FENCES, VEGETATIVE BUFFER STRIPS OR ANY APPROPRIATE COMBINATION OF MEASURES AS DICTATED BY INDIVIDUAL SITE CONDITIONS. IN DETERMINING WHETHER INSTALLING A SEDIMENT BASIN IS INFEASIBLE, PERMITTEES MUST CONSIDER PUBLIC SAFETY AND ANY CONSIDER FACTORS SUCH AS SITE SOILS, SLOPE, AND AVAILABLE AREA ON-SITE. PERMITTEES MUST DOCUMENT THIS DETERMINATION OF INFEASIBILITY IN THE SWPPP. [MINN. R. 7090]

15.1 PERMANENT STORMWATER TREATMENT SYSTEM. [MINN. R. 7090]

- 15.2 PERMITTEES MUST DESIGN THE PROJECT SO ALL STORMWATER DISCHARGED FROM THE PROJECT DURING AND AFTER CONSTRUCTION ACTIVITIES DOES NOT CAUSE A VIOLATION OF STATE WATER QUALITY STANDARDS, INCLUDING NUISANCE CONDITIONS, EROSION IN RECEIVING CHANNELS OR ON DOWNSLOPE PROPERTIES, OR A SIGNIFICANT ADVERSE IMPACT TO WETLANDS CAUSED BY INUNDATION OR DECREASE OF FLOW. [MINN. R. 7090]
15.3 PERMITTEES MUST DESIGN AND CONSTRUCT A PERMANENT STORMWATER TREATMENT SYSTEM TO TREAT THE WATER QUALITY VOLUME IF THE PROJECT'S ULTIMATE DEVELOPMENT REPLACES VEGETATION AND/OR OTHER PERVIOUS SURFACES CREATING A NET INCREASE OF ONE (1) OR MORE ACRES OF CUMULATIVE IMPERVIOUS SURFACE. [MINN. R. 7090]
15.4 PERMITTEES MUST CALCULATE THE WATER QUALITY VOLUME AS ONE (1) INCH TIMES THE NET INCREASE OF IMPERVIOUS SURFACE CREATED BY THE PROJECT. [MINN. R. 7090]
15.5 PERMITTEES MUST FIRST CONSIDER VOLUME REDUCTION PRACTICES ON-SITE (E.G., INFILTRATION OR OTHER) WHEN DESIGNING THE PERMANENT STORMWATER TREATMENT SYSTEM. IF THIS PERMIT PROHIBITS INFILTRATION AS DESCRIBED IN ITEM 16.14 THROUGH ITEM 16.21, PERMITTEES MAY CONSIDER A WET SEDIMENTATION BASIN, FILTRATION BASIN OR REGIONAL POND. THIS PERMIT DOES NOT CONSIDER WET SEDIMENTATION BASINS AND FILTRATION SYSTEMS TO BE VOLUME REDUCTION PRACTICES. [MINN. R. 7090]

- 15.6 PERMITTEES MUST FIRST CONSIDER VOLUME REDUCTION PRACTICES ON-SITE (E.G., INFILTRATION OR OTHER) WHEN DESIGNING THE PERMANENT STORMWATER TREATMENT SYSTEM. IF THIS PERMIT PROHIBITS INFILTRATION AS DESCRIBED IN ITEM 16.14 THROUGH ITEM 16.21, PERMITTEES MAY CONSIDER A WET SEDIMENTATION BASIN, FILTRATION BASIN OR REGIONAL POND. THIS PERMIT DOES NOT CONSIDER WET SEDIMENTATION BASINS AND FILTRATION SYSTEMS TO BE VOLUME REDUCTION PRACTICES. [MINN. R. 7090]
15.7 PERMITTEES MUST DISCHARGE THE WATER QUALITY VOLUME TO A PERMANENT STORMWATER TREATMENT SYSTEM PRIOR TO DISCHARGE TO SURFACE WATER. FOR THE PURPOSES OF THIS ITEM, SURFACE WATER INCLUDES MAN-MADE DRAINAGE SYSTEMS THAT CONVEY STORMWATER TO A PERMANENT STORMWATER TREATMENT SYSTEM. [MINN. R. 7090]
15.8 WHERE THE PROXIMITY TO BEDROCK PRECLUDES THE INSTALLATION OF ANY OF THE PERMANENT STORMWATER TREATMENT PRACTICES REQUIRED BY SECTIONS 15 THROUGH 19, PERMITTEES MUST INSTALL OTHER TREATMENT SUCH AS GRASSED SWALES, SMALLER PONDS, OR GRIT CHAMBERS, PRIOR TO THE DISCHARGE OF STORMWATER TO SURFACE WATERS. [MINN. R. 7090]
15.9 FOR LINEAR PROJECTS WHERE PERMITTEES CANNOT TREAT THE ENTIRE WATER QUALITY VOLUME WITHIN THE EXISTING RIGHT-OF-WAY, PERMITTEES MUST MAKE A REASONABLE ATTEMPT TO OBTAIN ADDITIONAL RIGHT-OF-WAY, EASEMENT OR OTHER PERMISSION FOR STORMWATER TREATMENT DURING THE PROJECT PLANNING PROCESS. DOCUMENTATION OF THESE ATTEMPTS MUST BE IN THE SWPPP. PERMITTEES MUST STILL CONSIDER VOLUME REDUCTION PRACTICES FIRST AS DESCRIBED IN ITEM 15.5. IF PERMITTEES CANNOT OBTAIN ADDITIONAL RIGHT-OF-WAY, EASEMENT OR OTHER PERMISSION, THEY MUST MAXIMIZE THE TREATMENT OF THE WATER QUALITY VOLUME PRIOR TO DISCHARGE TO SURFACE WATERS. [MINN. R. 7090]

16.1 INFILTRATION SYSTEMS. [MINN. R. 7090]

- 16.2 INFILTRATION OPTIONS INCLUDE, BUT ARE NOT LIMITED TO: INFILTRATION BASINS, INFILTRATION TRENCHES, RAINWATER G

18.1 WET SEDIMENTATION BASIN. [MINN. R. 7090]

18.2 PERMITTEES USING A WET SEDIMENTATION BASIN TO MEET THE PERMANENT STORMWATER TREATMENT REQUIREMENTS OF THIS PERMIT MUST INCORPORATE THE DESIGN PARAMETERS IN ITEM 18.3 THROUGH 18.10. [MINN. R. 7090]
18.3 PERMITTEES MUST DESIGN THE BASIN TO HAVE A PERMANENT VOLUME OF 1,800 CUBIC FEET OF STORAGE BELOW THE OUTLET PIPE FOR EACH ACRE THAT DRAINS TO THE BASIN. THE BASIN'S PERMANENT VOLUME MUST REACH A MINIMUM DEPTH OF AT LEAST THREE (3) FEET AND MUST HAVE NO DEPTH GREATER THAN 10 FEET. PERMITTEES MUST CONFIGURE THE BASIN TO MINIMIZE SCOUR OR RESUSPENSION OF SOLIDS. [MINN. R. 7090]
18.4 PERMITTEES MUST DESIGN THE BASIN TO PROVIDE LIVE STORAGE FOR A WATER QUALITY VOLUME (CALCULATED AS AN INSTANTANEOUS VOLUME) OF ONE (1) INCH OF RUNOFF, OR ONE (1) INCH MINUS THE VOLUME OF STORMWATER TREATED BY ANOTHER SYSTEM ON THE SITE, FROM THE NET INCREASE IN IMPERVIOUS SURFACES CREATED BY THE PROJECT. [MINN. R. 7090]
18.5 PERMITTEES MUST DESIGN BASIN OUTLETS SO THE WATER QUALITY VOLUME DISCHARGES AT NO MORE THAN 5.66 CUBIC FEET PER SECOND (CFS) PER ACRE OF SURFACE AREA OF THE BASIN. [MINN. R. 7090]
18.6 PERMITTEES MUST DESIGN BASIN OUTLETS TO PREVENT SHORT-CIRCUITING AND THE DISCHARGE OF FLOATING DEBRIS. BASIN OUTLETS MUST HAVE ENERGY DISSIPATION. [MINN. R. 7090]
18.7 PERMITTEES MUST DESIGN THE BASIN TO INCLUDE A STABILIZED EMERGENCY OVERFLOW TO ACCOMMODATE STORM EVENTS IN EXCESS OF THE BASIN'S HYDRAULIC DESIGN. [MINN. R. 7090]
18.8 PERMITTEES MUST DESIGN A MAINTENANCE ACCESS, TYPICALLY EIGHT (8) FEET WIDE, FOR THE BASIN. [MINN. R. 7090]
18.9 PERMITTEES MUST LOCATE BASINS OUTSIDE OF SURFACE WATERS AND ANY BUFFER ZONE REQUIRED IN ITEM 23.11. PERMITTEES MUST DESIGN BASINS TO AVOID DRAINING WATER FROM WETLANDS UNLESS THE IMPACT TO THE WETLAND COMPLIES WITH THE REQUIREMENTS OF SECTION 22. [MINN. R. 7090]
18.10 PERMITTEES MUST DESIGN BASINS USING AN IMPERMEABLE LINER IF LOCATED WITHIN ACTIVE KARST TERRAIN. [MINN. R. 7090]

19.1 REGIONAL WET SEDIMENTATION BASINS. [MINN. R. 7090]

19.2 WHEN THE ENTIRE WATER QUALITY VOLUME CANNOT BE RETAINED ONSITE, PERMITTEES CAN USE OR CREATE REGIONAL WET SEDIMENTATION BASINS PROVIDED THEY ARE CONSTRUCTED AS REGIONAL WETLAND OR WATER BODY. (WETLANDS USED AS REGIONAL BASINS MUST BE MITIGATED FOR. SEE SECTION 22). THE OWNER MUST ENSURE THE REGIONAL BASIN CONFORMS TO ALL REQUIREMENTS FOR A WET SEDIMENTATION BASIN AS DESCRIBED IN ITEMS 18.3 THROUGH 18.10 AND MUST BE LARGE ENOUGH TO ACCOUNT FOR THE ENTIRE AREA THAT DRAINS TO THE REGIONAL BASIN. PERMITTEES MUST VERIFY THAT THE REGIONAL BASIN WILL DISCHARGE AT NO MORE THAN 5.66 CFS PER ACRE OF SURFACE AREA OF THE BASIN AND MUST PROVIDE A LIVE STORAGE VOLUME OF ONE INCH TIMES ALL THE IMPERVIOUS AREA DRAINING TO THE BASIN. PERMITTEES CANNOT SIGNIFICANTLY DEGRADE WATERWAYS BETWEEN THE PROJECT AND THE REGIONAL BASIN. THE OWNER MUST OBTAIN WRITTEN AUTHORIZATION FROM THE APPLICABLE LGU OR PRIVATE ENTITY THAT OWNS AND MAINTAINS THE REGIONAL BASIN. [MINN. R. 7090]

20.1 SWPPP AVAILABILITY. [MINN. R. 7090]

20.2 PERMITTEES MUST KEEP THE SWPPP, INCLUDING ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS AT THE SITE DURING ALL NORMAL WORKING HOURS BY PERMITTEES WHO HAVE OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. [MINN. R. 7090]

21.1 TRAINING REQUIREMENTS. [MINN. R. 7090]

21.2 PERMITTEES MUST ENSURE ALL OF THE FOLLOWING INDIVIDUALS RECEIVE TRAINING AND THE CONTENT AND EXTENT OF THE TRAINING IS COMMENSURATE WITH THE INDIVIDUAL'S JOB DUTIES AND RESPONSIBILITIES WITH REGARD TO ACTIVITIES COVERED UNDER THIS PERMIT.
A. INDIVIDUALS PREPARING THE SWPPP FOR THE PROJECT.
B. INDIVIDUALS OVERSEEING IMPLEMENTATION OF, REVISING AND/OR AMENDING THE SWPPP AND INDIVIDUALS PERFORMING INSPECTIONS FOR THE PROJECT. ONE OF THESE INDIVIDUALS MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA.
C. INDIVIDUALS PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPS. [MINN. R. 7090]
21.3 PERMITTEES MUST ENSURE INDIVIDUALS IDENTIFIED IN SECTION 21.1 RECEIVE TRAINING FROM LOCAL, STATE, FEDERAL AGENCIES, PROFESSIONAL ORGANIZATIONS, OR OTHER ENTITIES WITH EXPERTISE IN EROSION PREVENTION, SEDIMENT CONTROL, PERMANENT STORMWATER TREATMENT, AND TREATMENT PLANT OPERATION. PERMITTEES MUST ATTEND A REFRESHER-TRAINING COURSE EVERY THREE (3) YEARS. [MINN. R. 7090]

23.1 ADDITIONAL REQUIREMENTS FOR DISCHARGES TO SPECIAL (PROHIBITED, RESTRICTED, OTHER) AND IMPAIRED WATERS. [MINN. R. 7090]

23.6 DISCHARGES TO THE TROUT STREAMS (OTHER SPECIAL WATER) LISTED IN MINN. R. 6264.0050, SUBP. 4 MUST INCORPORATE THE BMPS OUTLINED IN ITEMS 23.9, 23.10, 23.11, AND 23.12. [MINN.R.6264.0050, SUBP. 4]
23.9 PERMITTEES MUST IMMEDIATELY INITIATE STABILIZATION OF EXPOSED SOIL AREAS, AS DESCRIBED IN ITEM 8.4 AND COMPLETE STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE TEMPORARILY OR PERMANENTLY CEASES. [MINN. R. 7090]
23.10 PERMITTEES MUST PROVIDE A TEMPORARY SEDIMENT BASIN AS DESCRIBED IN SECTION 14 FOR COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH FIVE (5) OR MORE ACRES DISTURBED AT ONE TIME. [MINN.R. 7090]
23.11 PERMITTEES MUST INCLUDE AN UNDISTURBED BUFFER ZONE OF NOT LESS THAN 100 LINEAR FEET FROM A SPECIAL WATER (NOT INCLUDING TRIBUTARIES) AND MUST MAINTAIN THIS BUFFER ZONE AT ALL TIMES, BOTH DURING CONSTRUCTION AND AFTER PERMANENT STORMWATER TREATMENT CONSTRUCTION, EXCEPT WHERE A WATER CROSSING OR OTHER ENCROACHMENT IS NECESSARY TO COMPLETE THE PROJECT. PERMITTEES MUST FULLY DOCUMENT THE CIRCUMSTANCE AND REASONS THE BUFFER ENCROACHMENT IS NECESSARY IN THE SWPPP AND INCLUDE RESTORATION ACTIVITIES. THIS PERMIT ALLOWS REPLACEMENT OF EXISTING IMPERVIOUS SURFACE WITHIN THE BUFFER. PERMITTEES MUST MINIMIZE ALL POTENTIAL WATER QUALITY, SCENIC AND OTHER ENVIRONMENTAL IMPACTS OF THESE EXCEPTIONS BY THE USE OF ADDITIONAL OR REDUNDANT (DOUBLE) BMPS AND MUST DOCUMENT THIS IN THE SWPPP FOR THE PROJECT. [MINN. R. 7090]
23.12 PERMITTEES MUST DESIGN THE PERMANENT STORMWATER TREATMENT SYSTEM SO THE DISCHARGE FROM THE PROJECT MINIMIZES ANY INCREASE IN THE TEMPERATURE OF TROUT STREAMS RESULTING FROM THE ONE (1) AND TWO (2) YEAR 24-HOUR PRECIPITATION EVENTS. THIS INCLUDES ALL TRIBUTARIES OF DESIGNATED TROUT STREAMS LOCATED WITHIN THE SAME PUBLIC LAND SURVEY SYSTEM (PLSS) SECTION. PERMITTEES MUST INCORPORATE ONE OR MORE OF THE FOLLOWING MEASURES, IN ORDER OF PREFERENCE:
a. PROVIDE STORMWATER INFILTRATION OR OTHER VOLUME REDUCTION PRACTICES AS DESCRIBED IN ITEM 15.4 AND 15.5, TO REDUCE RUNOFF. INFILTRATION SYSTEMS MUST DISCHARGE ALL STORMWATER ROUTED TO THE SYSTEM WITHIN 24 HOURS.
b. PROVIDE STORMWATER FILTRATION AS DESCRIBED IN SECTION 17. FILTRATION SYSTEMS MUST DISCHARGE ALL STORMWATER ROUTED TO THE SYSTEM WITHIN 24 HOURS.
c. MINIMIZE THE DISCHARGE FROM CONNECTED IMPERVIOUS SURFACES BY DISCHARGING TO VEGETATED AREAS, OR GRASS SWALES, AND THROUGH THE USE OF NON-STRUCTURAL CONTROLS.
d. IF PONDING IS USED, THE DESIGN MUST INCLUDE AN APPROPRIATE COMBINATION OF MEASURES SUCH AS SHADING, VEGETATED SWALE DISCHARGES, OR CONSTRUCTED WETLAND TREATMENT CELLS THAT LIMIT TEMPERATURE INCREASES. THE POND MUST BE DESIGNED AS A DRY POND AND SHOULD DRAW DOWN IN 24 HOURS OR LESS.
e. OTHER METHODS THAT MINIMIZE ANY INCREASE IN THE TEMPERATURE OF THE TROUT STREAM, [MINN. R. 7090]

24.1 GENERAL PROVISIONS. [MINN. R. 7090]

24.2 IF THE MPCA DETERMINES THAT AN INDIVIDUAL PERMIT WOULD MORE APPROPRIATELY REGULATE THE CONSTRUCTION ACTIVITY, THE MPCA MAY REQUIRE AN INDIVIDUAL PERMIT TO CONTINUE THE CONSTRUCTION ACTIVITY. COVERAGE UNDER THIS GENERAL PERMIT WILL REMAIN IN EFFECT UNTIL THE MPCA ISSUES AN INDIVIDUAL PERMIT. [MINN. R. 7001.0210, SUBP. 6]
24.3 IF THE PERMITTEE CANNOT MEET THE TERMS AND CONDITIONS OF THIS GENERAL PERMIT, AN OWNER MAY REQUEST AN INDIVIDUAL PERMIT, IN ACCORDANCE WITH MINN. R. 7001.0210 SUBP. 6. [MINN. R. 7001.0210, SUBP. 6]
24.4 ANY INTERESTED PERSON MAY PETITION THE MPCA TO REQUIRE AN INDIVIDUAL NPDES/SDS PERMIT IN ACCORDANCE WITH 40 CFR 122.20(b)(3), 140 CFR 122.20(b)(3).
24.5 PERMITTEES MUST MAKE THE SWPPP, INCLUDING ALL INSPECTION REPORTS, MAINTENANCE RECORDS, TRAINING RECORDS AND OTHER INFORMATION REQUIRED BY THIS PERMIT, AVAILABLE TO FEDERAL, STATE, AND LOCAL OFFICIALS WITHIN THREE (3) DAYS UPON REQUEST FOR THE DURATION OF THE PERMIT AND FOR THREE (3) YEARS FOLLOWING THE NOT. [MINN. R. 7090]
24.6 PERMITTEES MAY NOT ASSIGN OR TRANSFER THIS PERMIT EXCEPT WHEN THE TRANSFER OCCURS IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF ITEM 3.7 AND 3.8. [MINN. R. 7090]
24.7 NOTHING IN THIS PERMIT MUST BE CONSTRUED TO RELIEVE THE PERMITTEES FROM CIVIL OR CRIMINAL PENALTIES FOR NONCOMPLIANCE WITH THE TERMS AND CONDITIONS PROVIDED HEREIN. NOTHING IN THIS PERMIT MUST BE CONSTRUED TO PRECLUDE THE INITIATION OF ANY LEGAL ACTION OR RELIEVE THE PERMITTEES FROM ANY RESPONSIBILITIES, LIABILITIES, OR PENALTIES TO WHICH THE PERMITTEES IS/ARE OR MAY BE SUBJECT TO UNDER SECTION 311 OF THE CLEAN WATER ACT AND MINN. STAT. SECT. 115 AND 116. AS AMENDED, PERMITTEES ARE NOT LIABLE FOR PERMIT REQUIREMENTS FOR ACTIVITIES OCCURRING ON THOSE PORTIONS OF A SITE WHERE THE PERMIT HAS BEEN TRANSFERRED TO ANOTHER PARTY AS REQUIRED IN ITEM 3.7 OR THE PERMITTEES HAVE SUBMITTED THE NOT AS REQUIRED IN SECTION 4. [MINN. R. 7090]
24.8 THE PROVISIONS OF THIS PERMIT ARE SEVERABLE. IF ANY PROVISION OF THIS PERMIT OR THE APPLICATION OF ANY PROVISION OF THIS PERMIT TO ANY CIRCUMSTANCES IS HELD INVALID, THE APPLICATION OF SUCH PROVISION TO OTHER CIRCUMSTANCES, AND THE REMAINDER OF THIS PERMIT MUST NOT BE AFFECTED THEREBY. [MINN. R. 7090]
24.9 THE PERMITTEES MUST COMPLY WITH THE PROVISIONS OF MINN. R. 7001.0150, SUBP. 3 AND MINN. R. 7001.1090, SUBP. 1(A), 1(B), 1(C), 1(H), 1(I), 1(J), 1(K), AND 1(L). [MINN. R. 7090]
24.10 THE PERMITTEES MUST ALLOW ACCESS AS PROVIDED IN 40 CFR 122.41(i) AND MINN. STAT. SECT. 115.04. THE PERMITTEES MUST ALLOW REPRESENTATIVES OF THE MPCA OR ANY MEMBER, EMPLOYEE OR AGENT THEREOF, WHEN AUTHORIZED BY IT, UPON PRESENTATION OF CREDENTIALS, TO ENTER UPON ANY PROPERTY, PUBLIC OR PRIVATE, FOR THE PURPOSE OF OBTAINING INFORMATION OR EXAMINATION OF RECORDS OR CONDUCTING SURVEYS OR INVESTIGATIONS. [40 CFR 122.41(i)]
24.11 FOR THE PURPOSES OF MINN. R. 7090 AND OTHER DOCUMENTS THAT REFERENCE SPECIFIC SECTIONS OF THIS PERMIT, "STORMWATER DISCHARGE DESIGN REQUIREMENTS" CORRESPONDS TO SECTIONS 5, 6 AND 14 THROUGH 21; "CONSTRUCTION ACTIVITY REQUIREMENTS" CORRESPONDS TO SECTIONS 7 THROUGH 13; AND "APPENDIX A" CORRESPONDS TO SECTIONS 22 AND 23. [MINN. R. 7090]

DOCUMENTATION OF TRAINED INDIVIDUALS

A. INDIVIDUAL WHO PREPARED THE SWPPP:
NAME: OASEM ABUHAZELH
COMPANY: PLOWE ENGINEERING, INC.
ADDRESS 1: 6776 LAKE DRIVE
ADDRESS 2: LINO LAKES MN 55014
PHONE: (651) 361-8233
EMAIL: qosem@plowe.com
B. INDIVIDUAL(S) OVERSEEING IMPLEMENTATION OF, REVISING AND/OR AMENDING THE SWPPP AND INDIVIDUALS PERFORMING INSPECTIONS FOR THE PROJECT. ONE OF THESE INDIVIDUALS MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA. [MINN. R. 7090]
C. INDIVIDUAL(S) PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPS. [MINN. R. 7090]

PROJECT NAME

LAKELAND BUILDING

PROJECT LOCATION

ADDRESS: 18750 ULYSSES STREET NE, EAST BETHEL, MN 55011

LATITUDE: 45.311
LONGITUDE: -93.239

DEVELOPER

CLASSIC CONSTRUCTION
18542 ULYSSES ST, NE
EAST BETHEL, MN 55011

CONTACT NAME: KYLE STRANDLUND
CONTACT PHONE: 763-434-8970
CONTACT E-MAIL: KYLE@CLASSICCONSTRUCTIONINC.COM

NARRATIVE - PERMANENT STORMWATER TREATMENT SYSTEMS

THE PROJECT CONSISTS THE CONSTRUCTION ONE COMMERCIAL BUILDING AND THE USE OF AN EXISTING STORMWATER INFILTRATION BASIN FOR STORMWATER TREATMENT (PREVIOUSLY SIZED FOR THIS PROJECT).

PERMANENT STORMWATER MANAGEMENT TREATMENT SYSTEMS PER MPCA RULES AND CITY OF EAST BETHEL ARE REQUIRED FOR THIS PROJECT.

SITE IMPERVIOUS AREAS

Table with 3 columns: Category, Before Construction, After Construction. Rows include Total Site Area, Total Estimated Impervious, and Total Estimated PerVIOUS.

TOTAL DISTURBED AREA

5.10 ACRES

SITE MAP W/ EXISTING AND FINAL GRADES AND DESIGN CALCULATIONS

SEE "STORMWATER DRAINAGE REPORT" FOR EXISTING AND PROPOSED AREA MAPS, DENOTING DRAINAGE AREA BOUNDARIES, DIRECTIONS OF FLOW, AND DISCHARGE POINTS WHERE STORMWATER LEAVES THE SITE.

RECEIVING WATERS WITHIN ONE MILE

Table with 4 columns: Name of Water Body, Type of Water Body, Special Water, Impaired Water. Rows include Crooked Brook, On-site NURP Basin, and On-site Infiltration Basin.

BUFFER TO SURFACE WATER

IF THE SITE DRAINS TO A SURFACE WATER, IS A 50-FT NATURAL BUFFER ADJACENT TO THE SURFACE WATER PRESERVED?
NOTE: NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES, JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS.

TEMPORARY SEDIMENTATION BASINS

IF FIVE (5) OR MORE ACRES OF DISTURBED SOIL DRAIN TO A COMMON LOCATION, IS A TEMPORARY SEDIMENT BASIN PROVIDED FOR TREATMENT OF THE RUNOFF BEFORE IT LEAVES THE CONSTRUCTION SITE OR ENTERS SURFACE WATERS?

INFILTRATION FEASIBILITY

ARE THERE ANY INFILTRATION RESTRICTIONS FOR THE SITE (SEE 16.14 THROUGH 16.21)?

ADDITIONAL STORMWATER MITIGATION MEASURES

ARE THERE ANY STORMWATER MITIGATION MEASURES PER:
• ENVIRONMENTAL REVIEW DOCUMENT?
• ENDANGERED SPECIES REVIEW?
• ARCHAEOLOGICAL REVIEW?
• OTHER LOCAL, STATE OR FEDERAL REVIEW?
IF YES TO ANY OF THE ABOVE, DESCRIBE THE MITIGATION MEASURES, FOR PURPOSES OF THIS PERMIT, MITIGATION MEASURES MEANS ACTIONS NECESSARY TO AVOID, MINIMIZE, OR MITIGATE FOR IMPACTS RELATED TO EROSION PREVENTION, SEDIMENT CONTROL, THE PERMANENT STORMWATER TREATMENT SYSTEM, POLLUTION PREVENTION MANAGEMENT MEASURES AND DISCHARGES ASSOCIATED WITH THE PROJECT'S CONSTRUCTION ACTIVITY. [MINN. R. 7090]

LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORMWATER FACILITIES

THE PERMANENT STORMWATER MANAGEMENT FACILITIES ARE PRIVATELY OWNED AND THE LONG-TERM OPERATIONS AND MAINTENANCE WILL BE PROVIDED BY THE OWNER. THE CITY OF EAST BETHEL SHALL NOT BE RESPONSIBLE FOR LONG-TERM OPERATIONS AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES.

REVEGETATION SPECIFICATIONS

Table with 3 columns: Item, MNDOT Specification/Notes. Rows include Sod, Seed, Turf Establishment, Temporary Cover, Mulch, Fertilizer, and Wood Fiber Blanket.

\* MOW A MINIMUM OF: RESIDENTIAL TURF - ONCE PER 2 WEEKS
COMMERCIAL TURF - ONCE PER 4 WEEKS
\*\* SEEDING AREAS SHALL BE EITHER MULCHED OR COVERED BY FIBROUS BLANKETS TO PROTECT SEEDS AND LIMIT EROSION.

QUANTITIES - ESTIMATED QUANTITIES FOR EROSION AND SEDIMENT CONTROL MEASURES

Table with 3 columns: Type, Qty, Unit. Rows include Silt Fence, Rip-rap w/ Geo-Fabric, Turf Reinforcement Mat, Seed & Mulch, Rock Construction Entrance, Sod, Erosion Control Blanket, and Inlet Protection.

NARRATIVE - TIMING FOR INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES

- 1. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND SWPPP MUST BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES.
2. CONTRACTOR SHALL INSTALL SILT FENCE AS SHOWN ON PLAN.
2.1. ADDITIONAL SILT FENCE MAY BE NECESSARY IF LOCAL CONDITIONS REQUIRE.
2.2. THE CONTRACTOR SHALL MAINTAIN SILT FENCE, INCLUDING THE REMOVAL OF ACCUMULATED SEDIMENT, THROUGH COMPLETION OF BUILDING CONSTRUCTION.
2.3. SILT FENCE SHALL REMAIN IN-PLACE UNTIL SITE HAS BEEN STABILIZED.
3. CONTRACTOR SHALL INSTALL THE ROCK CONSTRUCTION ENTRANCE WHEREVER CONSTRUCTION TRAFFIC ENTERS ONTO EXISTING PAVED SURFACES.
4. CONTRACTOR TO INSTALL TREE PROTECTION FENCING AS APPLICABLE
5. CONTRACTOR SHALL PERFORM SITE GRADING ON AN AREA-BY-AREA BASIS TO MINIMIZE UNSTABILIZED AREAS.
5.1. CONTRACTOR MUST IMMEDIATELY INITIATE STABILIZATION OF EXPOSED SOIL AREAS, AS DESCRIBED IN ITEM 8.4 OF THE PERMIT, AND COMPLETE THE STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE TEMPORARILY OR PERMANENTLY CEASES.
6. CONTRACTOR TO PROTECT PERMANENT STORMWATER MANAGEMENT FACILITIES FROM CONSTRUCTION RUN-OFF.
6.1. INFILTRATION SYSTEMS MUST NOT BE EXCAVATED TO FINAL GRADE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED.
7. CONTRACTOR TO SHALL PAY SPECIAL ATTENTION TO ADJACENT PROPERTY LINES TO ENSURE THE EROSION CONTROL PRACTICES IMPLACED IN THOSE AREAS PREVENT MIGRATION OF SEDIMENT ONTO ADJACENT PROPERTY LINES.
8. ALL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS OR IMPLEMENTED IN THE FIELD SHALL BE IN ACCORDANCE WITH THE CITY AND NPDES PHASE II PERMIT REQUIREMENTS.
9. CONTRACTOR TO PROVIDE ADDITIONAL SILT FENCE, BIOROLLS, EROSION CONTROL BLANKET, OR OTHER APPROVED EQUIPMENT FOR ANY SLOPES THAT APPEAR TO BE FAILING.
10. CONTRACTOR TO STABILIZE SOIL STOCKPILES; STABILIZATION SHALL BE INITIATED IMMEDIATELY.
11. CONTRACTOR SHALL FINAL GRADE SWALE AREAS UPON STABILIZATION OF UPSTREAM AREAS.
12. CONTRACTOR SHALL BE RESPONSIBLE TO SWEEP/SCRAPE ADJACENT STREETS WHEN MATERIALS OR DEBRIS HAVE WASHED/FLOWED ONTO ADJACENT STREETS OR AS DIRECTED BY CITY.
13. COORDINATE SMALL UTILITIES INSTALLATIONS (GAS, PHONE, ELECTRIC, GAS, ETC.) AFTER CURB & GUTTER INSTALLATION.

LIST OF IMPAIRED WATERS:

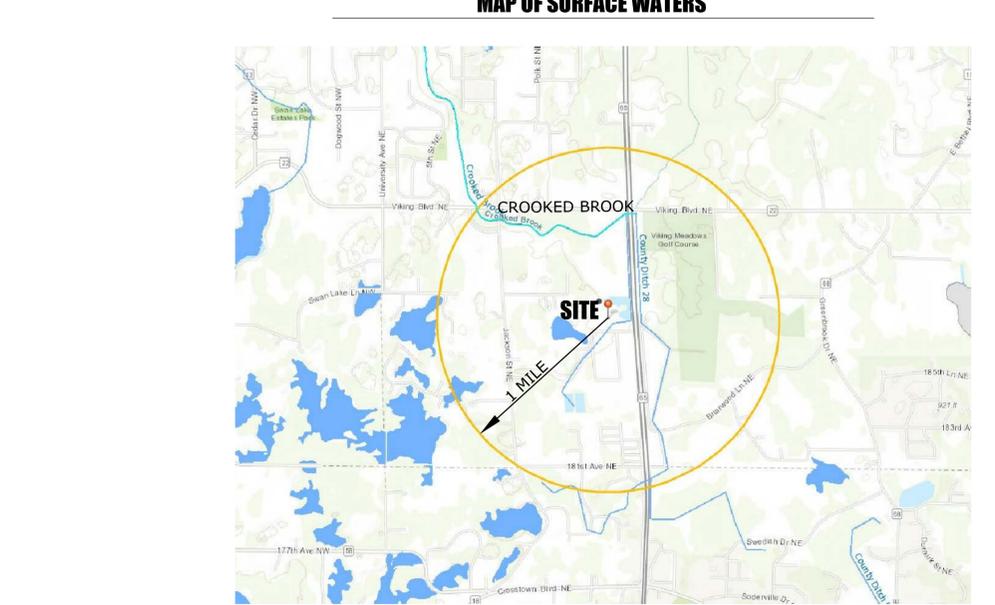
CROOKED BROOK: THIS CREEK HAS AN EPA-APPROVED IMPAIRMENT FOR DISSOLVED OXYGEN. THESE IMPAIRMENTS ARE CONSIDERED TO BE CONSTRUCTION RELATED PARAMETERS AND REQUIRE THE ADDITIONAL BEST MANAGEMENT PRACTICES FOUND IN ITEMS 23.9 & 23.10.

"BEST MANAGEMENT PRACTICES (BMPS)" MEANS THE MOST EFFECTIVE AND PRACTICABLE MEANS OF EROSION PREVENTION AND SEDIMENT CONTROL, AND WATER QUALITY MANAGEMENT PRACTICES THAT ARE THE MOST EFFECTIVE AND PRACTICABLE MEANS OF TO CONTROL, PREVENT, AND MINIMIZE DEGRADATION OF SURFACE WATER, INCLUDING AVOIDANCE OF IMPACTS, CONSTRUCTION-PHASING, MINIMIZING THE LENGTH OF TIME SOIL AREAS ARE EXPOSED, PROHIBITIONS, POLLUTION PREVENTION THROUGH GOOD HOUSEKEEPING, AND OTHER MANAGEMENT PRACTICES PUBLISHED BY STATE OR DESIGNATED AREA-WIDE PLANNING AGENCIES, [MINN. R. 7090]
"CONSTRUCTION ACTIVITY" MEANS ACTIVITIES INCLUDING CLEARING, GRADING, AND EXCAVATING, THAT RESULT IN LAND DISTURBANCE OF EQUAL TO OR GREATER THAN ONE ACRE, INCLUDING THE DISTURBANCE OF LESS THAN ONE ACRE OF TOTAL LAND AREA THAT IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE IF THE LARGER COMMON PLAN WILL ULTIMATELY DISTURB EQUAL TO OR GREATER THAN ONE ACRE. THIS INCLUDES A DISTURBANCE TO THE LAND THAT RESULTS IN A CHANGE IN THE TOPOGRAPHY, EXISTING SOIL COVER, BOTH VEGETATIVE AND NONVEGETATIVE, OR THE EXISTING SOIL TOPOGRAPHY THAT MAY RESULT IN ACCELERATED STORMWATER RUNOFF THAT MAY LEAD TO SOIL EROSION AND MOVEMENT OF SEDIMENT. CONSTRUCTION ACTIVITY DOES NOT INCLUDE A DISTURBANCE TO THE LAND OF LESS THAN FIVE ACRES FOR THE PURPOSE OF ROUTINE MAINTENANCE PERFORMED TO MAINTAIN THE ORIGINAL LINE AND GRADE, HYDRAULIC CAPACITY, AND ORIGINAL PURPOSE OF THE FACILITY. ROUTINE MAINTENANCE DOES NOT INCLUDE ACTIVITIES SUCH AS REPAIRS, REPLACEMENT AND OTHER TYPES OF NON-ROUTINE MAINTENANCE, PAVEMENT REHABILITATION THAT DOES NOT DISTURB THE UNDERLYING SOILS (E.G., MILL AND OVERLAY PROJECTS) IS NOT CONSTRUCTION ACTIVITY. [MINN. R. 7090]
"DEWATERING" MEANS THE REMOVAL OF SURFACE OR GROUND WATER TO DRY AND/OR SOLIDIFY A CONSTRUCTION SITE TO ENABLE CONSTRUCTION ACTIVITY. DEWATERING MAY REQUIRE A MINNESOTA DEPARTMENT OF NATURAL RESOURCES WATER APPROPRIATION PERMIT AND, IF DEWATERING WATER IS CONTAMINATED, DISCHARGE OF SUCH WATER MAY REQUIRE AN INDIVIDUAL MPCA NPDES/SDS PERMIT. [MINN. R. 7090]
"EROSION PREVENTION" MEANS MEASURES EMPLOYED TO PREVENT EROSION SUCH AS SOIL STABILIZATION PRACTICES, PERMANENT COVER OR CONSTRUCTION PHASING. [MINN. R. 7090]
"GENERAL CONTRACTOR" MEANS THE PARTY WHO SIGNS THE CONSTRUCTION CONTRACT WITH THE OWNER TO CONSTRUCT THE ENTIRE PROJECT DESCRIBED IN THE FINAL PLANS AND SPECIFICATIONS, WHERE THE CONSTRUCTION PROJECT INVOLVES MORE THAN ONE CONTRACTOR. THE GENERAL CONTRACTOR IS THE PARTY RESPONSIBLE FOR MANAGING THE ENTIRE PROJECT ON BEHALF OF THE OWNER. IN SOME CASES, THE OWNER IS THE GENERAL CONTRACTOR. IN THESE CASES, THE OWNER SIGNS THE PERMIT APPLICATION AS THE OPERATOR AND BECOMES THE SOLE PERMITTEE. [MINN. R. 7090]
"GROUNDWATER" MEANS THE WATER CONTAINED BELOW THE SURFACE OF THE EARTH IN THE SATURATED ZONE INCLUDING, WITHOUT LIMITATION, ALL WATERS WHETHER UNDER CONFINED, UNCONFINED, OR PERCHED CONDITIONS, IN NEAR SURFACE UNCONSOLIDATED SEDIMENT OR REGOLITH, OR IN ROCK FORMATIONS DEEPER UNDERGROUND. [MINN. R. 7090]
"HOMEOWNER FACT SHEET" MEANS AN MPCA FACT SHEET AVAILABLE ON THE MPCA CONSTRUCTION STORMWATER WEBSITE FOR PERMITTEES TO GIVE TO HOMEOWNERS AT THE TIME OF SALE. [MINN. R. 7090]
"INFEASIBLE" MEANS NOT TECHNOLOGICALLY POSSIBLE OR NOT ECONOMICALLY PRACTICABLE AND ACHIEVABLE IN LIGHT OF THE BEST INDUSTRY PRACTICES. [MINN. R. 7090]
"INITIATED IMMEDIATELY" MEANS TAKING AN ACTION TO COMMENCE SOIL STABILIZATION AS SOON AS PRACTICABLE, BUT NO LATER THAN THE END OF THE WORK DAY, FOLLOWING THE DAY WHEN THE LAND-DISTURBING ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE. IF THE PERMITTEES KNOW THAT CONSTRUCTION WORK ON THAT PORTION OF THE SITE WILL BE TEMPORARILY CEASED FOR 14 OR MORE ADDITIONAL CALENDAR DAYS OR 7 CALENDAR DAYS WHERE ITEM 23.9 APPLIES, PERMITTEES CAN INITIATE STABILIZATION BY:
A. PREPPING THE SOIL FOR VEGETATIVE OR NON-VEGETATIVE STABILIZATION; OR
B. APPLYING MULCH OR OTHER NON-VEGETATIVE PRODUCT TO THE EXPOSED SOIL AREA; OR
C. SEEDING OR PLANTING THE EXPOSED AREA; OR
D. STARTING ANY OF THE ACTIVITIES IN A - C ON A PORTION OF THE AREA TO BE STABILIZED, BUT NOT ON THE ENTIRE AREA; OR
E. FINALIZING ARRANGEMENTS TO HAVE STABILIZATION PRODUCT FULLY INSTALLED IN COMPLIANCE WITH THE APPLICABLE

DEADLINE FOR COMPLETING STABILIZATION. [MINN. R. 7090]
"IMPERVIOUS SURFACE" MEANS A CONSTRUCTED HARD SURFACE THAT EITHER PREVENTS OR RETARDS THE ENTRY OF WATER INTO THE SOIL AND CAUSES WATER TO RUN OFF THE SURFACE IN GREATER QUANTITIES AND AT AN INCREASED RATE OF FLOW THAN PRIOR TO DEVELOPMENT. EXAMPLES INCLUDE ROOFTOPS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, AND CONCRETE, ASPHALT, OR GRAVEL ROADS, BRIDGES OVER SURFACE WATERS ARE CONSIDERED IMPERVIOUS SURFACES. [MINN. R. 7090]
"NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)" MEANS THE PROGRAM FOR ISSUING, MODIFYING, REVOKING, REISSUING, TERMINATING, MONITORING, AND ENFORCING PERMITS UNDER THE CLEAN WATER ACT, AS AMENDED (33 U.S.C. 1251 ET SEQ. SECTION 1342 AND 40 CFR PARTS 122, 123, 124 AND 450). [MINN. R. 7090]
"NATURAL BUFFER" MEANS AN AREA OF UNDISTURBED COVER SURROUNDING SURFACE WATERS WITHIN WHICH CONSTRUCTION ACTIVITIES ARE RESTRICTED. NATURAL BUFFER INCLUDES THE VEGETATION, EXPOSED ROCK, OR BARREN GROUND THAT EXISTS PRIOR TO COMMENCEMENT OF EARTH-DISTURBING ACTIVITIES. [MINN. R. 7090]
"NOTICE OF TERMINATION (NOT)" MEANS THE FORM (ELECTRONIC OR PAPER) REQUIRED FOR TERMINATING COVERAGE UNDER THE CONSTRUCTION GENERAL PERMIT. [MINN. R. 7090]

"OPERATOR" MEANS THE PERSON (USUALLY THE GENERAL CONTRACTOR), FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY DESIGNATED BY THE OWNER WHO HAS DAY TO DAY OPERATIONAL CONTROL AND/OR THE ABILITY TO MODIFY PROJECT PLANS AND SPECIFICATIONS RELATED TO THE SWPPP. THE PERMIT APPLICATION MUST LIST THE OPERATOR AS A PERMITTEE. SUBCONTRACTORS HIRED BY AND UNDER SUPERVISION OF THE GENERAL CONTRACTOR ARE NOT OPERATORS. [MINN. R. 7090]
"OWNER" MEANS THE PERSON, FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY POSSESSING THE TITLE OF THE LAND ON WHICH THE CONSTRUCTION ACTIVITIES WILL OCCUR OR, IF THE CONSTRUCTION ACTIVITY IS FOR A LEASE, EASEMENT, OR MINERAL RIGHTS LICENSE HOLDER, THE PARTY OR INDIVIDUAL IDENTIFIED AS THE LEASE, EASEMENT OR MINERAL RIGHTS LICENSE HOLDER, OR THE CONTRACTING GOVERNMENT AGENCY RESPONSIBLE FOR THE CONSTRUCTION ACTIVITY. [MINN. R. 7090]
"PERMANENT COVER" MEANS SURFACE TYPES THAT WILL PREVENT SOIL FAILURE UNDER EROSION CONDITIONS, EXAMPLES INCLUDE: GRAVEL, CONCRETE, PERENNIAL COVER, OR OTHER LANDSCAPED MATERIAL THAT WILL PERMANENTLY ARREST SOIL EROSION. PERMITTEES MUST ESTABLISH A UNIFORM PERENNIAL VEGETATIVE COVER (I.E., EVENLY DISTRIBUTED, WITHOUT LARGE BARE AREAS) WITH A DENSITY OF 70 PERCENT OF THE NATIVE BACKGROUND VEGETATIVE COVER ON ALL AREAS NOT COVERED BY PERMANENT STRUCTURES, OR EQUIVALENT PERMANENT STABILIZATION MEASURES. PERMANENT COVER DOES NOT INCLUDE TEMPORARY BMPS SUCH AS WOOD FIBER BLANKET, MULCH, AND ROLLED EROSION CONTROL PRODUCTS. [MINN. R. 7090]
"PERMITTEES" MEANS THE PERSONS, FIRM, GOVERNMENTAL AGENCY, OR OTHER ENTITY IDENTIFIED AS THE OWNER AND OPERATOR ON THE APPLICATION SUBMITTED TO THE MPCA AND ARE RESPONSIBLE FOR COMPLIANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT. [MINN. R. 7090]
"PROJECT(S)" MEANS ALL CONSTRUCTION ACTIVITY PLANNED AND/OR CONDUCTED UNDER A PARTICULAR PERMIT. THE PROJECT OCCURS ON THE SITE OR SITES DESCRIBED IN THE PERMIT APPLICATION, THE SWPPP AND IN THE ASSOCIATED PLANS, SPECIFICATIONS AND CONTRACT DOCUMENTS. [MINN. R. 7090]
"PUBLIC WATERS" MEANS ALL WATER BASINS AND WATERCOURSES DESCRIBED IN MINN. STAT. SECT. 103G.05 SUBP. 15. [MINN. R. 7090]
"SEDIMENT CONTROL" MEANS METHODS EMPLOYED TO PREVENT SUSPENDED SEDIMENT IN STORMWATER FROM LEAVING THE SITE (E.G. SILT FENCES, COMPOST LOGS AND STORM DRAIN INLET PROTECTION). [MINN. R. 7090]
"STABILIZE," "STABILIZED," "STABILIZATION" MEANS THE EXPOSED GROUND SURFACE HAS BEEN COVERED BY APPROPRIATE MATERIALS SUCH AS MULCH, STAKED SOIL, RIPRAP, EROSION CONTROL, BLANKET, MATS OR OTHER MATERIAL THAT PREVENTS EROSION FROM OCCURRING, GRASS SEEDING, AGRICULTURAL CROP SEEDING OR OTHER SEEDING ALONE IS NOT STABILIZATION. MULCH MATERIALS MUST ACHIEVE APPROXIMATELY 90 PERCENT GROUND COVERAGE (TYPICALLY 2 TON/ACRE). [MINN. R. 7090]
"STORMWATER" MEANS PRECIPITATION RUNOFF, STORMWATER RUNOFF, SNOWMELT RUNOFF, AND ANY OTHER SURFACE RUNOFF AND DRAINAGE. [MINN. R. 7090]
"STEEP SLOPES" MEANS SLOPES THAT ARE 1:3 (V:H) (33.3 PERCENT) OR STEEPER IN GRADE. [MINN. R. 7090]
"STORM WATER POLLUTION PREVENTION PLAN (SWPPP)" MEANS A PLAN FOR STORMWATER DISCHARGE THAT INCLUDES ALL REQUIRED CONTENT UNDER IN SECTION 5 THAT DESCRIBES THE EROSION PREVENTION, SEDIMENT CONTROL AND WASTE CONTROL BMPS AND PERMANENT STORMWATER TREATMENT SYSTEMS. [MINN. R. 7090]
"SURFACE WATER OR WATERS" MEANS ALL STREAMS, LAKES, PONDS, MARSHES, WETLANDS, RESERVOIRS, SPRINGS, RIVERS, DRAINAGE SYSTEMS, WATERWAYS, WATERWAYS, LAKES, PONDS, MARSHES, WATERCOURSES, WATERWAYS, WELLS, SPRINGS, RESERVOIRS, AQUIFERS, IRRIGATION SYSTEMS, DRAINAGE SYSTEMS AND ALL OTHER BODIES OR ACCUMULATIONS OF WATER, SURFACE OR UNDERGROUND, NATURAL OR ARTIFICIAL, PUBLIC OR PRIVATE, WHICH ARE CONTAINED WITHIN, FLOW THROUGH, OR BORDER UPON THE STATE OR ANY PORTION THEREOF. [MINN. STAT. 115.01, SUBP. 22]
"WATER QUALITY VOLUME" MEANS ONE (1) INCH OF RUNOFF FROM THE NET INCREASE IN IMPERVIOUS SURFACES CREATED BY THE PROJECT (CALCULATED AS AN INSTANTANEOUS VOLUME). [MINN. R. 7090]
"WETLANDS" (AS DEFINED IN MINN. R. 7050.0186, SUBP. 1A.B.) MEANS THOSE AREAS THAT ARE INUNDATED OR SATURATED BY SURFACE WATER OR GROUNDWATER AT A FREQUENCY AND DURATION SUFFICIENT TO SUPPORT, AND UNDER NORMAL CIRCUMSTANCES DO SUPPORT, A PREVALENCE OF VEGETATION TYPICALLY ADAPTED FOR LIFE IN SATURATED SOIL CONDITIONS. WETLANDS GENERALLY INCLUDE SWAMPY MARSHES, BOGS, AND SIMILAR AREAS. CONSTRUCTED WETLANDS DESIGNED FOR WASTEWATER TREATMENT ARE NOT WATERS OF THE STATE. WETLANDS MUST HAVE THE FOLLOWING ATTRIBUTES:
1. A PREDOMINANCE OF HYDRIC SOILS; AND
2. INUNDATED OR SATURATED BY SURFACE WATER OR GROUNDWATER AT A FREQUENCY AND DURATION SUFFICIENT TO SUPPORT A PREVALENCE OF HYDROPHYTIC VEGETATION TYPICALLY ADAPTED FOR LIFE IN A SATURATED SOIL CONDITION; AND
3. UNDER NORMAL CIRCUMSTANCES SUPPORT A PREVALENCE OF SUCH VEGETATION. [MINN. R. 7050.0186, SUBP. 1A.B]

MAP OF SURFACE WATERS



STORM WATER POLLUTION PREVENTION PLAN LAKELAND BUILDING

DRAWN BY: M.Q.A. DESIGN BY: Q.M.A.

CHKCD BY: M.Q.A. PROJ. NO. 24-2183

ORIGINAL DATE: JANUARY 27, 2025

Table with 2 columns: Date, Revision Description. Shows revision history for the plan.

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
OASEM M. ABUHAZELH LIC. NO. 56289
DATE: 1-27-2025

LAKELAND BUILDING EAST BETHEL, MINNESOTA
STORM WATER POLLUTION PREVENTION PLAN

PREPARED FOR: CLASSIC CONSTRUCTION



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