

**City of East Bethel  
City Council Agenda  
City Council Regular Meeting  
Date: March 10, 2025 at 7:00 p.m.**



The regular City Council meeting may be monitored live via the following means:  
Cable Channel 10, MidcoTV Channel 77, or the City of East Bethel YouTube channel  
([www.youtube.com/channel/UC8\\_7ShcME-XG14pN5JrmBGg/live](http://www.youtube.com/channel/UC8_7ShcME-XG14pN5JrmBGg/live))

**7:00 PM**

**1.0 Call to Order**

**2.0 Pledge of Allegiance**

**3.0 Adopt Agenda**

**4.0 Presentations and Public Hearings**

**5.0 Public Forum**

**6.0 Consent Agenda (p. 3-4)**

***Any item on the consent agenda may be removed for consideration by request of any Council Member and put on the regular agenda for discussion and consideration***

- A. Approve Bill List (p. 5-8)
- B. Minutes: February 24, 2025 City Council meeting (p. 9-13)
- C. Res. 2025-09, Adopt-A-Park Coon Lake Beach & Maynard Peterson Park (p. 14-16)
- D. 2025 Gravel Roads Resurfacing Quote
- E. Res. 2025-10, Supporting HF 1904 and SF 2181 (p. 17-19)
- F. Res. 2025-11, Accepting Bids for 2025 Street Surface Improvement Project (p. 20-26)
- G. Res. 2025-12, Temporary On-Sale Liquor License: Wat Lao Xayabhoummaram (p. 27)

**7.0 New Business - Commission, Association and Task Force Reports**

- A. Planning Commission
  - 1. Interim Use Permit (IUP): 20485 East Bethel Blvd NE (p. 28-38)
  - 2. Preliminary Plat: PID #26-33-23-32-0012, Viking Blvd NE (p. 39-54)
  - 3. Rezone a Property RR to AG: 22206 Durant St NE (p. 55-63)
- B. Economic Development Authority
- C. Park Commission

**8.0 Department Reports**

- A. Community Development
  - 1. Barndominium Ordinance (p. 64-112)
- B. Engineer
- C. City Attorney
- D. Finance
- E. Public Works
- F. Fire Department

G. City Administrator

1. Position Update & Salary Grade Change: Admin. Coordinator (p. 113-115)
2. SRWMO 2026 Budget & JPA Amendment (p. 116-122)
3. URRWMO 2026 Budget (p. 123-130)
4. Spring Town Hall Discussion (p. 131)

**9.0 Other**

- A. Staff Report
- B. Council Reports
- C. Closed Session: Employee Improvement Update
- D. Other

**10.0 Adjourn**

**City of East Bethel  
City Council Meeting  
Agenda Item Information**



**Date:** March 10, 2025

**Agenda Item Number:** Item 6.0 A-G

**Requested Action:** Consider approving the Consent Agenda as presented

**Background Information:**

Item A - Approve Bills

Item B – February 24, 2025 City Council Meeting Minutes

Minutes from the February 24, 2025 City Council meeting are attached for your review.

Item C – Resolution 2025-09 Adopt-A-Park Coon Lake Beach Park & Maynard Peterson Park

The City has received an application for the Adopt-A-Park Program to adopt Coon Lake Beach Park & Maynard Peterson Park from the Coon Lake Community & Senior Center. The Coon Lake Community & Senior Center was instrumental in developing the parks and would like to continue to provide volunteer time to help with the parks.

Staff recommends adoption of Resolution 2025-09 recognizing the commitment from the Coon Lake Community & Senior Center to help keep Coon Lake Beach Park & Maynard Peterson Park clean as part of the City of East Bethel’s Adopt-A-Park program.

Item D – Class 5 Road Resurfacing Bids

At the January 27, 2025 City Council Meeting, council approved the 2025 class 5 gravel road resurfacing project locations and the \$40,000 budgeted amount for this work. The planned roads would require a total of 1,850 tons of class 5.

Staff has solicited and received quotes for the class 5 material and delivery and recommend the low quote for the high binder class 5 from Bjorklund Companies of \$16.65 per delivered ton. This would give the project a cost of \$30,803 and \$7,700 funding to cover an application of chloride to Klondike Drive for a total project cost of \$38,503.

Item E – Resolution 2025-10, Supporting HF 1904 and SF 2181

Please review the bonding bills currently under consideration.

Staff recommends adoption of Resolution 2025-10 supporting the efforts to seek state dollars to fund the water tower, water treatment plant, necessary piping and design that will provide City sewer and water service to East Bethel Elementary and Cedar Creek Elementary schools, as well as provide future service to the proposed business park, south of Sims Road NE.

Item F – Resolution 2025-11, Accepting Bids for the 2025 Street Surface Improvement Project

Per the City’s Capital Improvement Plan bids were received for the 2025 overlay projects. This project includes constructing a bituminous overlay of 4.9 miles of bituminous streets. In general, the streets are east and west of Polk Street from 201st Lane to 212th Avenue and include 212th Avenue, Buchanan Street, Taylor Street, Pierce Street, Buchanan Court, 203rd Lane, Monroe Street, Beaver Dam Drive, 208th Lane, 208th Avenue, Tyler Street, 207th Lane, 205th Lane, Jackson Street, 201st Lane, Monroe Court, Beaver Dam Court, and 207th Avenue. This project also

includes replacement or construction of new storm sewer at 7 locations to correct existing drainage issues and the Alternate Bid includes replacement of all existing casting rings. Bids for this project were opened electronically at 10:00 a.m. on March 4, 2025 at the City Hall. A total of 7 bids were received. The bids were as follows:

	<b>Base Bid</b>	<b>Alternate Bid</b>	<b>Base + Alternate</b>
Knife River Corporation	\$912,861.50	\$25,047.00	\$937,908.50
OMG Midwest Inc.	\$940,461.92	\$23,247.75	\$963,709.67
North Valley, Inc.	\$953,701.35	\$22,810.50	\$976,511.85
Bituminous Roadways Inc.	\$957,699.50	\$33,300.00	\$990,999.50
Omann Brothers Paving Inc.	\$969,901.30	\$22,702.95	\$992,604.25
Asphalt Surface Technologies Corp.	\$977,298.37	\$29,295.75	\$1,006,594.12
Park Construction Company	\$1,097,172.20	\$22,132.50	\$1,119,304.70

The bids are summarized in detail on the attached bid tabulation. As shown in the table above Knife River Corporation – North Central was the lowest bidder based on the Base Bid and the Base Bid and Alternate bid combined. The total bid was \$937,908.50. The engineer’s estimate for this project was \$1,130,508.

Staff recommends awarding the Base Bid and the Alternate Bid. Knife River Corporation has successfully completed projects of similar scope and size to this one in the city of East Bethel. Staff recommends approval of Resolution 2025-11, Accepting Bids for the 2025 Street Surface Improvement Project and award of a contract to Knife River Corporation – North Central in the amount of \$937,908.50.

Item G – Resolution 2025-12, Approve Temporary On-Sale Liquor License: Wat Lao Xayabhoummaram Event organizers at the Wat Lao Xayabhoummaram Buddhist temple have submitted an application for a one to four day temporary On Sale License at 4904 217<sup>th</sup> Ave NE for June 20-22, 2025. All forms have been submitted and are complete. Final approval must be given by the MN Alcohol & Gambling Enforcement Division.

**Fiscal Impact:** As noted above

**Recommendation(s):** Staff recommends approval of the Consent Agenda as presented.

**City Council Action:**

Motion by: \_\_\_\_\_

Second by: \_\_\_\_\_

Vote Yes: \_\_\_\_\_

Vote No: \_\_\_\_\_



**City of East Bethel**  
**March 10, 2025**  
**Payment Summary**

Payments for Council Approval						
Bills to be approved for payment						\$52,526.33
Electronic Payroll Payments						\$37,839.49
Payroll City Staff - February 27, 2025						\$49,427.69
Total to be Approved for Payment						\$139,793.51
Dept Descr	Object Descr	Invoice	Check Name	Fund	Dept	Amount
Arena Operations	Bldgs/Facilities Repair/Maint	35031987244	Wright-Hennepin Coop Electric	615	49851	\$44.90
Arena Operations	Electric Utilities	02 2025	Connexus Energy	615	49851	\$4,532.15
Arena Operations	Refuse Removal	11622416T067	Ace Solid Waste, Inc.	615	49851	\$312.49
Building Inspection	Information Systems	2524	Metro-Inet	101	42410	\$1,135.61
Building Inspection	Telephone	03 2025-2	T MOBILE	101	42410	\$29.47
City Administration	Information Systems	2524	Metro-Inet	101	41320	\$1,254.74
City Administration	Professional Services Fees	30020	TimeSaver Off Site Secretarial	101	41320	\$172.00
City Administration	Professional Services Fees	30021	TimeSaver Off Site Secretarial	101	41320	\$172.00
Finance	Auditing and Acct g Services	502310	Abdo LLP	101	41520	\$16,000.00
Finance	Conferences/Meetings	425235	League of MN Cities	101	41520	\$20.00
Finance	Information Systems	2524	Metro-Inet	101	41520	\$1,135.61
Finance	Sales Tax Remittance	02 2025	Minnesota Revenue	101		\$604.00
Fire Department	Bldgs/Facilities Repair/Maint	9225	Alex Air Apparatus 2 Inc	101	42210	\$972.41
Fire Department	Bldgs/Facilities Repair/Maint	2250189	American Test Center, Inc.	101	42210	\$590.00
Fire Department	Electric Utilities	02 2025	Connexus Energy	101	42210	\$612.69
Fire Department	Electric Utilities	02 2025	Connexus Energy	101	42210	\$263.05
Fire Department	Electric Utilities	02 2025	Connexus Energy	101	42210	\$131.30
Fire Department	Electric Utilities	02 2025	Connexus Energy	101	42210	\$7.96
Fire Department	Information Systems	2524	Metro-Inet	101	42210	\$2,548.41
Fire Department	Motor Vehicles Parts	123820405	Fleet Pride	101	42210	\$4.41
Fire Department	Motor Vehicles Parts	1539-327347	O'Reilly Auto Stores Inc.	101	42210	\$28.02
Fire Department	Professional Services Fees	ABR0349555X	MN Dept Labor & Industry	101	42210	\$20.00
Fire Department	Professional Services Fees	830652	River Country Cooperative	101	42210	\$36.53
Fire Department	Refuse Removal	11622416T067	Ace Solid Waste, Inc.	101	42210	\$41.62
Fire Department	Refuse Removal	11622416T067	Ace Solid Waste, Inc.	101	42210	\$100.80
Fire Department	Safety Supplies	CI00063527	Allina Health System	101	42210	\$158.25
Fire Department	Safety Supplies	33297769	Henry Schein, Inc.	101	42210	\$20.78
Fire Department	Telephone	03 2025-1	T MOBILE	101	42210	\$99.92
Fire Department	Telephone	6106339420	Verizon	101	42210	\$560.14
Fire Department	Tires	270073963	Custom Cap and Tire	101	42210	\$596.00
Fire Department	Tires	270073965	Custom Cap and Tire	101	42210	\$12.00
General Govt Buildings/Plant	Bldg/Facility Repair Supplies	53222	Menards - Forest Lake	101	41940	\$47.93
General Govt Buildings/Plant	Bldg/Facility Repair Supplies	9041598	Plunkett's Pest Control	101	41940	\$84.50
General Govt Buildings/Plant	Bldgs/Facilities Repair/Maint	55900	Robert B. Hill Company	101	41940	\$18.00
General Govt Buildings/Plant	Bldgs/Facilities Repair/Maint	35031987111	Wright-Hennepin Coop Electric	101	41940	\$23.95
General Govt Buildings/Plant	Bldgs/Facilities Repair/Maint	35031987244	Wright-Hennepin Coop Electric	101	41940	\$11.00
General Govt Buildings/Plant	Electric Utilities	02 2025	Connexus Energy	101	41940	\$20.02
General Govt Buildings/Plant	Electric Utilities	02 2025	Connexus Energy	101	41940	\$792.49
General Govt Buildings/Plant	Electric Utilities	02 2025	Connexus Energy	101	41940	\$127.03
General Govt Buildings/Plant	Refuse Removal	11622416T067	Ace Solid Waste, Inc.	101	41940	\$102.80
Park Maintenance	Clothing & Personal Equipment	4222930855	Cintas Corporation	101	43201	\$33.31
Park Maintenance	Clothing & Personal Equipment	4222213537	Cintas Corporation	101	43201	\$33.31
Park Maintenance	Electric Utilities	02 2025	Connexus Energy	101	43201	\$15.50
Park Maintenance	Electric Utilities	02 2025	Connexus Energy	101	43201	\$15.50
Park Maintenance	Electric Utilities	02 2025	Connexus Energy	101	43201	\$38.02
Park Maintenance	Electric Utilities	02 2025	Connexus Energy	101	43201	\$19.07
Park Maintenance	Electric Utilities	02 2025	Connexus Energy	101	43201	\$38.02
Park Maintenance	Electric Utilities	02 2025	Connexus Energy	101	43201	\$15.50





**City of East Bethel**  
**March 10, 2025**  
**Payment Summary**

Street Maintenance	Motor Vehicles Parts	123599918	Fleet Pride	101	43220	\$72.27
Street Maintenance	Motor Vehicles Parts	123606561	Fleet Pride	101	43220	\$132.98
Street Maintenance	Professional Services Fees	5020360	Gopher State One-Call	101	43220	\$27.00
Street Maintenance	Refuse Removal	11622416T067	Ace Solid Waste, Inc.	101	43220	\$535.15
Street Maintenance	Safety Supplies	INV300367	SAFE-FAST INC	101	43220	\$100.00
Street Maintenance	Safety Supplies	INV300380	SAFE-FAST INC	101	43220	\$100.00
Street Maintenance	Small Tools and Minor Equip	541201063251216	Capital One Trade Credit	101	43220	\$7.99
Street Maintenance	Telephone	03 2025-2	T MOBILE	101	43220	\$29.47
Street Maintenance	Tires	201283-00	HANCO CORPORATION	101	43220	\$55.96
Water Utility Operations	Bldgs/Facilities Repair/Maint	35031987111	Wright-Hennepin Coop Electric	601	49401	\$42.95
Water Utility Operations	Chemicals and Chem Products	14375034	Hach Company	601	49401	\$437.05
Water Utility Operations	Electric Utilities	02 2025	Connexus Energy	601	49401	\$104.73
Water Utility Operations	Electric Utilities	02 2025	Connexus Energy	601	49401	\$1,197.24
Water Utility Operations	Electric Utilities	02 2025	Connexus Energy	601	49401	\$368.21
Water Utility Operations	Information Systems	2524	Metro-Inet	601	49401	\$354.31
Water Utility Operations	Professional Services Fees	1st Qtr 2025	Desiree Stanford	601	49401	\$77.55
Water Utility Operations	SAC Remittance	2025	MN Dept of Health	601		\$1,963.00
						<b>\$52,526.33</b>



**City of East Bethel**  
**March 10, 2025**  
**Payment Summary**

Electronic Payroll Payments		
Payroll	PERA	\$10,144.39
Payroll	Federal Withholding	\$6,971.77
Payroll	Medicare Withholding	\$2,232.86
Payroll	FICA Tax Withholding	\$8,530.28
Payroll	State Withholding	\$2,686.86
Payroll	MSRS/H.S.A./HCSP	\$7,273.33
		<b>\$37,839.49</b>

# DRAFT MINUTES: NOT YET APPROVED

## EAST BETHEL CITY COUNCIL MEETING

February 24, 2025

The East Bethel City Council met on February 24, 2025, at 7:00 p.m. for the regular City Council meeting at City Hall.

MEMBERS PRESENT:            Ardie Anderson            Suzanne Erkel            Brian Mundle  
   Tim Miller                   Jim Smith

ALSO PRESENT:                Matt Look, City Administrator  
   Christina Benson, City Attorney  
   Rodney Sanow, Fire Chief

### 1.0 Call to Order

The February 24, 2025, City Council meeting was called to order by Mayor Anderson at 7:00 p.m.

### 2.0 Pledge of Allegiance

The Pledge of Allegiance was recited.

### 3.0 Adopt Agenda

**Mundle stated I'll make a motion to adopt tonight's agenda with the addition of Item 6.0 F, 'Planning Commission Resignation'. Erkel stated I'll second.** Anderson asked any discussion? To the motion, all in favor say aye. **All in favor.** Anderson asked any opposed? That motion passes. **Motion passes unanimously.**

### 4.0 Presentations and Public Hearings

#### 4.0 A Anoka County Sheriff's Report

Lieutenant Derek Peters presented the January 2025, Sheriff's Report, stating the Sheriff's Department had 368 calls for service in January, 4 thefts, 3 assaults, 23 different traffic crashes, 43 arrests, 177 traffic stops, and 26 traffic citations. Lieutenant Peters noted that their dispatch calls were slightly lower than what they had seen in the past, but their self-initiated field activity was up in January.

Lieutenant Peters stated that their Marine Unit is working with the East Bethel Fire Department to solidify a date in early March to conduct ice rescue training out on Coon Lake.

Mundle asked if most of the 23 crashes they responded to were due to weather. Lieutenant Peters stated that time of day also impacts the numbers, they usually see accidents in the early morning and later evening hours when the light conditions are not what people are used to.

**Informational; no action required.**

#### 4.0 B Fire Department Monthly Report

Fire Chief Sanow presented the January 2025 report and noted that they responded to 85 calls, of which 64 were medical, 3 crashes, 5 alarms, 3 fires, and 3 mutual aid calls. Fire Chief Sanow stated they responded to 150 total calls this year, compared to 138 at this time last year.

1 Fire Chief Sanow reminded residents that a burning permit is needed for anything bigger than a 3 X 3  
2 X 3 fire. Fire Chief Sanow also reminded us that daylight saving starts on March 9, which is a good  
3 time to change batteries in smoke detectors and CO detectors.

4 Fire Chief Sanow updated that he believes the ice rescue training at Coon Lake should occur on March  
5 24, 2025.

6 **Informational; no action required.**

7 **5.0 Public Forum**

8 Tammy Gimpl, stated that she sent a complaint email to the City Administrator and she got a  
9 response which she then forwarded to everyone on the Council and did not receive any responses.  
10 Ms. Gimpl asked how they work with that, if it is a legitimate complaint, and what comes next if going  
11 to City staff does not work.

12 Look stated that the response to the sign issue complaint she had was that these people have the  
13 freedom of speech and the sign is in their yard not in the right-of-way, and signs not in the right-of-  
14 way are not covered in the Ordinance. Look suggested following up with an attorney to see if she had  
15 any basis for what was written on the signs. Look stated that there is no recourse the City can do at  
16 this point.

17 Ms. Gimpl stated that the signs are in the right-of-way and the sign ordinance states what they can  
18 and cannot have and the fact that they are in the right-of-way is a violation. Look asked if Ms. Gimpl  
19 knows how far the right-of-way is off the center of the street. Ms. Gimpl stated that it is 33 feet. Look  
20 asked if she measured that. Ms. Gimpl stated that they are located in the right-of-way.

21 Look stated that they can ask the residents to move the signs back however far into their property,  
22 but they cannot force them to remove the signs.

23 Dino Perfetti asked if staff and Council have a gameplan in retaining Carrie Frost as an employee of  
24 the City.

25 Look stated that all personnel matters are private, but they are looking at various wage scales and  
26 have met with the personnel committee, and they are undertaking the study at the moment. Look  
27 stated that there is a workforce issue everywhere.

28 **6.0 Consent Agenda**

29 ~~Item A: Approve Bill List~~

30 Item B: Approve Meeting Minutes January 27, 2025 City Council Meeting – Requested Edits

31 Item C: Approve Meeting Minutes, February 10, 2025 City Council Work Meeting

32 Item D: Approve Meeting Minutes, February 10, 2025 City Council Meeting

33 ~~Item E: Approve 2024 MN Lawful Gambling LG510 Report~~

34 Item F: Planning Commission Resignation

35 Erkel requested to pull Item A. Smith requested to pull Item E.

36 **Mundle stated I'll make a motion to approve Consent Agenda as amended. Erkel stated I'll second.**  
37 Anderson asked any discussion? To the motion, all in favor say aye. **All in favor.** Anderson asked any  
38 opposed? That motion passes. **Motion passes unanimously.**

39 **6.0 A Approve Bill List**

40 Erkel asked what the refund of closing overpay for the water utilities means. Look stated that he  
41 assumes it has to do with when you are setting up a residential or commercial area you pay a certain  
42 amount of escrow down for hooking up water and if you pay more than that it is refunded.

1 Erkel stated that under conference meetings the same name is listed 3 times and asked if that was a  
 2 mistake or if the same person attended 3 different classes. Look stated that the charges are for three  
 3 different people who went to the same conference, but the charges all went to one person’s credit  
 4 card so they are reimbursing him.

5 Erkel stated that she was under the understanding that an employee does all the maintenance of  
 6 vehicles and asked why are they paying Ford and PTL for vehicle services. Look stated that the work  
 7 that was paid for exceeds what their mechanics are able to do in terms of size and scope.

8 **Erkel stated I’ll make a motion to approve Item A of the Consent Agenda. Smith stated I’ll second.**  
 9 Anderson asked any discussion? To the motion, all in favor say aye. **All in favor.** Anderson asked any  
 10 opposed? That motion passes. **Motion passes unanimously.**

11 **6.0 E Approve 2024 MN Lawful Gambling LG510 Report**

12 Smith expressed his thanks to the gambling organizations that contributed 10% of their earnings to  
 13 the City. Smith asked where the \$57,239.20 goes. Look stated that it goes directly in the Law  
 14 Enforcement account for paying the contract.

15 Smith stated that a lot of their residents are contributing also, so if there is a way they can do  
 16 something with this money to help benefit the residents as well that would be nice. Look stated that  
 17 this offsets, in the budget, what the residents would be paying in taxes for the contract.

18 **Smith stated I’ll make a motion to approve Item E of the Consent Agenda. Erkel stated I’ll second.**  
 19 Anderson asked any discussion? To the motion, all in favor say aye. **All in favor.** Anderson asked any  
 20 opposed? That motion passes. **Motion passes unanimously.**

21 **7.0 New Business. Commission, Association, and Task Force Reports**

22 No reports given

23 **8.0 Department Reports**

24 **8.0 A Community Development**

25 None.

26 **8.0 B Engineer Report**

27 None.

28 **8.0 C City Attorney**

29 None.

30 **8.0 D Finance**

31 None.

32 **8.0 E Public Works**

33 None.

34 **8.0 F Fire Department**

35 None.

36 **8.0 G City Administrator Report**

37 **8.0 G.1 Facility Safety Policy Adoption**

38 Look stated that the prior Council had indicated an interest in evaluating and implementing a secure  
 39 facility policy for East Bethel. Look stated after reviewing Andover’s Facility Access Policy, changes  
 40 were made to tailor the policy to East Bethel.

1 **Erkel stated I'll make a motion to approve the Facility Safety Policy. Miller stated I'll second.**

2 Anderson asked any discussion?

3 Erkel stated that in regard to the app that people are not supposed to have access to after retiring or  
4 are no longer an employee, how are they going to make sure the app is not accessible to them. Look  
5 stated that in order to add somebody to the app, the telephone number and type of phone have to  
6 be submitted to the app administrator and suggested that the Fire Chief would be responsible for  
7 removing people and working with the new policy.

8 Look stated that there are other apps that can be downloaded by anyone, but that they do not give  
9 as much information as is given on Active911.

10 Mundle stated that with Active 911, the Fire Chief can go in and remove people so there is control in  
11 who has access. Erkel asked who has access to that list of people. Look stated that the Fire Chief  
12 would have access to that list.

13 Look stated that Pulse Point is the app that anyone can download.

14 To the motion, all in favor say aye. **All in favor.** Anderson asked any opposed? That motion passes.  
15 **Motion passes unanimously.**

## 16 **9.0 – Other Items**

### 17 **9.0 A Staff Report**

18 Look stated that Elevage has been hooked up and tested and will be fully functioning as of tomorrow.

19 Look stated that they approved accepting a resignation to the Planning Commission and they have  
20 two vacancies currently that can be filled. Look stated that the next Planning Commission will be very  
21 busy, Lindahl has been working and processing through a number of cases.

22 Look updated that they will have a new planner starting at the beginning of March.

23 Look stated that the security system that was approved will be installed on March 6, 2025. Mundle  
24 asked if it will be installed in all buildings on March 6, 2025, or if that will just be the start of the  
25 installation. Look stated that he is not sure, it may take longer for some buildings rather than others  
26 but it should be wrapped up pretty quickly.

27 Miller asked for a breakdown of how the Ice Arena business is running since the City has taken over.  
28 Look stated that they can get the financials on that, but he knows that they are starting to make  
29 profit and offsetting some of those negatives.

### 30 **9.0 B Council Reports**

31 Mundle stated that there was a Highway 65 Coalition meeting, and East Bethel was chosen to be the  
32 treasurer for that organization again; in exchange for them being the treasurer, they will not charge  
33 any member fees.

34 Mundle stated that they had a Sunrise River Watershed Management Organization meeting, and they  
35 approved a budget for next year, which will come before the cities at a future time; the new budget  
36 total is \$50,643 compared to \$47,189 from last year. Mundle also noted that in 2 years, they will have  
37 to do their 10-year plan, and there was discussion on how to fund that.

38 Erkel asked what the estimated cost of a 10-year plan is. Mundle stated that it would probably be  
39 around \$50,000.

1 Erkel stated that she attended the Chamber meeting representing the City and they were at Nace.  
2 Erkel updated that they serve thousands of people each month and they have a new punch card  
3 system to ensure people only come once a month. Erkel also noted that they are in need of diapers.

4 Erkel asked if the City pays for the Council to be members of the Chambers or if they are  
5 automatically members. Look stated that he does not recall seeing that on the budget, but they can  
6 look into it. Mundle thinks that the Council has always just been invited, but are not necessarily  
7 members.

8 Erkel also noted that she attended the Anoka County Blaine Airport Meeting, and they are  
9 demolishing buildings on 105<sup>th</sup> and Madison/Lexington area and plan on putting in a huge multi-use  
10 sports center and a new baseball team that will play there. Erkel also stated that the airport is also  
11 getting a new above ground fuel tank. Erkel noted programs and events that they will be holding.

12 Erkel stated that people can go to macnoms.com to see all flight information in the area or if they  
13 have any questions/issues.

14 Erkel asked if they would be seeing and approving the Emergency Plan and other modifications from  
15 the Fire Department. Look stated that the Emergency Plan is being worked on and the County has to  
16 finalize theirs first before the City can finalize theirs.

17 Erkel stated that lots of residents have been taken to court by the City, and asked if there are any  
18 current cases. Look stated that the current cases were approved by the prior Council, but the new  
19 policy is that before prosecution, the Council has to be made aware and vote on them.

20 Erkel asked if the Seniors could get a copy of the cleaning contract and contract renewal date.

21 Erkel stated that she thinks they should have a policy for what should be done if keys are forgotten  
22 and staff has to go and unlock a building for an organization. Look stated that when the new security  
23 system is installed access can be granted instantly from a cell phone.

24 Erkel stated that the Senior meetings are held at 10:30 a.m. on the third Thursday of the month.

25 Anderson stated that he attended the League of Minnesota Cities' newly elected official conference  
26 and noted that there was a lot of guidance and information. Anderson stated that a new webinar  
27 regarding social media issues is coming up that they should look at.

28 **9.0 C Other**

29 None.

30 **10.0 Adjourn**

31 **Mundle stated I'll make a motion to adjourn. Erkel stated I'll second.** To the motion, all in favor say  
32 aye. **All in favor.** Anderson asked any opposed? That motion passes. **Motion passes unanimously.**

33 Meeting adjourned at 7:46 p.m.

34 Submitted by:

35 Lilian Rokosz

36 *TimeSaver Off Site Secretarial, Inc.*



### **Definitions**

- 1) **Adopter**: The individual, group, or organization agreeing to terms and regulations set by City policy for adopting parkland.
- 2) **Adopted Parkland**: Any park, trail, or portion thereof that is adopted as designated by the East Bethel Park Commission.
- 3) **Season**: May through October
- 4) **Park Commission**: City of East Bethel's Park Commission

### **Plan**

- 1) A park or trail, or portions thereof, can be adopted by an individual, business, or organization from the City of East Bethel for public service activities as designated by the City Council and recommended by the Park Commission.
- 2) The City may terminate adoption status at anytime without advance notice.
- 3) The Adopter may terminate adoption status at any time by giving written notice of termination addressed to:

Nate Ayshford, Public Works Manager  
City of East Bethel  
2241 221<sup>st</sup> Ave NE  
East Bethel, MN 55011

- 4) Adopter will provide public service in the form of general litter collection services twice per season, once in the spring or early summer the second in the late summer or fall. The adopter shall contact City Staff for materials needed for litter collection and for litter collection pick-up services for each occasion. Filled trash bags shall be placed near the entrance of the park for the agreed upon pick-up. The adopter shall recycle appropriate materials.
- 5) The Adopter shall carry out litter collection during daylight hours only.
- 6) The Adopted Parkland will be visually inspected for safety hazards by the Adopter prior each public service occasion. These inspections should be completed by June 1<sup>st</sup> of each year and a report of findings given to City Staff.

- 7) The Adopter shall bi-annually visually inspect the trees within the Adopted Parkland prior each public service occasion and report to City Staff any noticeable signs of natural damage, disease, vandalism or public nuisance to the urban forest.
- 8) The Adopter may wish to install plantings around the sign for the designated park. A planting plan must be first submitted and approved by the Park Commission.
- 9) To the extent that the Adopter uses a workforce that has participants who are under the age of eighteen, the Adopter shall provide adequate supervision over those participants eighteen years of age or younger on site at all times during Adopt-A-Park public service activities.
- 10) The Adopters who participate in the Adopt-A-Park Program will be recognized with a City Council Proclamation, news articles, and a sign located at the park.
- 11) The City of East Bethel maintains all privileges and obligations of parkland. The Adopter shall not receive special rights or privileges to the adopted parkland.
- 12) It is the responsibility of the Adopter to act in accordance with all parkland ordinances.
- 13) The City maintains liability insurance to cover its volunteer activities. Any person or entity named as the Adopter shall assume all risk of injury or property damage incurred by any participant acting on behalf of the Adopter in the Adopt-A-Park Program not otherwise covered under the City insurance policy, and shall indemnify and save harmless the City of East Bethel from any claim arising out of such participation. Further, the Adopter acknowledges that participants are not covered by the City's Workers' Compensation Insurance, and that no authority to act on the City's behalf is created or inferred from the Adopter status.

### ADOPT-A-PARK DESIGNATION

*Park:* Coon Lake Beach Park & Maynard Peterson Memorial Park

*Name of Entity (the "Adopter"):* Coon Lake Community & Senior Center

*Address:* 182 Forest Road East Bethel, MN 55092

*Phone:* (H) Secretary - (612) 910-9376 (C) President - (612) 701-8833

*The undersigned, by signing this document, acknowledges that the Adopter accepts the above designation, and agrees to be bound by the terms of the hereto attached Adopt-A-Park Plan.*

*George Fletcher*  
George Fletcher (Feb 21, 2025 13:02 CST)  
**Adopter Signature**

02/21/2025  
**Date**

\_\_\_\_\_  
**City Staff Signature**

**CITY OF EAST BETHEL  
EAST BETHEL, MINNESOTA**

**RESOLUTION NO. 2025-09**

**RESOLUTION ACKNOWLEDGING THE COON LAKE COMMUNITY & SENIOR CENTER  
FOR THEIR ADOPTION OF COON LAKE BEACH PARK & MAYNARD PETERSON PARK**

**WHEREAS**, the City of East Bethel is responsible for the overall maintenance of the East Bethel Park System; and

**WHEREAS**, the Adopt-A-Park Program provides an opportunity for community organizations, residents, and businesses to become involved in a commitment to their City park system; and

**WHEREAS**, the City of East Bethel recognizes the extraordinary efforts required from the community organizations, residents, and businesses and the potential economic savings to the City based on these efforts.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF EAST BETHEL, MINNESOTA THAT:** the City Council of the City of East Bethel expresses its thanks and appreciation to the Coon Lake Community & Senior Center for their commitment to help maintain Coon Lake Beach Park & Maynard Peterson Park as part of the Adopt-A-Park Program.

Adopted this 10<sup>th</sup> day of March, 2025 by the City Council of the City of East Bethel.

CITY OF EAST BETHEL

\_\_\_\_\_  
Arden Anderson, Mayor

ATTEST:

\_\_\_\_\_  
Matt Look, City Administrator

This Document can be made available in alternative formats upon request

State of Minnesota

HOUSE OF REPRESENTATIVES

NINETY-FOURTH SESSION

H. F. No. 1904

03/05/2025 Authored by Scott
The bill was read for the first time and referred to the Committee on Capital Investment

1.1 A bill for an act
1.2 relating to capital investment; appropriating money to connect elementary schools
1.3 in the city of East Bethel to city water and sewer infrastructure; authorizing the
1.4 sale and issuance of state bonds.

1.5 BE IT ENACTED BY THE LEGISLATURE OF THE STATE OF MINNESOTA:

1.6 Section 1. EAST BETHEL; WATER AND SEWER INFRASTRUCTURE.

1.7 Subdivision 1. Appropriation. \$10,500,000 is appropriated from the bond proceeds
1.8 fund to the Public Facilities Authority for a grant to the city of East Bethel to predesign,
1.9 design, construct, and equip city water and sewer infrastructure to connect East Bethel
1.10 Elementary School and Cedar Creek Elementary School to city water and sewer systems.
1.11 This appropriation includes money for a new water tower, a new water treatment facility,
1.12 new wells, and associated water and sewer infrastructure necessary to complete the project.

1.13 Subd. 2. Bond sale. To provide the money appropriated in this section from the bond
1.14 proceeds fund, the commissioner of management and budget shall sell and issue bonds of
1.15 the state in an amount up to \$10,500,000 in the manner, upon the terms, and with the effect
1.16 prescribed by Minnesota Statutes, sections 16A.631 to 16A.675, and by the Minnesota
1.17 Constitution, article XI, sections 4 to 7.

1.18 EFFECTIVE DATE. This section is effective the day following final enactment.

**SENATE  
STATE OF MINNESOTA  
NINETY-FOURTH SESSION**

**S.F. No. 2181**

(SENATE AUTHORS: BAHR)

DATE  
03/06/2025

D-PG

Introduction and first reading  
Referred to Capital Investment

OFFICIAL STATUS

1.1 A bill for an act  
1.2 relating to capital investment; appropriating money to connect elementary schools  
1.3 in the city of East Bethel to city water and sewer infrastructure; authorizing the  
1.4 sale and issuance of state bonds.

1.5 BE IT ENACTED BY THE LEGISLATURE OF THE STATE OF MINNESOTA:

1.6 Section 1. **EAST BETHEL; WATER AND SEWER INFRASTRUCTURE.**

1.7 Subdivision 1. **Appropriation.** \$10,500,000 is appropriated from the bond proceeds  
1.8 fund to the Public Facilities Authority for a grant to the city of East Bethel to predesign,  
1.9 design, construct, and equip city water and sewer infrastructure to connect East Bethel  
1.10 Elementary School and Cedar Creek Elementary School to city water and sewer systems.  
1.11 This appropriation includes money for a new water tower, a new water treatment facility,  
1.12 new wells, and associated water and sewer infrastructure necessary to complete the project.

1.13 Subd. 2. **Bond sale.** To provide the money appropriated in this section from the bond  
1.14 proceeds fund, the commissioner of management and budget shall sell and issue bonds of  
1.15 the state in an amount up to \$10,500,000 in the manner, upon the terms, and with the effect  
1.16 prescribed by Minnesota Statutes, sections 16A.631 to 16A.675, and by the Minnesota  
1.17 Constitution, article XI, sections 4 to 7.

1.18 **EFFECTIVE DATE.** This section is effective the day following final enactment.

**CITY OF EAST BETHEL  
EAST BETHEL, MINNESOTA**

**RESOLUTION NO. 2025-10**

**RESOLUTION SUPPORTING HF 1904 AND SF 2181**

**WHEREAS**, ISD 15 School District has approached the City of East Bethel to inquire as to the possibility of collaborating to establish a connection to City utilities; and,

**WHEREAS**, the current well and septic systems the schools are currently using have proven to be problematic, requiring upgrades to their septic pumping station; and,

**WHEREAS**, the well water has shown signs of contamination; and,

**WHEREAS**, contaminants have been found in close proximity, consisting of VOCs (DCA, methylene chloride, TCE), benzene, tannins, radium and manganese, in city wells; and

**WHEREAS**, the Minnesota Department of Health issued a notice of designation of special well construction area in the vicinity of the East Bethel Sanitary Landfill, identified as east ½ of Section 8, the west ½ of Section 9, the west ½ of the northwest quarter of Section 9, and the west ½ southeast corner of Section 9, Township 33 North, Range 23 West. Beginning at the intersection of State Highway 65 and Sims Road Northwest, the boundary of the Special Well Construction Area extends north on State Highway 65 approximately one mile to 221<sup>st</sup> Ave Northeast, then east one mile, then west approximately one and one quarter miles, then south approximately one mile, then west approximately one and one quarter miles to the intersection of State Highway 65 and Sims Road.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF EAST BETHEL, MINNESOTA THAT:** the East Bethel City Council and Mayor fully support the bonding request for 10.5 million dollars, as identified in HF 1904 (Representative Scott) and SF 2181 (Senator Bahr), for the purposes of investing in predesign and design, to construct City water and sewer infrastructure necessary to connect East Bethel Elementary and Cedar Creek Elementary Schools.

Adopted on the 10<sup>th</sup> of March, 2025 by the City Council of the City of East Bethel.

CITY OF EAST BETHEL

\_\_\_\_\_  
Arden Anderson, Mayor

ATTEST:

\_\_\_\_\_  
Matt Look, City Administrator

**BID TABULATION  
CITY OF EAST BETHEL  
2025 STREET SURFACE IMPROVEMENT PROJECT**

Bids were opened March 4, 2025 at 10:00 a.m.  
A total of seven (7) bids were received, as shown herein.

Base Bid					Knife River Corporation North Central		OMG Midwest Inc. dba Minnesota Paving & Materials		North Valley, Inc.	
ITEM NO.	Mn/DOT SPEC. NO.	ITEM DESCRIPTION	UNIT	ESTIMATED QUANTITY	UNIT PRICE	EXTENSION	UNIT PRICE	EXTENSION	UNIT PRICE	EXTENSION
1	2021.501	MOBILIZATION	LUMP SUM	1	\$ 40,000.00	\$ 40,000.00	\$ 48,902.25	\$ 48,902.25	\$ 26,245.61	\$ 26,245.61
2	2101.502	CLEARING	EACH	2	\$ 1,000.00	\$ 2,000.00	\$ 501.35	\$ 1,002.70	\$ 1,190.52	\$ 2,381.04
3	2101.502	GRUBBING	EACH	2	\$ 1,000.00	\$ 2,000.00	\$ 250.68	\$ 501.36	\$ 216.46	\$ 432.92
4	2104.502	REMOVE CATCH BASIN	EACH	2	\$ 300.00	\$ 600.00	\$ 300.81	\$ 601.62	\$ 275.99	\$ 551.98
5	2104.502	SALVAGE CASTING	EACH	3	\$ 200.00	\$ 600.00	\$ 200.54	\$ 601.62	\$ 243.52	\$ 730.56
6	2104.503	SAWING CONCRETE PAVEMENT - FULL DEPTH	LIN FT	59	\$ 5.00	\$ 295.00	\$ 5.01	\$ 295.59	\$ 5.41	\$ 319.19
7	2104.503	SAWING BITUMINOUS PAVEMENT - FULL DEPTH	LIN FT	1083	\$ 1.00	\$ 1,083.00	\$ 1.80	\$ 1,949.40	\$ 1.95	\$ 2,111.85
8	2104.503	REMOVE SEWER PIPE (STORM)	LIN FT	163	\$ 13.00	\$ 2,119.00	\$ 13.04	\$ 2,125.52	\$ 8.66	\$ 1,411.58
9	2104.504	REMOVE BITUMINOUS PAVEMENT	SQ YD	3676	\$ 3.85	\$ 14,152.60	\$ 3.86	\$ 14,189.36	\$ 4.65	\$ 17,093.40
10	2104.504	REMOVE CONCRETE PAVEMENT	SQ YD	56	\$ 20.00	\$ 1,120.00	\$ 20.05	\$ 1,122.80	\$ 15.69	\$ 878.64
11	2106.507	EXCAVATION - COMMON (P)	CU YD	853	\$ 18.00	\$ 15,354.00	\$ 18.05	\$ 15,396.65	\$ 29.76	\$ 25,385.28
12	2211.509	AGGREGATE BASE CLASS 5	TON	902	\$ 18.00	\$ 16,236.00	\$ 18.05	\$ 16,281.10	\$ 25.13	\$ 22,667.26
13	2211.604	SUBGRADE PREPARATION (P)	SQ YD	3191	\$ 1.80	\$ 5,743.80	\$ 1.80	\$ 5,743.80	\$ 1.52	\$ 4,850.32
14	2232.504	MILL BITUMINOUS SURFACE	SQ YD	25949	\$ 2.10	\$ 54,492.90	\$ 1.54	\$ 39,961.46	\$ 1.27	\$ 32,955.23
15	2232.604	MILL BITUMINOUS SURFACE - DRIVEWAYS	SQ YD	134	\$ 20.00	\$ 2,680.00	\$ 27.68	\$ 3,709.12	\$ 8.66	\$ 1,160.44
16	2301.504	CONCRETE PAVEMENT 7.0"	SQ FT	309	\$ 10.00	\$ 3,090.00	\$ 10.03	\$ 3,099.27	\$ 10.82	\$ 3,343.38
17	2357.506	BITUMINOUS MATERIAL FOR TACK COAT	GALLONS	5635	\$ 2.50	\$ 14,087.50	\$ 2.01	\$ 11,326.35	\$ 3.25	\$ 18,313.75
18	2360.504	TYPE SP 9.5 WEARING COURSE MIXTURE (2;B) 1.5" THICK	SQ YD	134	\$ 20.00	\$ 2,680.00	\$ 24.44	\$ 3,274.96	\$ 18.13	\$ 2,429.42
19	2360.504	TYPE SP 9.5 WEARING COURSE MIXTURE (2;B) 3.0" THICK	SQ YD	216	\$ 22.00	\$ 4,752.00	\$ 34.53	\$ 7,458.48	\$ 26.46	\$ 5,715.36
20	2360.509	TYPE SP 4.5 WEARING COURSE MIXTURE (2;B)	TON	50	\$ 200.00	\$ 10,000.00	\$ 165.57	\$ 8,278.50	\$ 166.88	\$ 8,344.00
21	2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (2;B)	TON	7108	\$ 73.00	\$ 518,884.00	\$ 76.80	\$ 545,894.40	\$ 79.56	\$ 565,512.48
22	2360.509	TYPE SP 12.5 NON WEARING COURSE MIXTURE (2;B)	TON	404	\$ 88.00	\$ 35,552.00	\$ 100.11	\$ 40,444.44	\$ 77.30	\$ 31,229.20
23	2501.502	18" CS PIPE APRON	EACH	1	\$ 360.00	\$ 360.00	\$ 360.97	\$ 360.97	\$ 492.44	\$ 492.44
24	2501.502	12" RC PIPE APRON	EACH	1	\$ 745.00	\$ 745.00	\$ 747.02	\$ 747.02	\$ 1,352.87	\$ 1,352.87
25	2501.502	15" RC PIPE APRON	EACH	3	\$ 802.00	\$ 2,406.00	\$ 804.17	\$ 2,412.51	\$ 1,574.74	\$ 4,724.22
26	2501.502	18" RC PIPE APRON	EACH	1	\$ 910.00	\$ 910.00	\$ 912.46	\$ 912.46	\$ 1,677.55	\$ 1,677.55
27	2501.503	18" CPEP PIPE SEWER - PERFORATED	LIN FT	21.4	\$ 70.00	\$ 1,498.00	\$ 70.19	\$ 1,502.07	\$ 84.42	\$ 1,806.59
28	2501.503	12" RC PIPE SEWER DESIGN 3006 CLASS V	LIN FT	114	\$ 60.00	\$ 6,840.00	\$ 60.16	\$ 6,858.24	\$ 62.77	\$ 7,155.78
29	2501.503	15" RC PIPE SEWER DESIGN 3006 CLASS V	LIN FT	128	\$ 77.50	\$ 9,920.00	\$ 77.71	\$ 9,946.88	\$ 62.77	\$ 8,034.56
30	2501.503	18" RC PIPE SEWER DESIGN 3006 CLASS V	LIN FT	37	\$ 88.25	\$ 3,265.25	\$ 88.49	\$ 3,274.13	\$ 81.17	\$ 3,003.29
31	2503.602	CONNECT TO EXISTING STORM SEWER OR STRUCTURE	EACH	3	\$ 1,000.00	\$ 3,000.00	\$ 1,002.71	\$ 3,008.13	\$ 1,298.75	\$ 3,896.25
32	2506.502	CASTING ASSEMBLY	EACH	13	\$ 1,250.00	\$ 16,250.00	\$ 1,253.38	\$ 16,293.94	\$ 1,272.71	\$ 16,545.23
33	2506.502	INSTALL CASTING	EACH	3	\$ 970.00	\$ 2,910.00	\$ 972.63	\$ 2,917.89	\$ 162.34	\$ 487.02
34	2506.502	CONSTRUCT DRAINAGE STRUCTURE DESIGN H	EACH	5	\$ 1,340.00	\$ 6,700.00	\$ 1,343.63	\$ 6,718.15	\$ 2,007.65	\$ 10,038.25
35	2506.503	CONSTRUCT DRAINAGE STRUCTURE DESIGN 48-4020	LIN FT	26.5	\$ 770.00	\$ 20,405.00	\$ 772.08	\$ 20,460.12	\$ 708.90	\$ 18,785.85
36	2506.602	CONSTRUCT DRAINAGE STRUCTURE DESIGN PRECAST 30"	EACH	1	\$ 2,530.00	\$ 2,530.00	\$ 2,536.85	\$ 2,536.85	\$ 1,948.13	\$ 1,948.13
37	2511.507	RANDOM RIPRAP CLASS II (FIELD STONE)	CU YD	28	\$ 125.00	\$ 3,500.00	\$ 125.34	\$ 3,509.52	\$ 129.88	\$ 3,636.64
38	2531.503	CONCRETE CURB AND GUTTER DESIGN B418	LIN FT	1581	\$ 27.00	\$ 42,687.00	\$ 27.07	\$ 42,797.67	\$ 29.22	\$ 46,196.82
39	2531.503	CONCRETE CURB AND GUTTER DESIGN B618	LIN FT	260	\$ 27.00	\$ 7,020.00	\$ 27.07	\$ 7,038.20	\$ 29.22	\$ 7,597.20

**BID TABULATION  
CITY OF EAST BETHEL  
2025 STREET SURFACE IMPROVEMENT PROJECT**

<b>Base Bid (Continued)</b>					<i>Knife River Corporation North Central</i>		<i>OMG Midwest Inc. dba Minnesota Paving &amp; Materials</i>		<i>North Valley, Inc.</i>	
<b>ITEM NO.</b>	<b>Mn/DOT SPEC. NO.</b>	<b>ITEM DESCRIPTION</b>	<b>UNIT</b>	<b>ESTIMATED QUANTITY</b>	<b>UNIT PRICE</b>	<b>EXTENSION</b>	<b>UNIT PRICE</b>	<b>EXTENSION</b>	<b>UNIT PRICE</b>	<b>EXTENSION</b>
40	2531.503	CONCRETE CURB DESIGN B4	LIN FT	380	\$ 20.00	\$ 7,600.00	\$ 20.05	\$ 7,619.00	\$ 21.65	\$ 8,227.00
41	2531.504	6" CONCRETE DRIVEWAY PAVEMENT	SQ FT	205	\$ 10.00	\$ 2,050.00	\$ 10.03	\$ 2,056.15	\$ 10.82	\$ 2,218.10
42	2531.604	CONCRETE DRAINAGE FLUME	SQ FT	165	\$ 10.00	\$ 1,650.00	\$ 10.03	\$ 1,654.95	\$ 10.82	\$ 1,785.30
43	2563.601	TRAFFIC CONTROL	LUMP SUM	1	\$ 4,000.00	\$ 4,000.00	\$ 2,506.77	\$ 2,506.77	\$ 2,705.73	\$ 2,705.73
44	2573.501	STABILIZED CONSTRUCTION EXIT	LUMP SUM	1	\$ 1,200.00	\$ 1,200.00	\$ 1,203.25	\$ 1,203.25	\$ 541.14	\$ 541.14
45	2573.502	STORM DRAIN INLET PROTECTION	EACH	13	\$ 155.00	\$ 2,015.00	\$ 140.38	\$ 1,824.94	\$ 135.29	\$ 1,758.77
46	2573.503	SILT FENCE; TYPE MS	LIN FT	1558	\$ 2.10	\$ 3,271.80	\$ 4.29	\$ 6,683.82	\$ 3.52	\$ 5,484.16
47	2574.507	COMMON TOPSOIL BORROW	CU YD	200	\$ 35.00	\$ 7,000.00	\$ 35.09	\$ 7,018.00	\$ 51.95	\$ 10,390.00
48	2574.507	FILTER TOPSOIL BORROW	CU YD	22	\$ 55.00	\$ 1,210.00	\$ 55.15	\$ 1,213.30	\$ 81.17	\$ 1,785.74
49	2575.604	SITE RESTORATION	SQ YD	2643	\$ 1.55	\$ 4,096.65	\$ 1.90	\$ 5,021.70	\$ 2.71	\$ 7,162.53
50	2575.608	SEED WET DITCH	POUNDS	3	\$ 100.00	\$ 300.00	\$ 68.18	\$ 204.54	\$ 67.10	\$ 201.30
<b>Total Base Bid</b>					<b>\$ 912,861.50</b>		<b>\$ 940,461.92</b>		<b>\$ 953,701.35</b>	

<b>Alternate Bid</b>					<i>Knife River Corporation North Central</i>		<i>OMG Midwest Inc. dba Minnesota Paving &amp; Materials</i>		<i>North Valley, Inc.</i>	
<b>ITEM NO.</b>	<b>Mn/DOT SPEC. NO.</b>	<b>ITEM DESCRIPTION</b>	<b>UNIT</b>	<b>ESTIMATED QUANTITY</b>	<b>UNIT PRICE</b>	<b>EXTENSION</b>	<b>UNIT PRICE</b>	<b>EXTENSION</b>	<b>UNIT PRICE</b>	<b>EXTENSION</b>
51	2301.504	CONCRETE PAVEMENT 7.0"	SQ FT	285	\$ 10.00	\$ 2,850.00	\$ 10.03	\$ 2,858.55	\$ 10.82	\$ 3,083.70
52	2506.502	ADJUST FRAME AND RING CASTING	EACH	15	\$ 1,000.00	\$ 15,000.00	\$ 877.99	\$ 13,169.85	\$ 811.72	\$ 12,175.80
53	2531.503	CONCRETE CURB DESIGN B4	LIN FT	225	\$ 20.00	\$ 4,500.00	\$ 20.05	\$ 4,511.25	\$ 21.65	\$ 4,871.25
54	2573.502	STORM DRAIN INLET PROTECTION	EACH	15	\$ 155.00	\$ 2,325.00	\$ 140.38	\$ 2,105.70	\$ 135.29	\$ 2,029.35
55	2575.604	SITE RESTORATION	SQ YD	240	\$ 1.55	\$ 372.00	\$ 2.51	\$ 602.40	\$ 2.71	\$ 650.40
<b>Total Alternate Bid</b>					<b>\$ 25,047.00</b>		<b>\$ 23,247.75</b>		<b>\$ 22,810.50</b>	
<b>Total Base Bid</b>					<b>\$ 912,861.50</b>		<b>\$ 940,461.92</b>		<b>\$ 953,701.35</b>	
<b>Total Alternate Bid</b>					<b>\$ 25,047.00</b>		<b>\$ 23,247.75</b>		<b>\$ 22,810.50</b>	
<b>Base Bid + Alternate Bid</b>					<b>\$ 937,908.50</b>		<b>\$ 963,709.67</b>		<b>\$ 976,511.85</b>	

**BID TABULATION  
CITY OF EAST BETHEL  
2025 STREET SURFACE IMPROVEMENT PROJECT**

Bids were opened March 4, 2025 at 10:00 a.m.  
A total of seven (7) bids were received, as shown herein.

Base Bid					Bituminous Roadways Inc.		Omann Brothers Paving Inc.		Asphalt Surface Technologies Corp.	
ITEM NO.	Mn/DOT SPEC. NO.	ITEM DESCRIPTION	UNIT	ESTIMATED QUANTITY	UNIT PRICE	EXTENSION	UNIT PRICE	EXTENSION	UNIT PRICE	EXTENSION
1	2021.501	MOBILIZATION	LUMP SUM	1	\$ 50,000.00	\$ 50,000.00	\$ 19,500.00	\$ 19,500.00	\$ 44,000.00	\$ 44,000.00
2	2101.502	CLEARING	EACH	2	\$ 300.00	\$ 600.00	\$ 1,040.26	\$ 2,080.52	\$ 1,210.00	\$ 2,420.00
3	2101.502	GRUBBING	EACH	2	\$ 230.00	\$ 460.00	\$ 693.50	\$ 1,387.00	\$ 220.00	\$ 440.00
4	2104.502	REMOVE CATCH BASIN	EACH	2	\$ 1,150.00	\$ 2,300.00	\$ 405.51	\$ 811.02	\$ 1,540.00	\$ 3,080.00
5	2104.502	SALVAGE CASTING	EACH	3	\$ 300.00	\$ 900.00	\$ 84.69	\$ 254.07	\$ 165.00	\$ 495.00
6	2104.503	SAWING CONCRETE PAVEMENT - FULL DEPTH	LIN FT	59	\$ 4.00	\$ 236.00	\$ 3.58	\$ 211.22	\$ 4.00	\$ 236.00
7	2104.503	SAWING BITUMINOUS PAVEMENT - FULL DEPTH	LIN FT	1083	\$ 2.00	\$ 2,166.00	\$ 2.00	\$ 2,166.00	\$ 3.00	\$ 3,249.00
8	2104.503	REMOVE SEWER PIPE (STORM)	LIN FT	163	\$ 20.00	\$ 3,260.00	\$ 10.09	\$ 1,644.67	\$ 18.48	\$ 3,012.24
9	2104.504	REMOVE BITUMINOUS PAVEMENT	SQ YD	3676	\$ 5.50	\$ 20,218.00	\$ 7.10	\$ 26,099.60	\$ 2.75	\$ 10,109.00
10	2104.504	REMOVE CONCRETE PAVEMENT	SQ YD	56	\$ 9.00	\$ 504.00	\$ 7.77	\$ 435.12	\$ 13.20	\$ 739.20
11	2106.507	EXCAVATION - COMMON (P)	CU YD	853	\$ 15.00	\$ 12,795.00	\$ 22.00	\$ 18,766.00	\$ 26.73	\$ 22,800.69
12	2211.509	AGGREGATE BASE CLASS 5	TON	902	\$ 25.00	\$ 22,550.00	\$ 14.75	\$ 13,304.50	\$ 26.18	\$ 23,614.36
13	2211.604	SUBGRADE PREPARATION (P)	SQ YD	3191	\$ 5.00	\$ 15,955.00	\$ 0.75	\$ 2,393.25	\$ 1.76	\$ 5,616.16
14	2232.504	MILL BITUMINOUS SURFACE	SQ YD	25949	\$ 2.00	\$ 51,898.00	\$ 1.30	\$ 33,733.70	\$ 1.21	\$ 31,398.29
15	2232.604	MILL BITUMINOUS SURFACE - DRIVEWAYS	SQ YD	134	\$ 25.00	\$ 3,350.00	\$ 12.00	\$ 1,608.00	\$ 8.00	\$ 1,072.00
16	2301.504	CONCRETE PAVEMENT 7.0"	SQ FT	309	\$ 16.50	\$ 5,098.50	\$ 8.26	\$ 2,552.34	\$ 16.83	\$ 5,200.47
17	2357.506	BITUMINOUS MATERIAL FOR TACK COAT	GALLONS	5635	\$ 3.30	\$ 18,595.50	\$ 3.50	\$ 19,722.50	\$ 3.00	\$ 16,905.00
18	2360.504	TYPE SP 9.5 WEARING COURSE MIXTURE (2;B) 1.5" THICK	SQ YD	134	\$ 12.50	\$ 1,675.00	\$ 19.50	\$ 2,613.00	\$ 16.39	\$ 2,196.26
19	2360.504	TYPE SP 9.5 WEARING COURSE MIXTURE (2;B) 3.0" THICK	SQ YD	216	\$ 28.50	\$ 6,156.00	\$ 31.00	\$ 6,696.00	\$ 34.43	\$ 7,436.88
20	2360.509	TYPE SP 4.5 WEARING COURSE MIXTURE (2;B)	TON	50	\$ 210.00	\$ 10,500.00	\$ 109.00	\$ 5,450.00	\$ 116.05	\$ 5,802.50
21	2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (2;B)	TON	7108	\$ 70.00	\$ 497,560.00	\$ 83.50	\$ 593,518.00	\$ 78.02	\$ 554,566.16
22	2360.509	TYPE SP 12.5 NON WEARING COURSE MIXTURE (2;B)	TON	404	\$ 85.00	\$ 34,340.00	\$ 87.80	\$ 35,471.20	\$ 88.11	\$ 35,596.44
23	2501.502	18" CS PIPE APRON	EACH	1	\$ 500.00	\$ 500.00	\$ 260.20	\$ 260.20	\$ 627.00	\$ 627.00
24	2501.502	12" RC PIPE APRON	EACH	1	\$ 1,500.00	\$ 1,500.00	\$ 1,245.04	\$ 1,245.04	\$ 1,359.60	\$ 1,359.60
25	2501.502	15" RC PIPE APRON	EACH	3	\$ 1,500.00	\$ 4,500.00	\$ 1,329.91	\$ 3,989.73	\$ 1,434.40	\$ 4,303.20
26	2501.502	18" RC PIPE APRON	EACH	1	\$ 1,500.00	\$ 1,500.00	\$ 1,451.13	\$ 1,451.13	\$ 1,542.20	\$ 1,542.20
27	2501.503	18" CPEP PIPE SEWER - PERFORATED	LIN FT	21.4	\$ 60.00	\$ 1,284.00	\$ 75.15	\$ 1,608.21	\$ 145.20	\$ 3,107.28
28	2501.503	12" RC PIPE SEWER DESIGN 3006 CLASS V	LIN FT	114	\$ 90.00	\$ 10,260.00	\$ 61.19	\$ 6,975.66	\$ 58.08	\$ 6,621.12
29	2501.503	15" RC PIPE SEWER DESIGN 3006 CLASS V	LIN FT	128	\$ 90.00	\$ 11,520.00	\$ 69.43	\$ 8,887.04	\$ 65.45	\$ 8,377.60
30	2501.503	18" RC PIPE SEWER DESIGN 3006 CLASS V	LIN FT	37	\$ 90.00	\$ 3,330.00	\$ 75.49	\$ 2,793.13	\$ 70.84	\$ 2,621.08
31	2503.602	CONNECT TO EXISTING STORM SEWER OR STRUCTURE	EACH	3	\$ 1,650.00	\$ 4,950.00	\$ 655.47	\$ 1,966.41	\$ 1,309.00	\$ 3,927.00
32	2506.502	CASTING ASSEMBLY	EACH	13	\$ 1,350.00	\$ 17,550.00	\$ 1,245.92	\$ 16,196.96	\$ 1,540.00	\$ 20,020.00
33	2506.502	INSTALL CASTING	EACH	3	\$ 800.00	\$ 2,400.00	\$ 258.00	\$ 774.00	\$ 715.00	\$ 2,145.00
34	2506.502	CONSTRUCT DRAINAGE STRUCTURE DESIGN H	EACH	5	\$ 600.00	\$ 3,000.00	\$ 1,369.78	\$ 6,848.90	\$ 1,562.00	\$ 7,810.00
35	2506.503	CONSTRUCT DRAINAGE STRUCTURE DESIGN 48-4020	LIN FT	26.5	\$ 690.00	\$ 18,285.00	\$ 1,311.00	\$ 34,741.50	\$ 850.96	\$ 22,550.44
36	2506.602	CONSTRUCT DRAINAGE STRUCTURE DESIGN PRECAST 30"	EACH	1	\$ 800.00	\$ 800.00	\$ 1,556.71	\$ 1,556.71	\$ 1,608.97	\$ 1,608.97
37	2511.507	RANDOM RIPRAP CLASS II (FIELD STONE)	CU YD	28	\$ 200.00	\$ 5,600.00	\$ 134.16	\$ 3,756.48	\$ 135.52	\$ 3,794.56
38	2531.503	CONCRETE CURB AND GUTTER DESIGN B418	LIN FT	1581	\$ 30.00	\$ 47,430.00	\$ 23.67	\$ 37,422.27	\$ 30.80	\$ 48,694.80
39	2531.503	CONCRETE CURB AND GUTTER DESIGN B618	LIN FT	260	\$ 30.00	\$ 7,800.00	\$ 23.67	\$ 6,154.20	\$ 33.00	\$ 8,580.00

**BID TABULATION  
CITY OF EAST BETHEL  
2025 STREET SURFACE IMPROVEMENT PROJECT**

Base Bid (Continued)					<i>Bituminous Roadways Inc.</i>		<i>Omann Brothers Paving Inc.</i>		<i>Asphalt Surface Technologies Corp.</i>	
ITEM NO.	Mn/DOT SPEC. NO.	ITEM DESCRIPTION	UNIT	ESTIMATED QUANTITY	UNIT PRICE	EXTENSION	UNIT PRICE	EXTENSION	UNIT PRICE	EXTENSION
40	2531.503	CONCRETE CURB DESIGN B4	LIN FT	380	\$ 25.00	\$ 9,500.00	\$ 22.64	\$ 8,603.20	\$ 44.55	\$ 16,929.00
41	2531.504	6" CONCRETE DRIVEWAY PAVEMENT	SQ FT	205	\$ 11.00	\$ 2,255.00	\$ 7.75	\$ 1,588.75	\$ 10.34	\$ 2,119.70
42	2531.604	CONCRETE DRAINAGE FLUME	SQ FT	165	\$ 11.00	\$ 1,815.00	\$ 10.82	\$ 1,785.30	\$ 14.30	\$ 2,359.50
43	2563.601	TRAFFIC CONTROL	LUMP SUM	1	\$ 18,966.00	\$ 18,966.00	\$ 3,000.00	\$ 3,000.00	\$ 2,970.00	\$ 2,970.00
44	2573.501	STABILIZED CONSTRUCTION EXIT	LUMP SUM	1	\$ 500.00	\$ 500.00	\$ 1,000.00	\$ 1,000.00	\$ 1,320.00	\$ 1,320.00
45	2573.502	STORM DRAIN INLET PROTECTION	EACH	13	\$ 100.00	\$ 1,300.00	\$ 144.28	\$ 1,875.64	\$ 165.00	\$ 2,145.00
46	2573.503	SILT FENCE; TYPE MS	LIN FT	1558	\$ 3.50	\$ 5,453.00	\$ 3.10	\$ 4,829.80	\$ 3.30	\$ 5,141.40
47	2574.507	COMMON TOPSOIL BORROW	CU YD	200	\$ 45.00	\$ 9,000.00	\$ 35.00	\$ 7,000.00	\$ 43.45	\$ 8,690.00
48	2574.507	FILTER TOPSOIL BORROW	CU YD	22	\$ 60.00	\$ 1,320.00	\$ 45.00	\$ 990.00	\$ 100.00	\$ 2,200.00
49	2575.604	SITE RESTORATION	SQ YD	2643	\$ 1.50	\$ 3,964.50	\$ 4.53	\$ 11,972.79	\$ 2.09	\$ 5,523.87
50	2575.608	SEED WET DITCH	POUNDS	3	\$ 100.00	\$ 300.00	\$ 70.18	\$ 210.54	\$ 74.80	\$ 224.40
<b>Total Base Bid</b>					<b>\$ 957,699.50</b>		<b>\$ 969,901.30</b>		<b>\$ 977,298.37</b>	

Alternate Bid					<i>Bituminous Roadways Inc.</i>		<i>Omann Brothers Paving Inc.</i>		<i>Asphalt Surface Technologies Corp.</i>	
ITEM NO.	Mn/DOT SPEC. NO.	ITEM DESCRIPTION	UNIT	ESTIMATED QUANTITY	UNIT PRICE	EXTENSION	UNIT PRICE	EXTENSION	UNIT PRICE	EXTENSION
51	2301.504	CONCRETE PAVEMENT 7.0"	SQ FT	285	\$ 14.00	\$ 3,990.00	\$ 8.75	\$ 2,493.75	\$ 13.20	\$ 3,762.00
52	2506.502	ADJUST FRAME AND RING CASTING	EACH	15	\$ 1,500.00	\$ 22,500.00	\$ 703.20	\$ 10,548.00	\$ 825.00	\$ 12,375.00
53	2531.503	CONCRETE CURB DESIGN B4	LIN FT	225	\$ 22.00	\$ 4,950.00	\$ 22.64	\$ 5,094.00	\$ 44.55	\$ 10,023.75
54	2573.502	STORM DRAIN INLET PROTECTION	EACH	15	\$ 100.00	\$ 1,500.00	\$ 144.48	\$ 2,167.20	\$ 165.00	\$ 2,475.00
55	2575.604	SITE RESTORATION	SQ YD	240	\$ 1.50	\$ 360.00	\$ 10.00	\$ 2,400.00	\$ 2.75	\$ 660.00
<b>Total Alternate Bid</b>					<b>\$ 33,300.00</b>		<b>\$ 22,702.95</b>		<b>\$ 29,295.75</b>	
<b>Total Base Bid</b>					<b>\$ 957,699.50</b>		<b>\$ 969,901.30</b>		<b>\$ 977,298.37</b>	
<b>Total Alternate Bid</b>					<b>\$ 33,300.00</b>		<b>\$ 22,702.95</b>		<b>\$ 29,295.75</b>	
<b>Base Bid + Alternate Bid</b>					<b>\$ 990,999.50</b>		<b>\$ 992,604.25</b>		<b>\$ 1,006,594.12</b>	

**BID TABULATION  
CITY OF EAST BETHEL  
2025 STREET SURFACE IMPROVEMENT PROJECT**

Bids were opened March 4, 2025 at 10:00 a.m.  
A total of seven (7) bids were received, as shown herein.

Base Bid					Park Construction Company	
ITEM NO.	Mn/DOT SPEC. NO.	ITEM DESCRIPTION	UNIT	ESTIMATED QUANTITY	UNIT PRICE	EXTENSION
1	2021.501	MOBILIZATION	LUMP SUM	1	\$ 92,100.00	\$ 92,100.00
2	2101.502	CLEARING	EACH	2	\$ 1,120.00	\$ 2,240.00
3	2101.502	GRUBBING	EACH	2	\$ 204.00	\$ 408.00
4	2104.502	REMOVE CATCH BASIN	EACH	2	\$ 688.00	\$ 1,376.00
5	2104.502	SALVAGE CASTING	EACH	3	\$ 240.00	\$ 720.00
6	2104.503	SAWING CONCRETE PAVEMENT - FULL DEPTH	LIN FT	59	\$ 9.65	\$ 569.35
7	2104.503	SAWING BITUMINOUS PAVEMENT - FULL DEPTH	LIN FT	1083	\$ 2.90	\$ 3,140.70
8	2104.503	REMOVE SEWER PIPE (STORM)	LIN FT	163	\$ 21.50	\$ 3,504.50
9	2104.504	REMOVE BITUMINOUS PAVEMENT	SQ YD	3676	\$ 5.15	\$ 18,931.40
10	2104.504	REMOVE CONCRETE PAVEMENT	SQ YD	56	\$ 26.90	\$ 1,506.40
11	2106.507	EXCAVATION - COMMON (P)	CU YD	853	\$ 51.80	\$ 44,185.40
12	2211.509	AGGREGATE BASE CLASS 5	TON	902	\$ 38.00	\$ 34,276.00
13	2211.604	SUBGRADE PREPARATION (P)	SQ YD	3191	\$ 4.75	\$ 15,157.25
14	2232.504	MILL BITUMINOUS SURFACE	SQ YD	25949	\$ 0.81	\$ 21,018.69
15	2232.604	MILL BITUMINOUS SURFACE - DRIVEWAYS	SQ YD	134	\$ 6.35	\$ 850.90
16	2301.504	CONCRETE PAVEMENT 7.0"	SQ FT	309	\$ 14.70	\$ 4,542.30
17	2357.506	BITUMINOUS MATERIAL FOR TACK COAT	GALLONS	5635	\$ 3.05	\$ 17,186.75
18	2360.504	TYPE SP 9.5 WEARING COURSE MIXTURE (2;B) 1.5" THICK	SQ YD	134	\$ 29.80	\$ 3,993.20
19	2360.504	TYPE SP 9.5 WEARING COURSE MIXTURE (2;B) 3.0" THICK	SQ YD	216	\$ 42.80	\$ 9,244.80
20	2360.509	TYPE SP 4.5 WEARING COURSE MIXTURE (2;B)	TON	50	\$ 244.00	\$ 12,200.00
21	2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (2;B)	TON	7108	\$ 79.30	\$ 563,664.40
22	2360.509	TYPE SP 12.5 NON WEARING COURSE MIXTURE (2;B)	TON	404	\$ 96.00	\$ 38,784.00
23	2501.502	18" CS PIPE APRON	EACH	1	\$ 874.00	\$ 874.00
24	2501.502	12" RC PIPE APRON	EACH	1	\$ 1,410.00	\$ 1,410.00
25	2501.502	15" RC PIPE APRON	EACH	3	\$ 1,480.00	\$ 4,440.00
26	2501.502	18" RC PIPE APRON	EACH	1	\$ 1,580.00	\$ 1,580.00
27	2501.503	18" CPEP PIPE SEWER - PERFORATED	LIN FT	21.4	\$ 164.00	\$ 3,509.60
28	2501.503	12" RC PIPE SEWER DESIGN 3006 CLASS V	LIN FT	114	\$ 77.10	\$ 8,789.40
29	2501.503	15" RC PIPE SEWER DESIGN 3006 CLASS V	LIN FT	128	\$ 79.10	\$ 10,124.80
30	2501.503	18" RC PIPE SEWER DESIGN 3006 CLASS V	LIN FT	37	\$ 91.00	\$ 3,367.00
31	2503.602	CONNECT TO EXISTING STORM SEWER OR STRUCTURE	EACH	3	\$ 1,140.00	\$ 3,420.00
32	2506.502	CASTING ASSEMBLY	EACH	13	\$ 1,020.00	\$ 13,260.00
33	2506.502	INSTALL CASTING	EACH	3	\$ 161.00	\$ 483.00
34	2506.502	CONSTRUCT DRAINAGE STRUCTURE DESIGN H	EACH	5	\$ 1,870.00	\$ 9,350.00
35	2506.503	CONSTRUCT DRAINAGE STRUCTURE DESIGN 48-4020	LIN FT	26.5	\$ 838.00	\$ 22,207.00
36	2506.602	CONSTRUCT DRAINAGE STRUCTURE DESIGN PRECAST 30"	EACH	1	\$ 1,910.00	\$ 1,910.00
37	2511.507	RANDOM RIPRAP CLASS II (FIELD STONE)	CU YD	28	\$ 210.00	\$ 5,880.00
38	2531.503	CONCRETE CURB AND GUTTER DESIGN B418	LIN FT	1581	\$ 33.40	\$ 52,805.40
39	2531.503	CONCRETE CURB AND GUTTER DESIGN B618	LIN FT	260	\$ 36.20	\$ 9,412.00

**BID TABULATION  
CITY OF EAST BETHEL  
2025 STREET SURFACE IMPROVEMENT PROJECT**

<b>Base Bid (Continued)</b>					<i>Park Construction Company</i>	
<b>ITEM NO.</b>	<b>Mn/DOT SPEC. NO.</b>	<b>ITEM DESCRIPTION</b>	<b>UNIT</b>	<b>ESTIMATED QUANTITY</b>	<b>UNIT PRICE</b>	<b>EXTENSION</b>
40	2531.503	CONCRETE CURB DESIGN B4	LIN FT	380	\$ 33.30	\$ 12,654.00
41	2531.504	6" CONCRETE DRIVEWAY PAVEMENT	SQ FT	205	\$ 13.30	\$ 2,726.50
42	2531.604	CONCRETE DRAINAGE FLUME	SQ FT	165	\$ 14.40	\$ 2,376.00
43	2563.601	TRAFFIC CONTROL	LUMP SUM	1	\$ 2,700.00	\$ 2,700.00
44	2573.501	STABILIZED CONSTRUCTION EXIT	LUMP SUM	1	\$ 0.01	\$ 0.01
45	2573.502	STORM DRAIN INLET PROTECTION	EACH	13	\$ 200.00	\$ 2,600.00
46	2573.503	SILT FENCE; TYPE MS	LIN FT	1558	\$ 5.30	\$ 8,257.40
47	2574.507	COMMON TOPSOIL BORROW	CU YD	200	\$ 78.60	\$ 15,720.00
48	2574.507	FILTER TOPSOIL BORROW	CU YD	22	\$ 107.00	\$ 2,354.00
49	2575.604	SITE RESTORATION	SQ YD	2643	\$ 1.95	\$ 5,153.85
50	2575.608	SEED WET DITCH	POUNDS	3	\$ 69.40	\$ 208.20
<b>Total Base Bid</b>					<b>\$ 1,097,172.20</b>	

<b>Alternate Bid</b>					<i>Park Construction Company</i>	
<b>ITEM NO.</b>	<b>Mn/DOT SPEC. NO.</b>	<b>ITEM DESCRIPTION</b>	<b>UNIT</b>	<b>ESTIMATED QUANTITY</b>	<b>UNIT PRICE</b>	<b>EXTENSION</b>
51	2301.504	CONCRETE PAVEMENT 7.0"	SQ FT	285	\$ 14.80	\$ 4,218.00
52	2506.502	ADJUST FRAME AND RING CASTING	EACH	15	\$ 454.00	\$ 6,810.00
53	2531.503	CONCRETE CURB DESIGN B4	LIN FT	225	\$ 33.30	\$ 7,492.50
54	2573.502	STORM DRAIN INLET PROTECTION	EACH	15	\$ 200.00	\$ 3,000.00
55	2575.604	SITE RESTORATION	SQ YD	240	\$ 2.55	\$ 612.00
<b>Total Alternate Bid</b>					<b>\$ 22,132.50</b>	
<b>Total Base Bid</b>					<b>\$ 1,097,172.20</b>	
<b>Total Alternate Bid</b>					<b>\$ 22,132.50</b>	
<b>Base Bid + Alternate Bid</b>					<b>\$ 1,119,304.70</b>	

**CITY OF EAST BETHEL  
EAST BETHEL, MINNESOTA**

**RESOLUTION NO. 2025-11**

**RESOLUTION ACCEPTING BIDS FOR THE  
2025 STREET SURFACE IMPROVEMENT PROJECT**

**WHEREAS**, pursuant to the advertisement for bids for the 2025 Street Surface Improvement Project, bids were received electronically, reviewed, and tabulated according to law, and the following bids were received complying with the advertisement:

	<b>Base Bid</b>	<b>Alternate Bid</b>	<b>Base + Alternate</b>
Knife River Corporation	\$912,861.50	\$25,047.00	\$937,908.50
OMG Midwest Inc.	\$940,461.92	\$23,247.75	\$963,709.67
North Valley, Inc.	\$953,701.35	\$22,810.50	\$976,511.85
Bituminous Roadways Inc.	\$957,699.50	\$33,300.00	\$990,999.50
Omann Brothers Paving Inc.	\$969,901.30	\$22,702.95	\$992,604.25
Asphalt Surface Technologies Corp.	\$977,298.37	\$29,295.75	\$1,006,594.12
Park Construction Company	\$1,097,172.20	\$22,132.50	\$1,119,304.70

**AND WHEREAS**, it appears that Knife River Corporation – North Central of Sauk Rapids, Minnesota is the lowest responsible bidder for the Base Bid alone and the Base Bid plus the Alternate Bid;

**AND WHEREAS**, the City accepts the Base Bid and the Alternate Bid from Knife River Corporation – North Central in the amount of \$937,908.50;

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF EAST BETHEL, MINNESOTA THAT:**

1. The Mayor and City Administrator are hereby authorized and directed to enter into a contract with Knife River Corporation – North Central of Sauk Rapids, Minnesota in the name of the City of East Bethel for the 2025 Street Surface Improvement Project, according to the plans and specifications therefore approved by the City Council and on file in the office of the City Clerk.

2. The City Engineer is hereby authorized and directed to return forthwith to all bidders the deposits made with their bids, except that the deposits of the successful bidder and the next lowest bidder shall be retained until a contract has been signed.

Adopted this 10<sup>th</sup> day of March, 2025 by the City Council of the City of East Bethel.

CITY OF EAST BETHEL

\_\_\_\_\_  
Ardie Anderson, Mayor

ATTEST:

\_\_\_\_\_  
Matt Look, City Administrator

**CITY OF EAST BETHEL  
EAST BETHEL, MINNESOTA**

**RESOLUTION 2025-12**

**APPROVING A TEMPORARY LIQUOR SALES LICENSE  
FOR WAT LAO XAYABHOUMMARAM AT 4904 217<sup>TH</sup> AVE NE**

**WHEREAS**, Wat Lao Xayabhoummaram has made an application for liquor sales at a festival event to be held on June 20-22, 2025 at their temple located at 4904 217<sup>th</sup> Avenue NE, East Bethel, MN 55011; and

**WHEREAS**, section 6-64 of the East Bethel Code of Ordinances restricts the purchase and consumption of 3.2 malt liquor or intoxicating liquor in any place of public gathering in the City, but allows the city council to waive this restriction when it finds that to do so appears in the interest of the public.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF EAST BETHEL, MINNESOTA** that the restriction of liquor sales shall be waived for Wat Lao Xayabhoummaram for the festival on June 20-22, 2025 at their temple located at 4904 217<sup>th</sup> Avenue NE, East Bethel, MN 55011.

Adopted this 10<sup>th</sup> day of March, 2025 by the City Council of the City of East Bethel.

CITY OF EAST BETHEL

---

Arden Anderson, Mayor

ATTEST:

---

Matt Look, City Administrator

**City of East Bethel  
City Council Meeting  
Agenda Item Information**



**Date:** March 10, 2025

**Agenda Item Number:** 7.A.1.

**Request:** An Interim Use Permit (IUP) for sheep grazing on a property located at 20845 East Bethel Boulevard NE (city file 25-001).

**Review Deadline:** March 18, 2025

**Background/Context**

The City received an application from Petra and Jon Fager for an IUP to allow grazing for sheep on a property owned by James Germain and located at 20845 East Bethel Boulevard NE. An IUP is required for grazing of animals in East Bethel. The applicant intends to use 6.6 acres of the land for grazing of sheep.

The property is guided Rural Residential and zoned RR- Rural Residential. The property to the north, south, east, and west are all guided and zoned the same.

**Planning Commission Review**

The Planning Commission reviewed the item and held a public hearing at the February 25, 2025, meeting. The applicant was present, and no other members of the public spoke at the meeting about this item. The Planning Commission voted 4-0 to recommend granting the IUP request for grazing.

**Analysis**

The City's discretion in approving or denying an interim use permit is limited to whether or not the proposed request meets the standards outlined in the City Code. If it meets these standards, the City must approve the interim use permit.

The applicant intends to graze sheep on the property and will contain the sheep in one-acre areas by using electric fencing that will be moved around the site to contain the grazing areas.

The City Council should evaluate the request for compliance with the general IUP ordinance standards in Section 4, Subd. 9. (D) of the Zoning Ordinance as noted below:

*1) The planning commission shall consider if the proposed use is consistent with the general purpose and intent of this chapter and the comprehensive plan. Its judgment shall be based upon, but not limited to, the following:*

*a) The impact of the proposed use on the health, safety, and general welfare of the occupants of the surrounding lands;*

The IUP will not impact the health, safety and welfare of the occupants on surrounding land. The sheep will be limited to one acre section at a time for a total of 6.6 acres on a larger lot. They will be in open areas that are buffered with woods and other natural features.

*b) Existing and anticipated traffic conditions, including parking facilities on adjacent streets and lands;*

No traffic impacts are expected from the grazing operation.

*c) The effect of the proposed use on public utilities;*

The grazing activity will have no impact on public utilities.

*d) The effect of the proposed use on property values;*

The grazing operation will have no anticipated impact on property values.

*e) The effect of the proposed use on the comprehensive plan;*

None, as this property is guided and zoned Rural Residential. The use, is compatible with the land use anticipated in this district.

*f) The ability of the proposed use to meet the standards of this chapter;*

The proposal meets the grazing standards in the Section 10, subd. 151 of the Zoning Ordinance as noted below.

*g) The results of a market feasibility study, if requested by the city, when the purpose for which the conditional use is being requested relies on a business market for its success;*

N/A

*h) The effects of the proposed use on groundwater, surface water, and air quality;*

The impact of this small-scale grazing operation similar to the existing agriculture uses existing today and no change in the effect on ground water, surface water and air quality.

*i) The proposed use is allowed with a CUP or IUP in the zoning district in which it is proposed; and*

This is a use allowed by IUP in the RR district.

*j) The effect of the proposed use on natural resources.*

The sheep will be allowed to graze in smaller section of the property at one time to prevent over grazing of one area or preference for one area.

Additionally, IUP for the grazing of animals is subject to the standards found in Chapter 5 Section 10-151. These include limits on the number of animals per acre of pastureland, setbacks of grazing areas, any related shelters and waste storage. The information provided by the applicant meets these standards for a grazing IUP for up to 13 sheep (6.6 acres of pastureland / 0.5 animal units per acre for sheep = 13 sheep allowed).

The applicant wishes to have up to 13 sheep on 6.6 acres of the parcel and have indicated they will use an electric fence rotating the pasture land. While barbed wire and electric fences are generally prohibited in East Bethel, they are allowed with an IUP for valid animal grazing purposes such as this application.

The site plan shows the part of the parcel where the grazing will take place. The applicant has shown they will meet the following setbacks found in Section 10-152:

Natural/Manmade Features	Setbacks
Property Line	Fenced Pasture Land: 5 feet Shelters: 50 feet Manure Stockpile: 50 feet
Existing Well	Fenced Pasture Land: 50 feet Shelters: 50 feet Manure Stockpile: 100 feet
Residential Structure	75 feet

The City Council can establish termination clauses for IUPs. The code specifically notes that the IUP will terminate upon transfer of title of the parcel. Previously, the applicant was granted an IUP for grazing on a different parcel. The City Council added a condition that they would need to come back after one-year to renew the IUP for five-years to ensure compliance. Staff feels this time limit for renewal is unnecessary as any violation of the conditions below would revoke the IUP, and a one-year check for renewal is not needed.

**Summary**

The application to allow an IUP for grazing of sheep meets the standards in the zoning and animal sections of the City Code. Staff finds that the request meets the intent of the City Code and Comprehensive Plan. The IUP, if approved, would allow the applicant to have up to 13 sheep on the 6.6 acres of dedicated pastureland.

**City Council Recommendation**

Move to adopt Resolution 2025-13 approving the request for an IUP for grazing of 13 sheep/goats on the property located at 20845 East Bethel Boulevard NE, as recommended by the Planning Commission.

**Attachments:**

1. Resolution approving the IUP
2. Location Map
3. Aerial of Property
4. Site Plan
5. Applicant Narrative

**City Council Action:**

Motion by: \_\_\_\_\_

Second by: \_\_\_\_\_

Vote Yes: \_\_\_\_\_

Vote No: \_\_\_\_\_

**CITY OF EAST BETHEL  
COUNTY OF ANOKA  
STATE OF MINNESOTA**

**RESOLUTION NO. 2025-13**

A RESOLUTION **GRANTING** AN INTERIM USE PERMIT FOR THE KEEPING OF FARM ANIMALS ON PROPERTY LOCATED AT 20845 EAST BETHEL BOULEVARD NE, EAST BETHEL, MINNESOTA (PIN: 23-33-23-11-0004).

**WHEREAS**, the applicants, Petra and Jon Fager with permission from the James Germain, property owner of 20845 East Bethel Boulevard NE, requested an interim use permit for keeping of Farm Animals, and;

**WHEREAS**, the Planning Commission held a public hearing on February 25, 2025; and,

**WHEREAS**, the Planning Commission finds:

1. This property is zoned (RR) Rural Residential and the keeping of farm animals is allowed as an Interim Use within this district.
2. The application complies with the general Interim Use Permit (IUP) standards in Section 4, Subd. 9. (D) of the Zoning Ordinance.
3. The application complies with the grazing of animals Interim Use Permit (IUP) standards in Section 10-151 of the Animal Ordinance.

**WHEREAS**, the Planning and Zoning Commission recommends to the City Council approval of the interim use permit.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of East Bethel hereby approves the interim use permit to allow the keeping of 13 sheep/goats on property located at 20845 East Bethel Boulevard NE with the following conditions:

1. An Interim Use Permit Agreement must be signed and executed by the applicant and the City.
2. Applicants must comply with City Code Chapter 10. Article V. Farm Animals.
3. Permit shall expire when:
  - a. The property is sold, or
  - b. The applicant is found to be out of compliance with the IUP conditions.
4. Property owner shall have 30 days to remove the approved domestic farm animals upon expiration of the IUP.
5. The IUP will expire if no grazing activities take place within three years of approval.
6. Property may be inspected and evaluated annually by city staff. Additionally, city staff shall be allowed access for an inspection upon a 12-hrs notice.
7. One extension of up to 75 days may be granted for site to become complaint if the

- conditions are found violated and an approved action plan to come into compliance has been filed.
8. Applicant agrees to the Running at Large Ordinance in Chapter 10. Article V. Section 10-155.

Adopted this 10<sup>th</sup> day of March, 2025 by the City Council of the City of East Bethel.

CITY OF EAST BETHEL

ATTEST

---

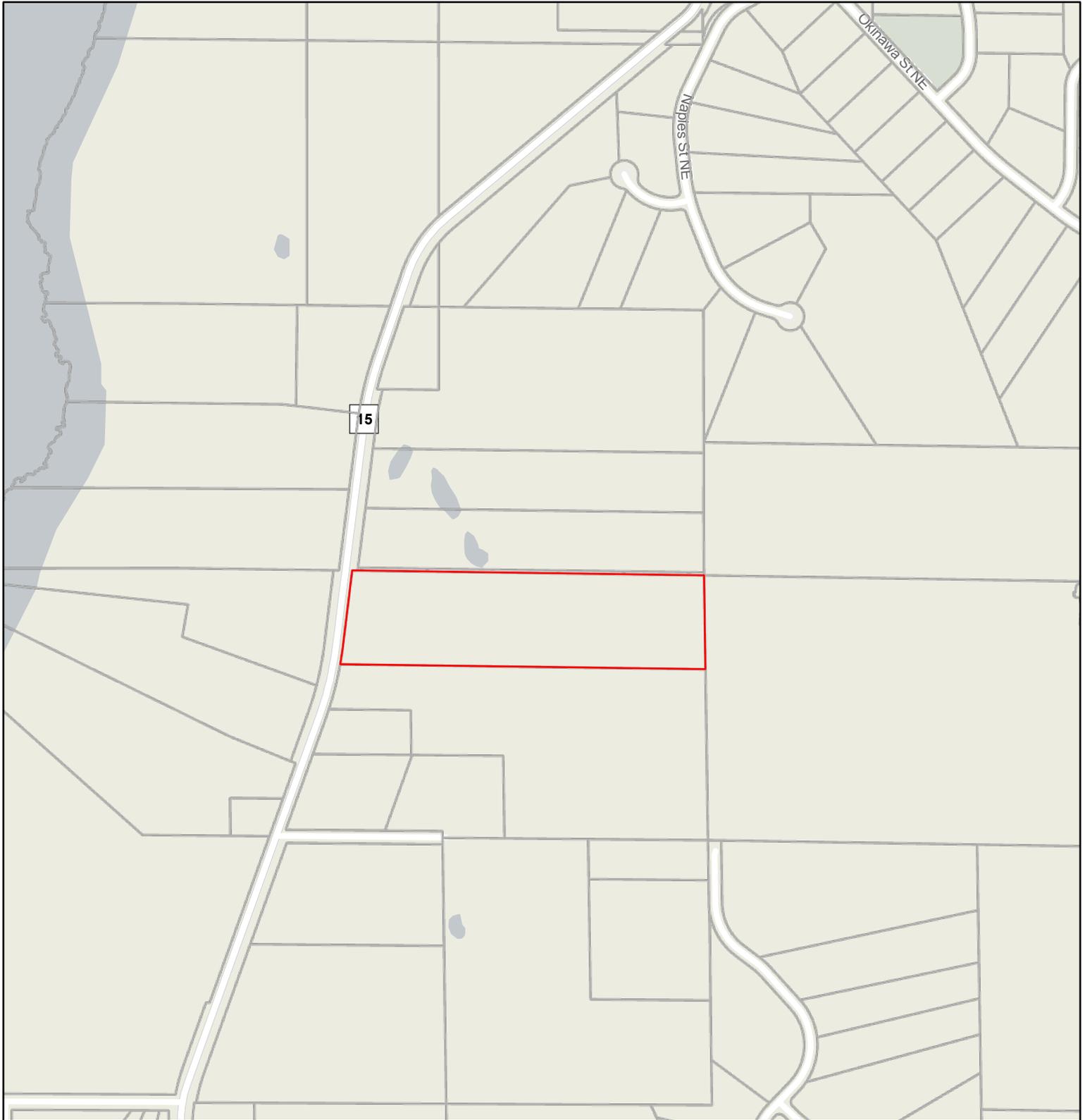
Ardie Anderson, Mayor

---

Matt Look, City Administrator

# Grazing IUP

Item 7.0 A.1, Attachment



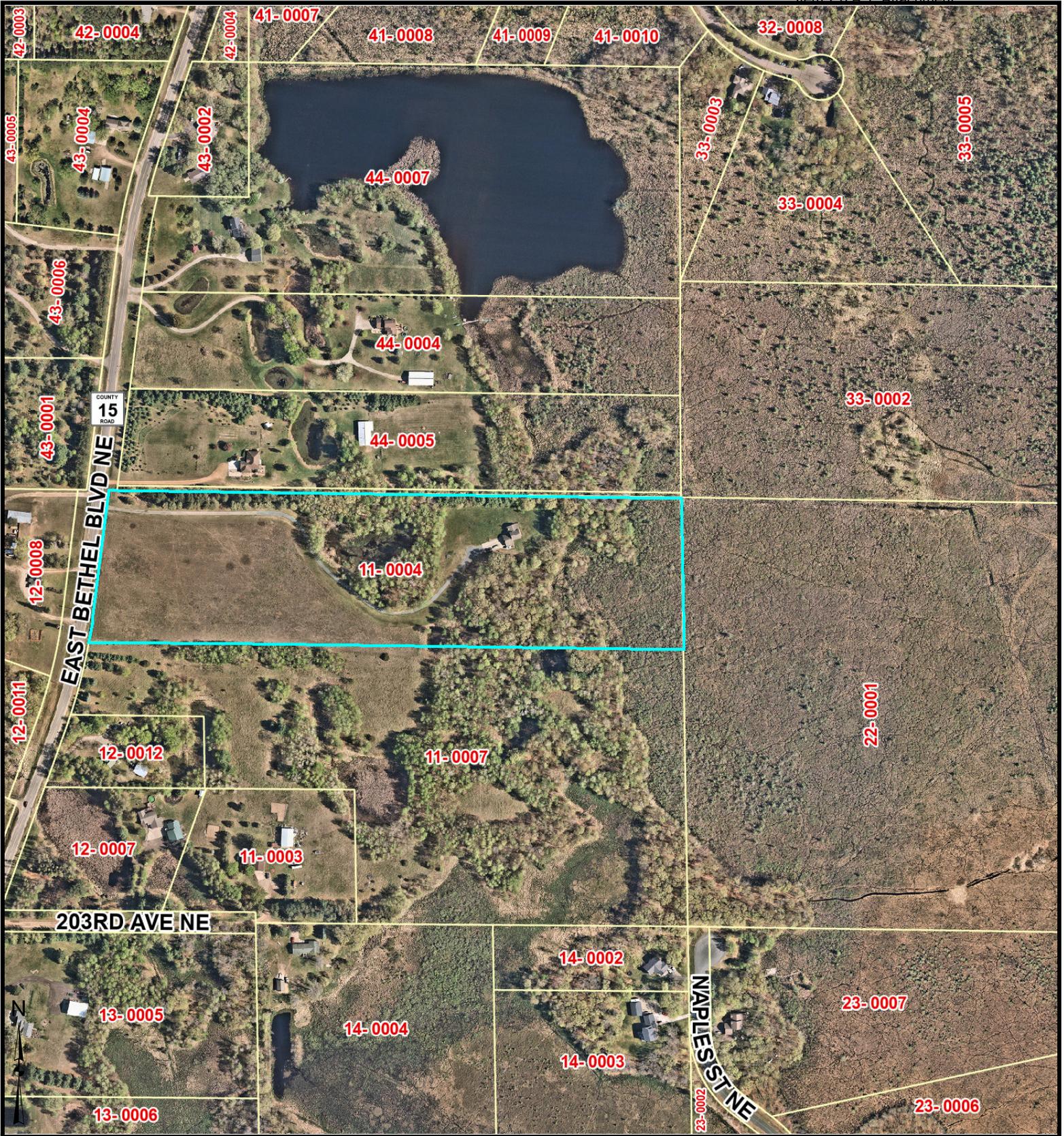
-  Parcels
-  City Mask

1 inch equals 958 feet



# Anoka County Parcel Viewer

Item 7.0 A.1 Attachment



**Parcel Information:** Approx. Acres: 19.34486686  
 22-33-23-11-0004 Commissioner: JULIE BRAASTAD  
 20485 EAST BETHEL BLVD NE  
 EAST BETHEL  
 MN 55011  
 Plat:

**Owner Information:**  
 GERMAIN JAMES R & KELLY J  
 20485 E BETHEL BLVD NE  
 EAST BETHEL  
 MN  
 55011



Show search results for 22-33-...

(1 of 4)

**Parcel Layer: 20485 EAST BETHEL BLVD NE**

[Tax Link](#)

Property ID: 22-33-23-11-0004  
 Address: 20485 EAST BETHEL BLVD NE  
 City: EAST BETHEL  
 State: MN  
 Zip Code: 55011  
 Plat Name:  
 Estimated Acres: 19.34  
 Commissioner: JULIE BRAASTAD  
 Watershed District: SUNRISE RIVER WMO  
 School District: 15  
 Elementary Attendance Area: CEDAR CREEK ELEMENTARY  
 Middle School Attendance Area: ST FRANCIS MIDDLE SCHOOL  
 High School Attendance Area: ST. FRANCIS HIGH SCHOOL  
 Owner: GERMAIN JAMES R & KELLY J  
 Owner Address: 20485 E BETHEL BLVD NE  
 Owner City: EAST BETHEL  
[Zoom to](#)

**Measurement**

| Acres

Measurement Result

**6.77 Acres**

Press CTRL to enable snapping

# IUP Farm Animals



Applicant: PETRA & JON FAGER

Address of Farm Animal Location: 20485 EAST BETHEL BLVD NE

1. Nondomestic animals are considered to be those animals or species of indigenous naturally wild or exotic and not naturally trained or domesticated animals. Do you plan on keeping any nondomestic animals on your property? No, domestic sheep.

2. To determine if their property is within a platted subdivision, please provide either your Property Identification (PID) number or a copy of your Anoka County Property Tax Statement. You can find your PID by using our Geographic Information System (GIS) available here: [www.ci.east-bethel.mn.us/Index.aspx?NID=278](http://www.ci.east-bethel.mn.us/Index.aspx?NID=278)

3. How many acres do you have? 6.6 acres is what is in question

4. List how the species and the number of each type of farm animal will you be keeping:

Icelandic Sheep - 12 or whatever maximum allowed calculates to be.

5. An Interim Use Permit (IUP) is a land use permit that runs with the land and terminates upon the expressed termination date or upon the sale or vacating of the property. If you sell your property, move, or do not renew your IUP before the expressed termination date that the IUP by its terms shall become null and void?

Yes, understood.

6. How much pasture land is fenced in?

A minimum of 1 acre at a time will be fenced. Will use movable electric net fencing.

7. For the below questions (a-g) you will need to determine where your property lines are. This can be accomplished by submitting a Certificate of Land Survey or by going onto our GIS and printing a map of your property that displays the aerial photos. Indicate each of the following on your Survey/Aerial photo and include the measurements/distances. Aerial photos can be found here: [www.ci.east-bethel.mn.us/Index.aspx?NID=278](http://www.ci.east-bethel.mn.us/Index.aspx?NID=278)

a) Is the fenced pasture land greater than 5 feet from the property lines? Yes

b) Are the shelters greater than 50 feet from the property lines? Yes

c) Are the shelters greater than 50 feet from any existing wells? Yes

d) Are the manure stockpiles greater than 50 feet from the property lines?

Not using a manure stockpile approach

e) Are the manure stockpiles greater than 100 feet from any existing wells? ||

f) Are the shelters, pasture land, and manure stockpiles setback greater than 70 feet from the Ordinary High Water Level of streams, rivers, ponds, storm water retention ponds, and/or lakes? Yes

g) Are the shelters, pasture land, and manure stockpiles setback greater than 75 feet from the residential structure? Yes

2241 221<sup>st</sup> Ave NE | East Bethel, MN 55011

Phone: (763) 367-7844 | Fax: (763) 434-9578

[www.ci.east-bethel.mn.us](http://www.ci.east-bethel.mn.us)

- 8. I agree that manure must be handled or treated in such a manner as to not create a public and/or private nuisance, such as creating a noxious odor beyond a practicable extent, burning manure, leaving manure in the public right-of-way, stockpiling manure in view of neighboring properties, or in any other manner reasonably deemed a nuisance by the Code Enforcement Officer. *Understood and agreed*
- 9. I agree that paddocks or similar enclosures shall be maintained in a manner that minimizes concentrations of breeding insects and rodents. *Understood and agreed*
- 10. I agree that manure shall not be left on any public way. *Understood and agreed*
- 11. Please read the technical guidelines of manure stockpiling at this link: [www.pca.state.mn.us/sites/default/files/wq-f8-06.pdf](http://www.pca.state.mn.us/sites/default/files/wq-f8-06.pdf) According to these guidelines, will you be stockpiling manure? *No*
- 12. I agree that the room or area of an animal shelter where feed is stored shall be reasonably secure from rodents, pests, and the animals kept in the shelter, to the extent practicable. *Understood and agreed.*
- 13. I agree that no animal regulated under this article shall be treated cruelly or inhumanely by any person or in violation of any provision of Minn. Stats. ch. 343, as amended and/or renumbered from time to time. *Understood and agreed.*
- 14. I agree that all animals shall be maintained to standards of health specific to the breed. *Understood and agreed*
- 15. I agree that all animals shall have access to potable water at all times. *Understood and agreed.*
- 16. I agree that veterinary records for each animal shall be disclosed upon the periodic request of the city's designated inspector. *Understood and agreed.*
- 17. I agree that animal shelters shall be kept in a sanitary manner, free of the odor of ammonia, to the extent practicable. *Understood and agreed.*
- 18. I agree that a consistent and adequate food and water supply shall be available to all animals. *Understood and agreed*
- 19. I agree that fencing shall be kept in a manner consistent with Minn. Stats. §§ 344.01—344.20, as amended and renumbered from time to time. *Understood and agreed*
- 20. I agree that all domestic farm animals shall have access to a shelter. *Understood and agreed*
- 21. I agree the city's designated inspector and any peace officers of the state and all other personnel under the direction and control of the city whom the inspector believes necessary shall be allowed access for inspection purposes on any parcel with an approved IUP upon 12-hours' notice. *Understood and agreed*
- 22. IUPs not in compliance with this article will be cited accordingly for non-compliance but may be granted reasonable additional time, at the city inspector's discretion, to come into compliance with the requirements of this section. In the event that an extension of time to comply is granted, a plan to implement the noncompliant requirements by an agreement reached with the city inspector shall be signed by the parties and filed at city hall. The plan shall include clearly defined goals for coming into compliance, each of which shall be completed by a specific date. Failure to complete the agreed upon goals by the specified dates will be grounds for termination of the IUP. In no case, however, may an extension exceed 75 days from the date of the initial inspection, and only one extension can be granted. I agree to cooperate with the city inspectors if I ever am deemed noncompliant and will make every reasonable effort to come into compliance.

*Agreed.*

23. I am aware that, the Running at Large Ordinance in Chapter 10, Article 5, Section 10-155 states “(a) No person, firm, or corporation will permit any animal regulated under this article to run at large within the city. Any such animal will be deemed to be "at large" when it is off the premises owned or rented by its owner and unattended by the owner or any agent or employee of the owner. (b) The animal control authority, any peace officer of the state, and any other personnel under the direction and control of the city, or any agent of the city, may impound any such animal found at large as regulated by Minn. Stats. § 374.14.” I agree to abide by the Running at Large ordinance.

*Agreed.*

**For IUPs with horses only:**

24. I agree that Class II and Class III horse operations will have the following requirements:
- a. Class II and class III horse operations in the city will be inspected and evaluated annually as a requirement of the IUP for conformance with all applicable regulations. The costs of such inspection and evaluation must be paid by the holder of the permit as part of the annual permit fee. Nonpayment of such costs will be grounds for termination of the permit. In addition to a class III horse operation, an inspection by a doctor of veterinary medicine licensed to practice in Minnesota must accompany the city's inspector on all inspections. Failure to provide access for inspection will be grounds for termination of the IUP.
  - b. Stall doors must be in good repair and easily opened and closed.
  - c. An evacuation plan for humans and animals must be displayed in all animal shelters.
  - d. Grain and hay dust must be minimized to the extent practicable.
  - e. Aisles must be kept free of debris and impediments to movement by humans and animals.
  - f. There must not be any protruding objects in any animal shelter which could cause injury to humans or animals.
  - g. Drainage must be adequate to prevent accumulations of water to facilitate cleaning of animal shelters and paddock areas.
  - h. Animal bedding must be clean and of a material customarily used for animal bedding purposes.
  - i. Lights and windows must be animal proofed to prevent breakage, to the extent practicable.
  - j. Grain and forage must be free from mold and miscellaneous debris, to the extent practicable.
25. I am aware that the Riding ordinance in Chapter 10, Article 5, Section 10-156 states “(a) No person may ride or drive an animal regulated under this article after sunset and before sunrise along or crossing a public way without appropriate lighting or reflectorized clothing. (b) No person may ride an animal regulated under this article in any public park or on any public beach, except in areas duly designated by the city park committee as a trail way or hitching area. (c) Every person riding an animal regulated under this article, or driving a vehicle powered by an animal regulated under this article, upon a public way, will be subject to those provisions of city articles and Minnesota Statutes applicable to the driver of a motor vehicle. (d) No animal regulated under this article may be ridden or driven in any manner which would cause damage to any hard-surfaced road. (e) No person may ride any animal regulated under this article upon private property without the permission of the owner or occupant thereof. (f) No person may interfere with any animal regulated under this article that is being ridden or kept in a lawful manner.” I agree to abide by the Riding ordinance.

**City of East Bethel  
City Council Meeting  
Agenda Item Information**



**Date:** March 10, 2025

**Agenda Item Number:** 7.0 A.2

**Request:** A Preliminary Plat for “Blanco de Cola Pradera” for three lots located at PID #26-33-23-32-0012 and #26-33-23-23-0001 (city file 25-003)

**Review Deadline:** May 30, 2025

**Background Information/Context:**

On August 27, 2024 the Planning Commission held a public hearing for a concept plan for this proposed plat. The City Council then reviewed the concept plan at their meeting held on September 9, 2024.

On January 30, 2025, the City received an application for a three-lot subdivision named “Blanco de Cola Pradera” located at PID#26-33-23-32-0012 and #26-33-23-23-0001. The total area of the two lots is 60.76 acres. The parcels are guided Rural Residential and zoned RR- Rural Residential. The properties surrounding this parcel are all guided and zoned the same.

**Planning Commission Review:**

The Planning Commission reviewed the item and held a public hearing at the February 25, 2025, meeting. The applicant was present, and no other members of the public spoke at the meeting. The Planning Commission voted 4-0 to recommend approval of the Preliminary Plat.

**Analysis:**

When reviewing a Preliminary Plat, the City’s discretion is limited to whether the proposed plat meets the standards outlined in the City’s subdivision and zoning ordinance. If it meets the standards, the city must approve the plat.

The plat is consistent with the concept plan that was reviewed previously from the City. The property is currently two vacant parcels totaling 60 acres. The north approximately 35 acres of the site are wetlands. Within the RR- Rural Residential zoning district a minimum lot size required is 2 acres, with a density not to exceed 1 unit per 2.5 acres. All lots within the proposed subdivision meet the 2-acre minimum lot size. Additionally, each lot meets the required minimum 200-foot width at the right-of-way setback line.

Streets

There are no internal streets, and each lot will need to obtain an individual Access Permit from Anoka County. A letter from Anoka County is attached to this report. The county also is requesting an additional 10 feet of ROW along CSAH 22.

Wetlands

A wetland delineation report was completed and a notice of decision approving the delineation was provided on December 9, 2024. There are six wetlands on site. A majority of the existing northern parcels are part of a wetland (DNR public basin 02046500) and will not be buildable. However, the lots are large enough that they still meet standards for development with the large wetlands being preserved.

The plans must be updated to show and dimension the wetland buffer and setbacks. This is included as a condition of approval.

Section 66-255 of the Subdivision provides specific standards for wetland buffers. The larger wetland that takes over most of the northern portions of the plat is considered a slight and moderately susceptible according to the City’s Wetland Susceptibility Map in the Comprehensive Plan. This classification requires a 15-to-25-foot buffer strip. All other wetlands on site will require a 15-foot buffer strip. The table below demonstrates all setbacks and buffers for wetlands in East Bethel:

**Table 1 (Section 66-255).**

Water Body Type	Permanent Buffer Average Width (in feet)	Minimum Building and Septic System Setback from Delineated Wetland Edge (in feet)
Wetlands adjacent to Significant Natural Environmental Areas (SNEA) or *highly susceptible wetlands	25	50
All other remaining wetlands including *slightly and moderately susceptible wetlands	15	25

A wetland maintenance plan must be submitted for City review and approval and recorded against the properties. All wetland buffer strips must be included in drainage and utility easements as stated in Section 66-255 Subd. (4). This plan should also include wetland demarcation signs. This has been added as a condition of approval.

Floodplain

The northern part of the plat is in a floodplain. While the plans do indicate this, they only discuss the Flood zone X and not Flood Zone A. Plans should be updated to show both flood zones, and base flood elevation for each. This is necessary to verify that both home and building pads, as well as septic sites, are all located outside of the floodplains.

The City Engineer’s memo, attached to this report, indicates that the applicant must provide a lot tabulation for each lot to tabulate estimated high groundwater, low floor, low opening, garage floor, high water elevation, emergency overflow, etc. The minimum acceptable lowest floor elevation for new construction of residential is three feet above the highest known water table, mottled soil or 100-year floodplain elevation, whichever is highest. This also includes setting the high-water level for all of the wetlands on site.

Shoreland

Part of the subdivision is in the Shoreland Overlay of Coon Lake and Goose Lake. These lakes each have different designations and requirements for lot sizes and setbacks. The plat meets setback standards for septic and structures within the shoreland, as well as lot size and dimensions.

The home pads appear to be out of the shoreland overlay on all three lots, however the plans will need to demonstrate this. The plans will need to be adjusted to show the shoreland overlay, and this has been added as a condition of approval.

County Ditch

County Ditch 56 runs east-west through the large wetland on the north. All wetland areas (including this ditch) will be covered with a drainage and utility easement.

Stormwater Management

The applicant also needs to provide a Stormwater Management Plan that is certified by a licensed Minnesota professional engineer.

Utilities

No public utilities are proposed with this lot. Each lot will be served by septic and well, with potential sites having been indicated on the plat. Septic permits are required and must show compliance with setbacks.

Parks Commission

The Parks Commission met on October 8, 2024, and recommended cash-in-lieu of land for the subdivision. The 2025 fee schedule would require \$6,000 (3 lots x \$2,000) in park dedication to be paid with final plat.

Engineering

The City Engineer reviewed the plat and has made comments that will need to be addressed prior to the approval of the final plat. This has been added as a condition of approval.

**Summary:**

The Preliminary Plat request meets the standards in the code and matches the concept plan previously reviewed by the city. The plat requests is consistent with the comprehensive plan and density allowed for these parcels. The applicant’s request for the Preliminary Plat aligns with the comprehensive plan.

**City Council Recommendation:**

Move to approve Resolution 2025-14 for the request for a Preliminary Plat for “Blanco de Cola Pradera” for three lots located at PID #26-33-23-32-0012 and #26-33-23-23-0001, as recommended by the Planning Commission.

**Attachments:**

1. Resolution approving the Preliminary Plat
2. Location Map
3. Aerial of Property
4. Preliminary Plat
5. Civil Plans
6. Anoka County Comment Letter, dated February 18, 2025
7. City Engineer’s Memo, dated February 19, 2025

**City Council Action:**

Motion by: \_\_\_\_\_

Second by: \_\_\_\_\_

Vote Yes: \_\_\_\_\_

Vote No: \_\_\_\_\_

**CITY OF EAST BETHEL  
COUNTY OF ANOKA  
STATE OF MINNESOTA**

**RESOLUTION NO. 2025-14**

**A RESOLUTION APPROVING THE PRELIMINARY PLAT OF “BLANCO DE COLA PRADERA” FOR PROPERTY LEGALLY DESCRIBED AS:**

That part of the Northwest Quarter of the Southwest Quarter (NW 1/4 of SW 1/4) of Section Twenty-six (26), Township Thirty-three (33), Range Twenty-three (23), Anoka County, Minnesota, lying Northerly of the centerline of County State Aid Highway No. 22; except the East 392.57 feet, as measured at right angles to the East line thereof.

AND

The Southwest Quarter of the Northwest Quarter (SW 1/4 of NW 1/4) of Section Twenty-six (26), Township Thirty-three (33), Range Twenty-three (23), Anoka County, Minnesota.

**WHEREAS**, Matt Chacich has requested approval of a preliminary plat for “Blanco de Cola Pradera”; and

**WHEREAS**, the East Bethel Review Committee has reviewed the preliminary plat and have provided comments; and

**WHEREAS**, pursuant to published and mailed notice thereof, the Planning Commission has conducted a public hearing on said plat at the February 25, 2025 meeting; and

**WHEREAS**, as a result of such public hearing, the Planning Commission recommends approval of the preliminary plat to the City Council.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of East Bethel hereby approves the preliminary plat of “Blanco de Cola Pradera”, with the following conditions:

1. A preliminary plat for “Blanco de Cola Pradera” is approved to create three lots, in accordance with the application received by the City on January 16, 2025 and additional information received on January 30, 2025, excepted as amended by this resolution.
2. The Developer shall satisfy any and all comments on the Preliminary Plat from the City Engineer memo dated February 19, 2025 prior to filing a Final Plat application. The City Engineer will determine when all items have been addressed.
3. Anoka County Highway Department comments dated February 18, 2025 must be satisfactorily addressed prior to any site grading.
4. Wetland buffers must be planted and maintained as required by Section 66-255 of the City Code.

- 5. The shoreland boundary must be shown on the preliminary plat.
- 6. The Developer shall be responsible for the cost of construction of all improvements proposed as a part of the preliminary plat.
- 7. Prior to final plat recording at Anoka County, a Development Agreement acceptable to the City Attorney must be executed by the Developer and filed with Anoka County.
- 8. Park dedication fees for the three new lots must be paid prior to the release of the final plat.
- 9. All potential septic sites must be fenced off and protected during construction.

Approval shall expire within one year of the date of approval unless the applicant has filed a complete application for approval of the final plat.

Adopted this 10<sup>th</sup> day of March, 2025 by the City Council of the City of East Bethel.

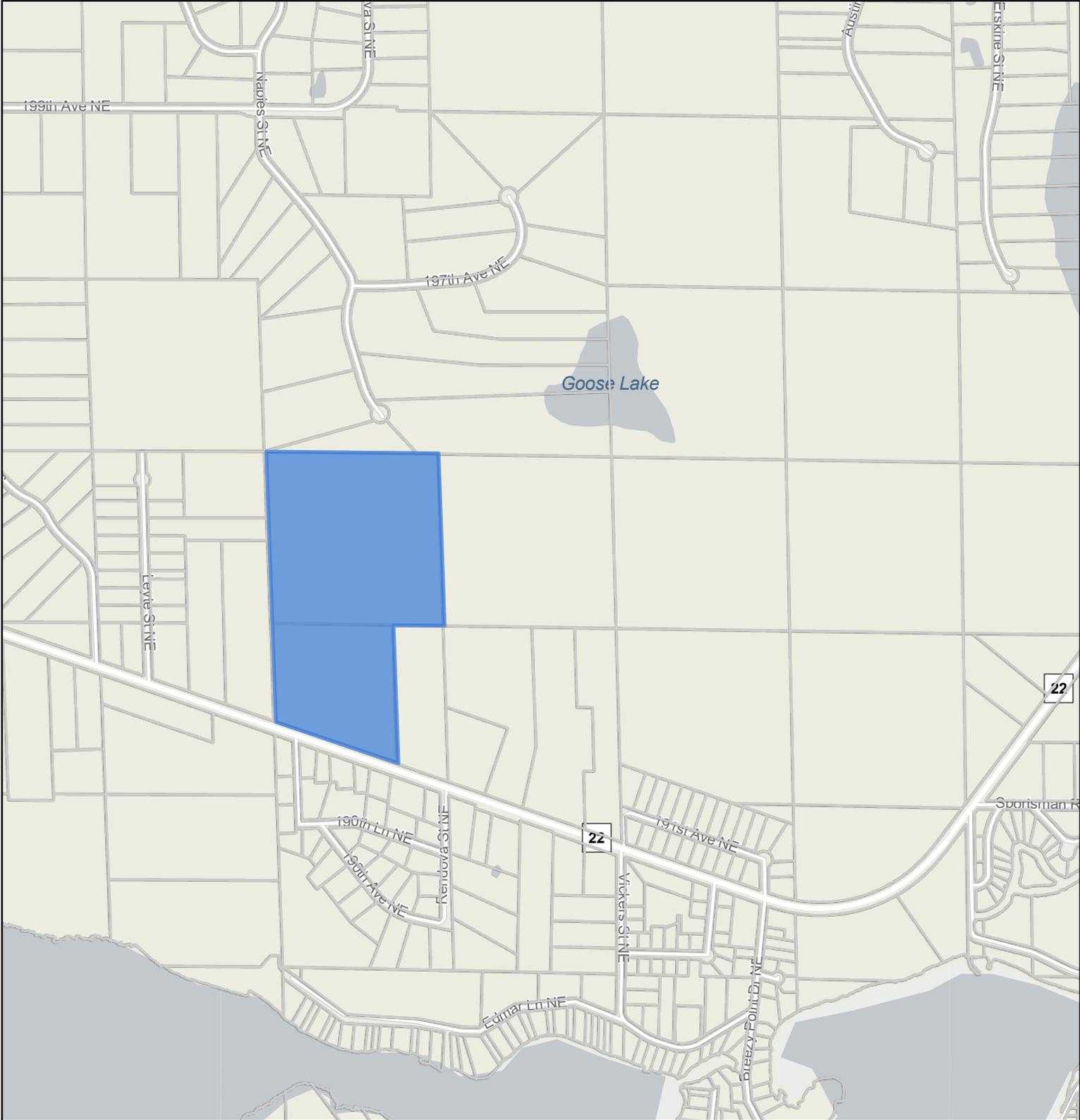
CITY OF EAST BETHEL

ATTEST

\_\_\_\_\_  
Ardie Anderson, Mayor

\_\_\_\_\_  
Matt Look, City Administrator

# Location Map



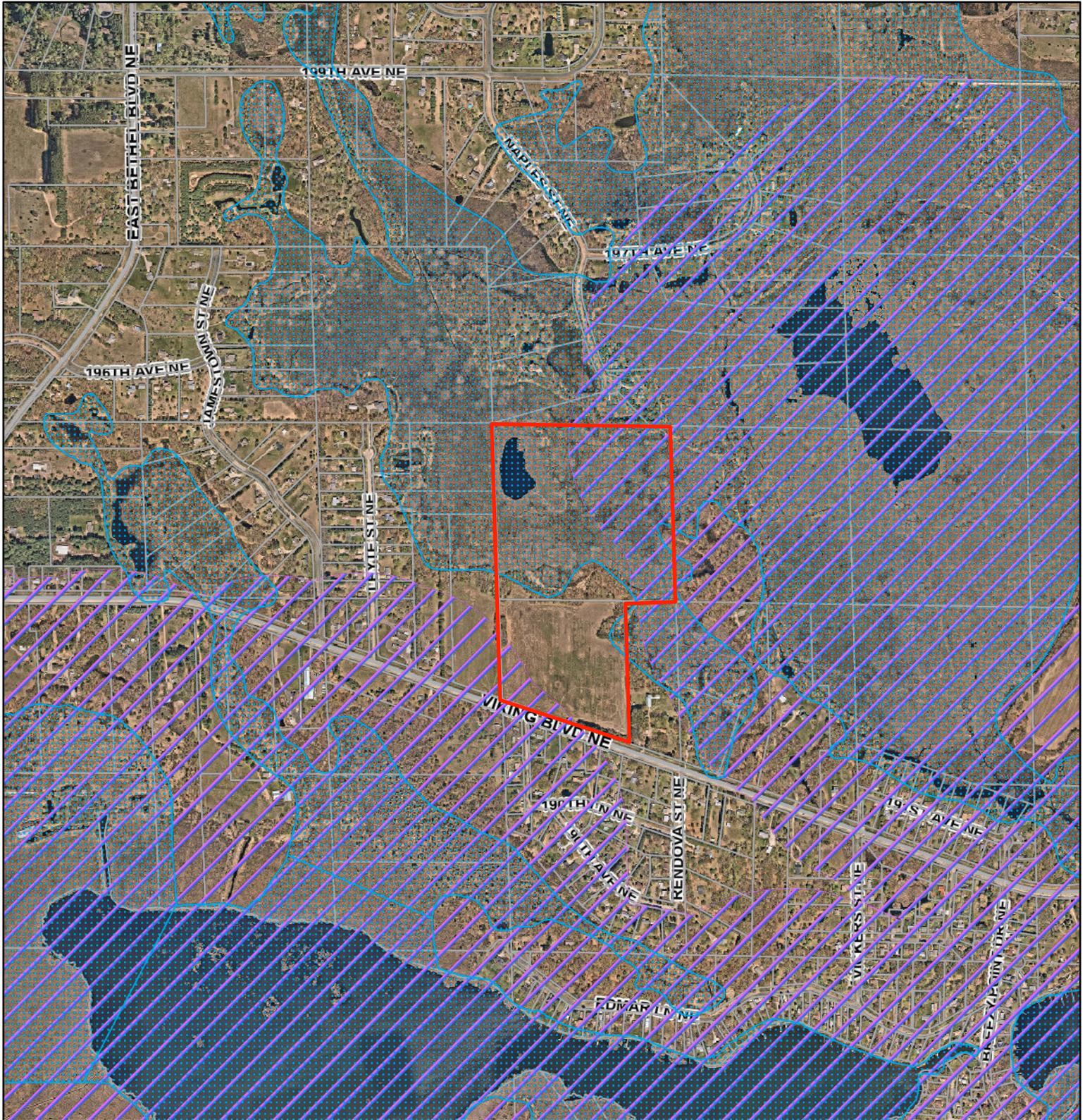
-  Parcels
-  City Mask

1 inch equals 1,484 feet



# Aerial- Shoreland and Floodplain

Item 7.0 A.2, Attachment



1 inch equals 1,447 feet

- |   |   |                     |
|---|---|---------------------|
| <b>FEMA Floodplain</b>  |  | 500-Year Floodplain |
| <b>FLOODPLN</b>   |  | Shoreland Overlay   |
|  |   | 100-Year Floodplain |
|   |  | Parcels             |
|   |  | City Mask           |



# PRELIMINARY PLAT

~of~ **BLANCO DE COLA PRADERA  
EAST BETHEL, MN**

~for~ **MATTHEW CHACICH**

## VICINITY MAP

PART OF SEC. 26, TWP. 33, RNG. 23



ANOKA COUNTY, MINNESOTA  
(NO SCALE)

## PROPERTY DESCRIPTION

(PER TRUSTEE'S DEED, DOCUMENT NO. 2406806.003)

That part of the Northwest Quarter of the Southwest Quarter of Section 26, Township 33, Range 23, Anoka County, Minnesota, lying northerly of the centerline of County State Aid Highway No. 22; except the east 392.57 feet, as measured at right angles to the east line thereof.

AND

The Southwest Quarter of the Northwest Quarter of Section 26, Township 33, Range 23, Anoka County, Minnesota.

## NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 6/11/2024 and 6/26/2024.
- Bearings shown are on Anoka County datum.
- Parcel ID Numbers: 26-33-23-32-0012 and 26-33-23-23-0001.
- Total parcel area = 2,697,171 sq. ft. (61.92 acres).
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.
- Wetland delineation by Anderson Engineering in June 2024.
- Surveyed premises shown on this survey map is in Flood Zone X (Areas determined to be outside the 0.2% annual chance floodplain.), according to Flood Insurance Rate Map Community No. 270021 Panel No. 0210 Suffix E by the Federal Emergency Management Agency, effective date December 16, 2015.
- Soil borings completed by Ark Septic, LLC.
- Buildable area is contiguous land area occurring within the property lines of a parcel or lot excluding drainageways, wetlands, watercourses and ponding areas, park land, right-of-way, and slopes exceeding 18 percent.

## LEGEND

- DENOTES ANOKA COUNTY CAST IRON MONUMENT
- DENOTES 1/2 INCH IRON OPEN PIPE FOUND, UNLESS NOTED
- DENOTES EXISTING SPOT ELEVATION
- DENOTES EXISTING CONTOURS
- DENOTES POWER POLE AND OVERHEAD WIRES
- DENOTES GUY WIRE
- DENOTES FIBER OPTIC BOX
- DENOTES TELEPHONE PEDESTAL
- DENOTES FENCE
- DENOTES EDGE OF WETLAND DELINEATION
- DENOTES SIGN
- DENOTES SOIL BORING. (BY ARK SEPTIC, LLC.)
- DENOTES TREE LINE
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)
- DENOTES BUILDING SETBACK LINE

## ZONING INFORMATION

PER CITY OF EAST BETHEL ZONING MAP DATED MAY 22, 2023 THE PARCEL IS CURRENTLY ZONED RR (RURAL RESIDENTIAL) AND SUBJECT TO THE FOLLOWING STANDARDS:

MINIMUM LOT AREA = 2 ACRES, WITH A DENSITY NOT TO EXCEED 1 UNIT PER 2.5 ACRES  
MINIMUM LOT WIDTH = 200 FEET A PUBLIC RIGHT OF WAY, 200 FEET AT FRONT  
BUILDING SETBACK  
MINIMUM BUILDABLE AREA = 23,000 SQ. FT.

SETBACKS:  
PRINCIPAL AND ACCESSORY STRUCTURES  
FRONT = 100 FEET COUNTY/STATE RIGHT OF WAY  
SIDE = 25 FEET  
REAR = 25 FEET  
WETLAND = 25 FEET  
WETLAND BUFFER = 15 FEET

MAXIMUM BUILDING HEIGHT (PRINCIPAL) = 3 STORIES OR 30 FEET, WHICHEVER IS LESS

## DEVELOPMENT DATA

PROPOSED NUMBER OF LOTS = 3  
TOTAL PROPERTY AREA = 61.92 ACRES  
RIGHT OF WAY DEDICATION = 1.39 ACRES  
AVERAGE LOT SIZE = 20.18 ACRES

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:

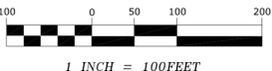


BEING 5 FEET IN WIDTH AND ADJOINING SIDE LOT LINES AND 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD  
Date: 1/30/2025 License No. 41578

GRAPHIC SCALE



1 INCH = 100 FEET

## BENCHMARK

MNDOT GEODETIC STATION NO. 769  
STATION NAME: DENN MNDT  
ELEVATION = 899.19 (NAVD 88 DATUM)

NO.	DATE	DESCRIPTION	BY
1	9/30/24	FIELD CREW: RW/MR	
2	9/30/24	UPDATED CONCEPT PLAN	BCD
3	11/07/24	ADDED SOIL BORING INFO	BCD
4	1/30/25	CITY COMMENTS	BAB

**E. G. RUD & SONS, INC.**  
EST. 1977  
Professional Land Surveyors  
6776 Lake Drive NE, Suite 110  
Lino Lakes, MN 55014  
Tel. (651) 361-8200 Fax (651) 361-8701

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Michael J. Gerber*

PRINTED NAME: MICHAEL J. GERBER

DATE: 12-17-2024 LICENSE #: 56653

**EAST BETHEL SUBDIVISION**

**VIKING BLVD NE  
EAST BETHEL, MN, 55005**

THIS DRAWING AND THE INFORMATION THEREIN IS THE PROPERTY OF DESIGN TREE ENGINEERING INC. USE BY THE HOLDER OR DISCLOSURE TO OTHERS WITHOUT THE PERMISSION OF DESIGN TREE ENGINEERING INC. IS PROHIBITED. IT CONTAINS PROPRIETARY AND CONFIDENTIAL INFORMATION OF DESIGN TREE ENGINEERING INC. REPRODUCTION OF THE MATERIAL HEREIN WITHOUT WRITTEN PERMISSION OF DESIGN TREE ENGINEERING INC. VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL SUBJECT THE VIOLATORS TO LEGAL PROSECUTION.

COPYRIGHT © 2024 BY DESIGN TREE ENGINEERING

DRAWN BY: NPK

CHECKED BY: MJG

PROJECT NO.: 00024074

NO.	DATE	DESCRIPTION

**SITE & GRADING PLAN**

DRAWING NO.

**C101**

**NOTES:**

- EXISTING CONDITIONS & TOPOGRAPHIC INFORMATION PROVIDED BY: E.G. RUD & SONS, INC. PROFESSIONAL LAND SURVEYORS 6776 LAKE DRIVE NE, SUITE 110 LINO LAKES, MN 55014
- ALL DIMENSIONS SHOWN ARE TO FLOW LINE, CENTERLINE OF FENCE, EDGE OF PAVEMENT, OR EXTERIOR FACE OF BUILDING, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY ALL BUILDING DIMENSIONS AND REMOVAL LIMITS PRIOR TO ANY CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL PLAN AND DETAIL DIMENSIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL PROVIDE A TEMPORARY PEDESTRIAN ACCESS ROUTE PLAN FOR ANY WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL PROVIDE A TEMPORARY TRAFFIC CONTROL PLAN FOR ANY WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY.
- ALL EXCESS OR WASTE MATERIAL GENERATED AS PART OF CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- GOPHER STATE ONE CALL DAMAGE PREVENTION SYSTEM FOR BURIED UTILITIES. 1-800-252-1166. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO ASSIST WITH PRIVATE UTILITY LOCATES.

**SITE LEGEND**

AGGREGATE SURFACING

**GRADING LEGEND**

- = EXISTING MAJOR CONTOUR
- = EXISTING MINOR CONTOUR
- = EXISTING CONTOUR LABEL
- = PROPOSED MAJOR CONTOUR
- = PROPOSED MINOR CONTOUR
- = PROPOSED CONTOUR LABEL
- = EXISTING SPOT ELEVATION\*
- = PROPOSED SPOT ELEVATION\*
- = PROPOSED SURFACE FLOW DIRECTION

\*SPOT ELEVATIONS ALONG CURB & GUTTER AND OTHER REVEALS ARE TO FLOWLINE, UNLESS OTHERWISE NOTED.

**LOT 1**

TOTAL LOT AREA	13.85 AC
DISTURBED AREA	0.91 ±AC
PROPOSED IMPERVIOUS AREA	0.23 AC

**LOT 2**

TOTAL LOT AREA	14.47 AC
DISTURBED AREA	0.75 ±AC
PROPOSED IMPERVIOUS AREA	0.21 AC

**LOT 3**

TOTAL LOT AREA	32.20 AC
DISTURBED AREA	1.03 ±AC
PROPOSED IMPERVIOUS AREA	0.36 AC



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINTED NAME: MICHAEL J. GERBER

DATE: 12-17-2024 LICENSE #: 56653

### EAST BETHEL SUBDIVISION

VIKING BLVD NE  
EAST BETHEL, MN, 55005

THIS DRAWING AND THE INFORMATION THEREIN IS THE PROPERTY OF DESIGN TREE ENGINEERING INC. USE BY THE HOLDER OR DISCLOSURE TO OTHERS WITHOUT THE PERMISSION OF DESIGN TREE ENGINEERING INC. IS PROHIBITED. IT CONTAINS PROPRIETARY AND CONFIDENTIAL INFORMATION OF DESIGN TREE ENGINEERING INC. REPRODUCTION OF THE MATERIAL HEREIN WITHOUT WRITTEN PERMISSION OF DESIGN TREE ENGINEERING INC. VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL SUBJECT THE VIOLATORS TO LEGAL PROSECUTION.

COPYRIGHT © 2024 BY DESIGN TREE ENGINEERING

DRAWN BY: NPK

CHECKED BY: MJG

PROJECT NO.: 00024074

NO.	DATE	DESCRIPTION

### EROSION CONTROL PLAN

DRAWING NO.

# C201

#### NOTES:

- ALL DISTURBED AREAS SHALL BE FINAL GRADED AND PERMANENTLY STABILIZED WITH THE SEED MIX IDENTIFIED ON PLANS.
- THE SITE MUST BE STABILIZED PER THE REQUIREMENTS OF THE MPCA, NPDES PERMIT, MNDOT, AND THE CITY.
- INLET PROTECTION SHALL BE PROVIDED ON ALL CATCH BASINS AND INLETS DOWN GRADIENT OF CONSTRUCTION ACTIVITY.
- PROVIDE SILT FENCE PERIMETER CONTROL DOWN GRADIENT OF ALL CONSTRUCTION ACTIVITY AND TEMPORARY STOCKPILES.
- TEMPORARY STABILIZED CONSTRUCTION EXITS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- NO OFFSITE VEHICLE TRACKING IS PERMITTED. STREETS SHALL BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS.
- REFER TO THE CITY OF EAST BETHEL EROSION CONTROL REQUIREMENTS FOR FURTHER EROSION CONTROL SEQUENCING.
- WHEN INSTALLING END-OF-LINE FLARED END SECTIONS, BRING THE SILT FENCE UP & OVER THE FLARED END SECTIONS & COVER DISTURBED AREAS WITH RIP RAP. THE UPSTREAM FLARED END SECTIONS SHALL HAVE WOOD FIBER BLANKET INSTALLED ON THE DISTURBED SOILS.
- GOPHER STATE ONE CALL DAMAGE PREVENTION SYSTEM FOR BURIED UTILITIES. 1-800-252-1166. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO ASSIST WITH PRIVATE UTILITY LOCATES.

#### EROSION CONTROL LEGEND & QUANTITIES:

	STABILIZED CONSTRUCTION EXIT	(3 EA)
	SILT FENCE	(3,115 LF)
	MNDOT SEED MIX 25-121	(1.75 AC)
	CATEGORY 20 ROLLED EROSION PREVENTION PRODUCT	(441 SY)
	INLET PROTECTION	(5 EA)

NOTE: QUANTITIES SHOWN ARE FOR SWPPP PLAN, AND ARE NOT FOR BIDDING PURPOSES.



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Michael J. Gerber*

PRINTED NAME: MICHAEL J. GERBER

DATE: 12-17-2024 LICENSE #: 56653

**EAST BETHEL SUBDIVISION**

**VIKING BLVD NE  
EAST BETHEL, MN, 55005**

THIS DRAWING AND THE INFORMATION THEREIN IS THE PROPERTY OF DESIGN TREE ENGINEERING INC. USE BY THE HOLDER OR DISCLOSURE TO OTHERS WITHOUT THE PERMISSION OF DESIGN TREE ENGINEERING INC. IS PROHIBITED. IT CONTAINS PROPRIETARY AND CONFIDENTIAL INFORMATION OF DESIGN TREE ENGINEERING INC. REPRODUCTION OF THE MATERIAL HEREIN WITHOUT WRITTEN PERMISSION OF DESIGN TREE ENGINEERING INC. VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL SUBJECT THE VIOLATORS TO LEGAL PROSECUTION.

COPYRIGHT © 2024 BY DESIGN TREE ENGINEERING

DRAWN BY: NPK

CHECKED BY: MJG

PROJECT NO.: 00024074

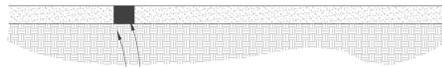
NO.	DATE	DESCRIPTION

**CIVIL DETAILS**

DRAWING NO.

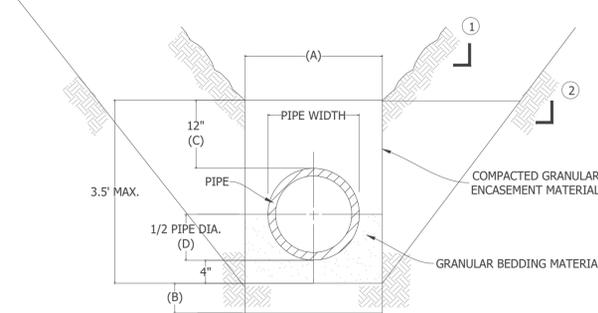
**C301**

**NOTES:**  
1. ALL ORGANIC OR OTHER UNSUITABLE MATERIAL SHALL BE REMOVED FROM BENEATH THE ROADWAY.



8" CLASS 5 AGGREGATE BASE  
COMPACTED SUBGRADE  
-NOTIFY ENGINEER PRIOR TO PLACING AGGREGATE BASE IF ORGANIC MATERIAL IS ENCOUNTERED IN SUBGRADE

**AGGREGATE SURFACING SECTION**  
SCALE=N.T.S.



- ① 0-12" DEPTH TRENCH  
SLOPE DEPENDS ON SOIL TYPE.
- ② 12-20" DEPTH TRENCH  
SLOPE DEPENDS ON SOIL TYPE.
- ③ 0-20" DEPTH TRENCH  
SUPPORT OR SHIELD SYSTEM CAN BE UTILIZED TO REDUCE TRENCH WIDTH.
- ④ 20" OR GREATER DEPTH TRENCH  
EXCAVATION MUST BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER. CONTRACTOR SHALL HAVE THE DESIGN COMPLETED AT HIS EXPENSE AND PROVIDE A COPY TO THE OWNER AND THE PROJECT ENGINEER.

(A) MINIMUM TRENCH WIDTH SHALL ALLOW FOR SIX INCHES OF CLEARANCE ON EACH SIDE OF PIPE JOINT HUB.

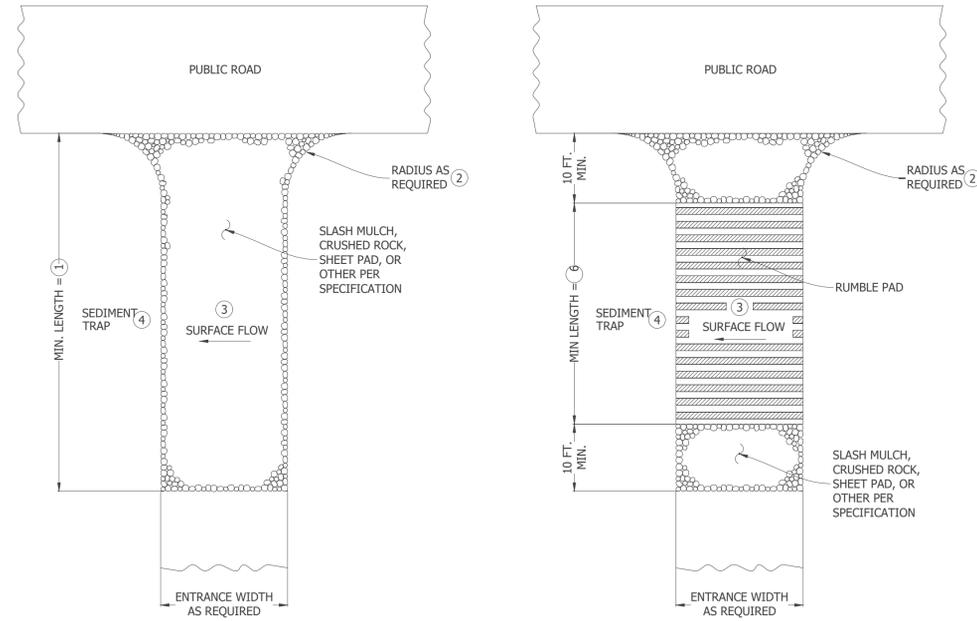
(B) THE TRENCH MAY BE OVEREXCAVATED A MIN. OF 6" & BACKFILLED WITH COMPACTED GRANULAR MATERIALS WHEN ROCK, INCOMPRESSIBLE MATERIALS, OR UNSTABLE SOILS ARE ENCOUNTERED.

(C) COMPACTED GRANULAR ENCASEMENT MATERIAL SHALL COVER THE TOP OF PIPE BY AT LEAST 12" AND EXTEND THE FULL WIDTH OF THE TRENCH OR AT LEAST 2 1/2" TIMES THE PIPE DIAMETER ON EACH SIDE OF THE PIPE.

(D) BEDDING AND HAUNCHING MATERIAL SHALL BE PLACED AND COMPACTED TO PROVIDE FULL SUPPORT FOR THE LENGTH OF THE PIPE.

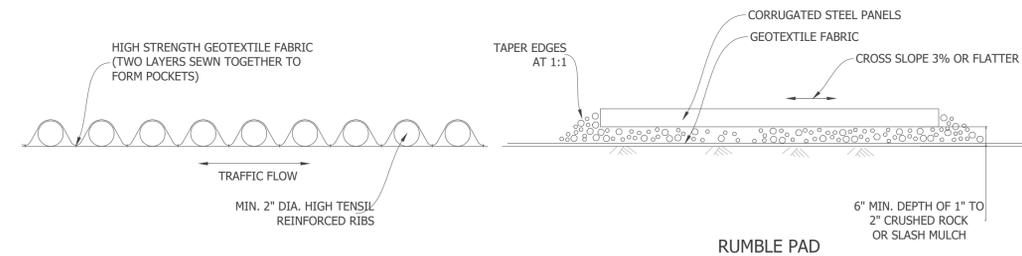
**NOTES:**  
1. THIS DETAIL APPLIES TO SANITARY SEWER, STORM SEWER, WATERMAIN, AND ALL SERVICE PIPES.

**TYPICAL PIPE BEDDING DETAIL**  
SCALE=N.T.S.



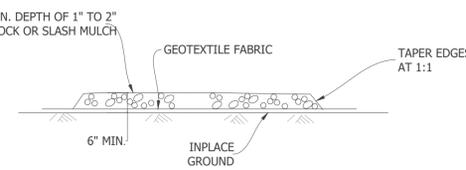
**SLASH MULCH, CRUSHED ROCK, OR SHEET PAD CONSTRUCTION EXIT ⑤ ⑦**

**RUMBLE PAD CONSTRUCTION EXIT ⑤ ⑦**



**SHEET PAD**

**RUMBLE PAD**



**SLASH MULCH OR CRUSHED ROCK**

**NOTES:**

SEE SPECS. 2573 & 3882.

- ① MINIMUM LENGTH SHALL BE THE GREATER OF 50 FEET OR A LENGTH SUFFICIENT TO ALLOW A MINIMUM OF 5 TIRE ROTATIONS ON THE PROVIDED PAD. MINIMUM LENGTH SHALL BE CALCULATED USING THE LARGEST TIRE WHICH WILL BE USED IN TYPICAL OPERATIONS.
- ② PROVIDE RADIUS OR WIDEN PAD SUFFICIENTLY TO PREVENT VEHICLE TIRES FROM TRACKING OFF OF PAD WHEN LEAVING SITE.
- ③ IF RUNOFF FROM DISTURBED AREAS FLOWS TOWARD CONSTRUCTION EXITS, PREVENT RUNOFF FROM DRAINING DIRECTLY TO PUBLIC ROAD OVER CONSTRUCTION EXIT BY CROWNING THE EXIT OR SLOPING TO ONE SIDE. IF SURFACE GRADING IS INSUFFICIENT, PROVIDE OTHER MEANS OF INTERCEPTING RUNOFF.
- ④ IF RUNOFF FROM CONSTRUCTION EXITS WILL DRAIN OFF OF PROJECT SITE, PROVIDE SEDIMENT TRAP WITH STABILIZED OVERFLOW.
- ⑤ IF A TIRE WASH OFF IS REQUIRED THE CONSTRUCTION EXITS SHALL BE GRADED TO DRAIN THE WASH WATER TO A SEDIMENT TRAP.
- ⑥ MINIMUM LENGTH OF RUMBLE PAD SHALL BE 20 FEET, OR AS REQUIRED TO REMOVE SEDIMENT FROM TIRES. IF SIGNIFICANT SEDIMENT IS TRACKED FROM THE SITE, THE RUMBLE PAD SHALL BE LENGTHENED OR THE DESIGN MODIFIED TO PROVIDE ADDITIONAL VIBRATION. WASH-OFF LENGTH SHALL BE AS REQUIRED TO EFFECTIVELY REMOVE CONSTRUCTION SEDIMENT FROM VEHICLE TIRES.
- ⑦ MAINTENANCE OF CONSTRUCTION EXITS SHALL OCCUR WHEN THE EFFECTIVENESS OF SEDIMENT REMOVAL HAS BEEN REDUCED. MAINTENANCE SHALL CONSIST OF REMOVING SEDIMENT AND CLEANING THE MATERIALS OR PLACING ADDITIONAL MATERIAL (SLASH MULCH OR CRUSHED ROCK) OVER SEDIMENT FILLED MATERIAL TO RESTORE EFFECTIVENESS.

**STABILIZED CONSTRUCTION EXIT DETAILS**  
SCALE=N.T.S.

- NOTES:**
1. TYPE OF FENCING TO BE USED SHALL COMPLY WITH MNDOT 3886.1 UNLESS INDICATED OTHERWISE ON PLANS.
  2. DIG A 6" x 6" TRENCH ALONG THE INTENDED FENCE LINE.
  3. DRIVE ALL POSTS INTO THE GROUND AT THE DOWNHILL SIDE OF TRENCH.
  4. WIRE FENCING PER MNDOT SPEC. 3886. WIRE MESH MUST BE A MINIMUM OF 2" INTO THE GROUND AND NO MORE THAN 36" ABOVE THE ORIGINAL GROUND SURFACE.
  5. FILTER FABRIC PER MNDOT SPEC. 3886. FABRIC APPARENT OPENING SIZE (AOS) SHALL BE 30 TO 80 IN AREAS OF COARSE GRAINED SOILS, AND 50 TO 80 IN AREAS OF FINE GRAINED SOILS.
  6. LAY OUT SILT FENCE ON THE UPHILL SIDE ALONG THE FENCE LINE, AND BACK FILL.
  7. WOOD POSTS MAY BE SPACED UP TO 4 FEET APART IF WIRE MESH IS NOT USED TO SUPPORT THE FABRIC. IF WIRE MESH IS USED TO SUPPORT THE FABRIC STEEL POSTS MAY BE SPACED UP TO 8 FEET APART.

**SILT FENCE DETAIL**  
SCALE=N.T.S.



Corporate Office:  
120 17th Ave W Alexandria, MN 56308  
888-216-1916

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Michael J. Gerber*

PRINTED NAME: MICHAEL J. GERBER  
DATE: 12-17-2024 LICENSE #: 56653

## EAST BETHEL SUBDIVISION

VIKING BLVD NE  
EAST BETHEL, MN, 55005

THIS DRAWING AND THE INFORMATION THEREIN IS THE PROPERTY OF DESIGN TREE ENGINEERING INC. USE BY THE HOLDER OR DISCLOSURE TO OTHERS WITHOUT THE PERMISSION OF DESIGN TREE ENGINEERING INC. IS PROHIBITED. IT CONTAINS PROPRIETARY AND CONFIDENTIAL INFORMATION OF DESIGN TREE ENGINEERING INC. REPRODUCTION OF THE MATERIAL HEREIN WITHOUT WRITTEN PERMISSION OF DESIGN TREE ENGINEERING INC. VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL SUBJECT THE VIOLATORS TO LEGAL PROSECUTION.

COPYRIGHT © 2024 BY DESIGN TREE ENGINEERING

DRAWN BY: NPK

CHECKED BY: MJG

PROJECT NO.: 00024074

NO.	DATE	DESCRIPTION

## SWPPP NARRATIVE

DRAWING NO.

# C302

- Sediment from conveyance systems and sedimentation basins are cleaned out (returned to design capacity).
- Notice of Termination (NOT) is submitted to the MPCA.

Erosion Control Maintenance and Inspection: BMP inspection and maintenance Responsible Party: \_\_\_\_\_

- Inspect erosion control devices and provide routine maintenance as follows:
  - Inspect erosion control a minimum of once per week and within 24 hours of a rainfall event greater than 0.5" in 24 hours.
  - Records of each inspection and maintenance activity shall include:
    - Date and time of inspections.
    - Name of person(s) conducting inspection.
    - Accurate findings of inspection, including the specific location where corrective actions are needed.
    - Corrective actions taken (including dates, times, and party completing maintenance activities).
    - Date and amount of all rainfall events greater than 0.5" in 24 hours, and the amount of rainfall for each event. Rainfall amounts must be obtained by either a properly maintained rain gauge installed onsite, a weather station that is within 1 mile of the site, or a weather reporting system that provides site specific rainfall data from radar summaries.
    - If discharge is observed during the inspection, the inspector must record and should photograph and describe the location of the discharge (i.e. color, odor, settled or suspended solids, oil sheen, and other obvious indicators of pollutants).
    - Documentation of amendments to the SWPPP proposed as a result of the inspection as required by the NPDES/SDS Construction Permit.
  - Inspections may be suspended where construction activity has been suspended due to frozen ground conditions. Inspections must resume within 24 hours of runoff occurring, or upon resuming construction, whichever comes first.
- Provide maintenance for all devices as follows:
  - Silt fences and erosion control devices at storm sewer inlets shall be inspected for depth of sediment, tears, to see if fabric is securely attached to support posts or structure, and to see that posts and devices are securely in place.
  - Silt fence, inlet protection at storm sewer inlets, and other erosion control devices shall be cleaned when sediment reaches 1/3 of the height of the erosion control device.
  - Rock construction entrances shall be inspected for clogging of rock. Rock that has become clogged with sediment shall be removed and replaced with clean rock.
  - Repairs or replacement of all erosion control devices shall occur within 24 hours of discovery.
  - Temporary sediment basins shall be cleaned when sediment reaches 1/2 of the outlet's height or 1/2 of the basins storage volume. The basin shall be drained and sediment removed within 72 hours.
  - Temporary diversion berms shall be inspected and any breaches shall be promptly repaired.
  - Tracked sediment from construction vehicles onto public streets and paved areas (including paved areas on the construction site) shall be removed within 24 hours of discovery.
  - The bottom and side slopes of the proposed stormwater treatment basins shall be stabilized within 200 feet of the property lines or point of discharge to any surface water, including curb and gutter, pavement, storm sewer, swales, or other similar stormwater conveyance devices.
  - Removal of all deltas and sediment deposited in surface waters and re-stabilization of exposed soils shall be accomplished within 7 days of discovery.

### Pollution Prevention Management Measures:

- Storage, handling, and disposal of construction products, materials and wastes:
  - The Contractor shall comply with the following to minimize the exposure to stormwater (any of the products, materials, or wastes/products which are either not a source of contamination to stormwater or are designed to be exposed to stormwater are not held to this requirement):
    - Building products that have the potential to leach pollutants must be under cover (e.g. plastic sheeting or temporary roofs) to prevent the discharge of pollutants or be protected by a similarly effective means designed to prevent contact with stormwater.
    - Pesticides, herbicides, insecticides, fertilizers, treatment chemicals, and landscape materials must be under cover (e.g. plastic sheeting or temporary roofs) to prevent the discharge of pollutants or protected by similarly effective means designed to prevent contact with stormwater.
    - Hazardous materials, toxic wastes (including oil, diesel fuel, gasoline., hydraulic fluids, paint solvents, petroleum-based products, wood preservatives, additives, curing compounds, and acids), must be properly stored in sealed containers to prevent spills, leaks, or other discharge.
    - Restricted access storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste or hazardous materials must be in compliance with Minn. R. ch. 7045 including secondary containment as applicable.
    - Solid wastes must be stored, collected, and disposed of properly in compliance with Minn. R. ch. 7035.
    - Portable toilets must be positioned so that they are secure and will not be tipped or knocked over. Sanitary waste must be disposed of properly in accordance with Minn. R. ch. 7041.
- Fueling and maintenance of equipment or vehicles; spill prevention and response:
  - The Contractor shall take reasonable steps to prevent the discharge of spilled or leaked chemicals, including fuel, from any areas where chemicals or fuel will be loaded or unloaded including the use of drip pans or absorbents unless infeasible.
  - The Contractor must conduct fueling in a contained area unless infeasible.
  - The Contractor must ensure adequate supplies are available at all times to clean up discharged materials and that an appropriate disposal method is available for recovered spilled materials.
  - The Contractor must report and clean up spills immediately as required by Minn. Stat. 115.061, using dry clean up measures where possible.
- Vehicle and equipment washing:
  - If the Contractor washes the exterior of vehicles or equipment on the project site, washing must be limited to a defined area of the site.
  - Runoff from the washing area must be contained in a sediment basin or other similarly effective controls and waste from the washing activity must be properly disposed of.
- The Contractor must properly use and store soaps, detergents, and solvents.
- No engine degreasing is allowed on site.
- Concrete and other washout waste:
  - The Contractor must provide effective containment for all liquid and solid wastes generated by washout operations (concrete, stucco, paint, form release oils, curing compounds, and other construction materials) related to the construction activity.
  - The liquid and solid waste must not contact the ground, and the containments must be designed so that it does not result in runoff from the washout operations or areas.
  - Liquid and solid wastes must be disposed of properly and in compliance with MPCA rules.
  - A sign must be installed adjacent to each washout facility that requires site personnel to utilize the proper facilities for disposal of concrete and other washout wastes.

### Dewatering and Basin Draining:

Dewatering or basin draining that may have turbid or sediment laden discharge water must be discharged to a temporary or permanent sedimentation basin on the project site whenever possible. Discharge from the temporary or permanent sedimentation basin must be visually checked to ensure adequate treatment is obtained in the basin and nuisance conditions, impacts to wetlands, and erosion in receiving channels or on down gradient properties will not result from the discharge. Adequate sedimentation control measures are required for discharge water that contains suspended solids. If using filters with backwash water, either haul the backwash water away for disposal and return the backwash water to the beginning of the treatment process, or incorporate the backwash water into the site in a manner that does not cause erosion.

### Timing of BMP Installation:

The erosion and sediment control BMPs shall be installed as necessary to minimize erosion from disturbed surfaces and capture sediment on site and shall meet the NPDES/SDS Construction Permit part VII requirements. Perimeter controls shall be placed prior to the start of any construction. All disturbed areas not actively being worked must be stabilized within 14 days.

### Storm Water Pollution Prevention Plan:

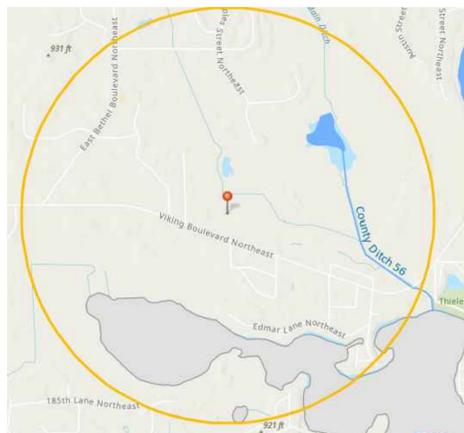
The Permittees must implement the entire SWPPP and the requirement of the NPDES/SDS Construction Permit. The BMPs identified in the SWPPP and in the permit must be selected, installed, and maintained in an appropriate and functional manner that is in accordance with manufacturer specifications and accepted engineering practices.

### Temporary Sediment Basins:

The area disturbed for construction does not drain more than 5 acres to a common discharge point, therefore a temporary sediment basin is not required.

### Future Operation and Maintenance (O&M):

Owner shall be responsible for performing future operations and maintenance of the permanent stormwater management systems on the property.



UNIVERSITY OF MINNESOTA  
**Nicholas P. Knutson**  
Design of Construction SWPPP (May 31 2025)

### Project Description:

The work on the project includes constructing new buildings and driveways in East Bethel, MN. The project includes the construction of four new buildings, aggregate driveways, and culverts along the new driveways. The project is located at Viking Blvd NE, in Bethel, MN. The majority of the underlying soils on the property are in Hydrologic Soil Group "A" and have high infiltration rates when thoroughly wet.

### Receiving Waters:

All existing stormwater is collected in small ponds with an overflow north to flow off site. All stormwater runoff from proposed impervious surfaces will maintain the existing flow with culverts leading the runoff to the small ponds with the overflow going north off site.

### Responsible Parties:

The Owner and the Contractor are responsible co-permittees for the implementation of the SWPPP. The Contractor and Owner shall apply for the NPDES/SDS Construction Permit within 24 hours of award of Contract. The complete application must be submitted 30 days prior to start of construction activity. The Contractor is responsible for installation, inspection, maintenance, and repair of all erosion prevention and sediment control BMPs before, during, and after active construction. The Contractor shall amend the SWPPP before beginning construction to include the chain of responsibility of all operators on the site, or if not known, the title or position of the responsible party. The Contractor is responsible for identifying a trained person (as specified in the NPDES/SDS Construction Permit) knowledgeable and experienced in the application of erosion prevention and sediment control BMPs who will oversee the implementation of the SWPPP before and during construction until the construction project is complete, the entire site has undergone final stabilization, and a Notice of Termination(NOT)/Permit Modification form has been submitted to the MPCA. The Owner must identify who will be responsible for the long-term operation and maintenance of all permanent stormwater management systems. The Contractor is liable until final stabilization of all disturbed areas is achieved and the Notice of Termination (NOT)/Permit Modification form is submitted to the MPCA (as specified in the NPDES/SDS Construction Permit). Once the identity of Responsible Parties is known, the SWPPP must be amended to include this information in the area below.

### Project Contacts:

<b>Project Engineer</b> Michael Gerber Design Tree Engineering & Land Surveying 120 17th Ave W. Alexandria, MN 56308 (320)-227-0204 mjg@dte-ls.com	<b>Owner</b> Mathew Chacich (651)-472-4509 matt@cuttingedgeplasma.com	<b>Contractor</b> TBD
--	--	--------------------------

### SWPPP Amendments:

The Owner or Contractor must amend the SWPPP as necessary to include additional requirements, such as additional or modified BMPs that are designed to correct problems identified or address situations whenever:

- There is a change in design, construction, operation, maintenance, weather or seasonal conditions that has a significant effect on the discharge of pollutants to surface water or underground waters.
- Inspections or investigations by site owner or operators, USEPA or MPCA officials indicate the SWPPP is not effective in eliminating or significantly minimizing the discharge of pollutants to surface waters or underground waters or that the discharges are causing water quality standard exceedances.
- The SWPPP is not achieving the general objectives of minimizing pollutants in stormwater discharges associated with construction activity, or the SWPPP is not consistent with the terms and conditions of this permit.
- At any time after the permit coverage is effective, the MPCA deems necessary.

### Construction Notes:

Construction shall be governed by the MnDOT Standard Specifications for Construction, latest edition, City of East Bethel's Specifications, special provisions, amendments, and the project specifications and details. Permits and maps relating to this project's SWPPP can be found in the Project Documents. The Contractor shall keep inspection and maintenance logs and NPDES/SDS Construction Permit on-site at all times during active construction. Please refer to the plans and specifications for additional SWPPP information.

Soil Compaction should be minimized and topsoil should be preserved whenever and wherever possible during construction

All soil stockpiling shall include sediment control devices and shall be placed in areas away from surface waters or natural buffers.

### Special Waters, Impaired Waters, & TMDL Implementation Plans:

The site is not located within 1 mile of a special water or an impaired water as identified by the MPCA. All disturbed areas not actively being worked must be stabilized within 14 days. The Owner is responsible for the long term maintenance of all stormwater treatment facilities and private storm sewer systems. Inlet protection, silt fence, final stabilization, and other BMPs must be implemented prior to allowing any water runoff from being discharged off-site.

### Calculations:

Disturbed Area	2.69 AC
Pre-Construction Impervious Area	0.00 AC
Post-Construction Impervious Area	0.80 AC

### Sequence of Construction:

The Contractor shall verify that all applicable permits have been obtained and the NPDES/SDS Construction Permit has been submitted to the MPCA prior to the start of construction.

- The Contractor must plan for and implement appropriate construction phasing, vegetated buffer strips, horizontal slope grading, and other construction practices that minimize erosion. The location of areas not to be disturbed are shown on the plans.
- The Contractor shall be responsible for full implementation and maintenance required by the SWPPP until the Notice of Termination (NOT) is approved by the MPCA.
- The Contractor shall construct erosion and sediment control BMPs in the following construction sequence:
  - Install rock construction entrances where indicated in the plans.
  - Install silt fence and inlet protection where indicated in the plans.
  - Install silt fence around proposed infiltration and bioretention BMPs to protect soils from compaction.
  - Locate portable toilets on flat surfaces away from drainage paths. Position portable toilets so they are secure and will not tip or be knocked over.
  - Construct concrete washout area and provide signage.
  - Establish waste control areas.
  - Construct diversions to sediment basins.
  - Rough grade site.
  - Leave disturbed area of site in a roughened condition to limit erosion. Temporarily stabilize areas that will be inactive for a period of 14 days.
  - Install storm drainage system and place inlet protection as each inlet is installed. Energy dissipation devices shall be installed and functional within 24 hours of connecting pip outlets to surface waters.
  - Protect and repair BMPs, as necessary.
  - Perform street sweeping as needed.
  - Temporarily stabilize areas not actively being worked.
  - Site construction (Utilities, paving, buildings, etc...)
  - Final grading.
  - Final stabilization (seeding, planting). Stabilized soil with the seed mix indicated on the plans.
  - Remove temporary sediment basins when permanent cover has reduced the acreage of disturbed soil to less than five (5) acres draining to a common location.
  - Construct stormwater infiltration basins and bioretention basins only when contributing drainage area has been constructed and fully stabilized.
  - Remove erosion control devices upon site establishment in accordance with the NPDES/SDS Notice of Termination (NOT) requirements.

### Final Stabilization:

Final stabilization is not met until all of the following are completed:

- Stabilization by uniform perennial vegetative cover (70% density of it's expected final growth). The seed mix indicated on the plan or sod shall be used for final stabilization.
- Permanent stormwater management system is constructed, meets all requirements, and is operational.
- Drainage ditches are fully stabilized.
- All temporary synthetic and structural BMPs are removed.

CONTACTS		
AGENCY	NAME	PHONE NUMBER
Anoka County	Administrator	763-576-2700
DNR Waters	Janel Miersch	(218) 739-7576 ext. 232
ACOE	St. Paul Office	(651) 290-5375
State Duty Officer	MPCA	(800) 422-0798
SWPPP Designer	Nicholas Knutson	(320) 460-7104
Erosion Control Review	Michael Gerber, PE	(320) 227-0204
Erosion Control Supervisor	TBD	
LOCATION OF SWPPP REQUIREMENTS		
DESCRIPTION	TITLE	SHEET # OR SPECIFICATION SECTION
Receiving Surface Water	NA	C101
Final Stabilization	Erosion Control Plan	C201
Drainage Plans	Site Grading & Utility Plan	C101
Drainage Details	Details	C301
Erosion Control Sheets	Erosion Control Plan	C201
Erosion Control Details	Details	C301
Erosion & Sediment Control Quantities	Erosion Control Plan	C201



# Anoka County

## TRANSPORTATION DIVISION

Highway

Kendra Lindahl  
 City of East Bethel  
 2241 221<sup>st</sup> Ave NE  
 East Bethel, MN 55011

February 18, 2025

RE: Preliminary Plat – Blanco De Cola Pradera

Dear Kendra,

We have reviewed the Preliminary Plat for Blanco De Cola Pradera to be located north of CSAH 22 (Viking Boulevard NE) and east of Naples Street NE within the City of East Bethel, and I offer the following comments:

- An additional 10 feet of right of way along CSAH 22 will be required for future reconstruction purposes (60 feet total right of way width north of CSAH 22 centerline).
- As proposed, the plat will introduce three new residential access points onto county roads. This is acceptable because access to a City Street does not seem feasible. The proposed access locations on CSAH 22 are acceptable to this department.
- No other access points onto CSAH 22 will be permitted for this plat and the right of access along CSAH 22 should be dedicated to Anoka County with the exception for the proposed new residential access points. Any existing driveways and field entrances shall be removed, and the ditch section restored to match existing depth, slope, and grades.
- Internal site grading shall not commence until the requested ACHD Engineering plan approvals are received and the applicable permits can be issued.
- County Ditch #56, Branch 1, runs through the north end of the property and may not be altered without first submitting detailed plans to the appropriate agencies and obtaining their permission as well as permission from the County Engineer.
- Any utility relocation in the CSAH 22 right of way will be required to be coordinated directly by the city/developer.
- Please note that no plantings or private signs will be permitted within the county right of way and care must be exercised when locating private signs, building, structures, plantings, berms, etc. outside of the county right of way, so as not to create any new sight obstructions for this section of CSAH 22.

ACHD would like to work with local governments in promoting compatibility between land use and the county highway system. It should be recognized that residential land uses located adjacent to County highways often results in complaints about traffic noise. Existing and/or future traffic noise from CSAH 22 could exceed noise standards established by the Minnesota Pollution Control Agency (MPCA), the U.S. Department of Housing and Urban Development, and the U.S. Department of Transportation. Minnesota Rule 7030.0030 states that

Our Passion Is Your Safe Way Home

1440 Bunker Lake Boulevard N.W. ▲ Andover, MN 55304-4005  
 Office: 763-324-3100 ▲ Fax: 763-324-3020 ▲ www.anokacounty.us/highway  
 City Council Packet, page 51

Affirmative Action / Equal Opportunity Employer

municipalities are responsible for taking all reasonable measures to prevent land use activities listed in the MPCA's Noise Area Classification (NAC) where establishment of the land use would result in violations of established noise standards. It is advised that the City and the Developer assess the noise situation for this development as it is proposed to be located directly adjacent to CSAH 22 and take the level of action deemed necessary to minimize the impact of any highway noise by incorporating the appropriate noise mitigation elements into the design and phasing of this plat as applicable.

The ACHD Engineering Plan Review process will apply to this site. The following items should be submitted to Brandon Ulvenes, Engineer II, [Brandon.Ulvenes@anokacountymn.gov](mailto:Brandon.Ulvenes@anokacountymn.gov) (checklist and payment information are available on our website: <https://www.anokacountymn.gov/4072/Development-Review>):

- Construction plans
- Utility relocation plans
- Traffic Control plans
- Grading and erosion control plans
- Drainage calculations – Note that the post-developed rate/volume of runoff must not exceed the pre-developed rate/volume of runoff for the 10-year critical design storm
- ACHD Design Requirements Checklist
- Engineering plan review fee (estimated at \$150.00)

Following completion of the ACHD Engineering Plan Review process, the contractor(s) who will be completing any work within the county right of way must begin the ACHD Permit process. One permit for Work within the County Right of Way (\$150.00) and three Residential Access permits (\$150.00 each) must be obtained prior to the commencement of any construction. License permit bonding, methods of construction, design details, work zone traffic control, restoration requirements and follow-up inspections are typical elements of the permitting process. Contact Sue Burgmeier via phone at 763.324.3176 or via email at [HighwayPermits@anokacountymn.gov](mailto:HighwayPermits@anokacountymn.gov) for further information and to coordinate the ACHD Permit process.

Thank you for the opportunity to comment. Feel free to contact me if you have any questions regarding this review.

Sincerely,



Logan Keehr, PE  
Traffic Engineer II

xc: CSAH 22/Plats+Developments/2025  
Jerry Auge, Assistant County Engineer  
David Zieglmeier, County Surveyor  
Sean Thiel, Traffic Engineering Manager  
Sue Burgmeier, Traffic Technician  
Brandon Ulvenes, Engineer II



**Main Office:**  
 3601 Thurston Avenue, Anoka, MN 55303  
 Phone: 763/427-5860 Fax: 763/427-0520  
 www.haa-inc.com



February 19, 2025

Kendra Lindahl, AICP  
 Landform  
 105 5th Avenue South, Ste. 513  
 Minneapolis, MN 55401

RE: Preliminary Plat Review No. 1 – Blanco De Cola Pradera

Dear Kendra:

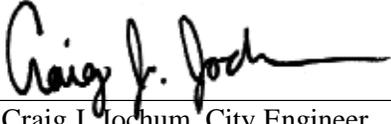
As requested, we have reviewed the Preliminary Plat information submitted for the proposed plat of Blanco De Cola Pradera. We offer the following comments:

1. Chapter 66 of the City Code and the WMO requires an MNRAM for the onsite wetlands. The MNRAM is also used to determine the wetland buffer width per City Code 66-155-Table 1. Add the buffers to the plans.
2. This site will require a NPDES construction permit. Acquire the permit before the start of construction. Provide double perimeter controls where needed for grading adjacent to the wetland areas.
3. Provide a lot tabulation for each lot to tabulate estimated high groundwater, low floor, low opening, garage floor, high water elevation, emergency overflow, etc. Estimated high ground water shall be based on mottling or provide a soils/groundwater investigation from a certified geotechnical engineer establishing the high groundwater for each lot. The minimum acceptable lowest floor elevation for new construction of residential is three feet above the highest known water table, mottled soil or 100-year floodplain elevation, whichever is highest.
4. Provide a Stormwater Management Plan that is certified by a licensed Minnesota professional engineer.
5. The driveway accesses and culvert construction along with the proposed right-of-way width need to be approved by the Anoka County Highway Department. Provide an approval letter from the county.
6. Set the high-water level (HWL) for the four wetlands within the lots and the large wetland on the north side of the plat. The HWL shall be set at or above the overflow. Alternately provide an ATLAS 14 Model and 10-day snowmelt analysis to set the HWL if it is landlocked.
7. The culvert at the midpoint of the driveway on Lot 3 flows to the wetland on lot 2 which will help maintain the hydrology to this wetland. Provide a drainage and utility easement from Lot 3 to the wetland on Lot 2. Also, there are additional culverts and overflows from this wetland and continuing to the large wetland on the northside of the plat. Provide drainage and utility easements along this drainage way. It appears that with some minor grading the overflows from the wetland on Lot 2 to the wetland to the north could be provided along the lot lines which would be the preferred design instead of through the center of the lots.
8. According to the county LIDAR, in the county ditch, there is a 914 elevation just east of the plat. The ditch appears to drain to a low point which is at the midpoint of Lot 2 where it then drains north. Verify and provide details on how the ditch drains and if any additional easements or grading are required.
9. Verify the required clear zone and site distances for the driveways. Trees shall be cleared in the right of way if required.
10. Provide easements to maintain the drainage way for the property to the west of Lot 1.

Kendra Lindahl  
February 19, 2025  
Page 2

If you have any questions, please call me at 763-852-0485.

Sincerely,  
Hakanson Anderson

A handwritten signature in black ink that reads "Craig J. Jochum". The signature is written in a cursive style with a long horizontal flourish extending to the right.

---

Craig J. Jochum, City Engineer



**City of East Bethel  
City Council Meeting  
Agenda Item Information**



**Date:** March 10, 2025

**Agenda Item Number:** 7.0 A.3

**Request:** A Zoning Map Amendment to rezone the property located at 22206 Durant St. NE from RR-Rural Residential to A- Agriculture (city file 25-007)

**Review Deadline:** April 5, 2025

**Background/Context:**

The City received an application from the property owner to rezone the property located at 22206 Durant St NE.

The 29.82-acre property is guided Rural Residential and zoned RR- Rural Residential. The property to the north, south, and east are all guided and zoned the same. The property to the west is guided Agricultural and zoned A-Agriculture.

The applicant intends to continue using the property as they have in the past. During a phone call with staff the applicant indicated that they are requesting the rezoning to be exempt from the accessory building size limits for agriculture related accessory structures. If approved they would build additional structures.

**Planning Commission Review:**

The Planning Commission reviewed the item and held a public hearing at the February 25, 2025, meeting. The applicant was present and no other members of the public spoke at the meeting. The Planning Commission voted 4-0 to recommend approving the rezone request.

**Analysis:**

The City has a relatively high level of discretion in approving or denying a rezoning application. The proposed zoning for a property must be consistent with the City's Comprehensive Plan. If the proposed zoning is not consistent with the Comprehensive Plan, the City must deny the rezoning application. The Zoning Ordinance and Map are the enforcement tools used to implement the goals and standards set in the Comprehensive Plan.

The City Council should evaluate the request for compliance with the ordinance standards in Section 04, Subd. 11. (D) as noted below:

*1) The planning commission shall consider possible adverse effects of the proposed amendment. Its judgment shall be based upon, but not limited to, the following:*

*a) The proposed action has been considered in relation to the specific policies and provisions of, and has been found to be consistent with, the city comprehensive plan;*

The purpose of the Rural Residential land use classification is to "...retain a traditional rural atmosphere by retaining large lot sizes. This land will preserve valuable environmental resources and will not be developed at urban densities." Whereas, the purpose of the Agricultural District is to "allow agricultural activities that are compatible with adjacent rural residential land uses and which promote the rural atmosphere of the community until such time as the land may be developed for other appropriate rural uses. No more than one single-family dwelling is permitted per lot." The Comprehensive Plan notes that both zoning districts

are appropriate in the Rural Residential classification. This land is outside of the Metropolitan Urban Service Area (MUSA) and is generally at a density of one unit per 10 acres.

The proposal is consistent with the comprehensive plan.

*b) The proposed action meets the purpose and intent of this chapter and in the case of a map amendment, it also meets the purpose and intent of the individual district;*

The Agricultural zoning district purpose is to “allow agricultural activities that are compatible with adjacent rural residential land uses and which promote the rural atmosphere of the community until such time as the land may be developed for other appropriate rural uses. No more than one single-family dwelling is permitted per lot.” The applicant has agricultural activity on site.

The property to the west of the subject parcel is also zoned Agricultural.

The proposal is consistent with the Agricultural zoning district purpose and standards.

*c) There is adequate infrastructure available to serve the proposed action;*

There is adequate infrastructure to serve the site. The property is currently served by private well and septic. No change is proposed. The existing street access would remain the same.

*d) There is an adequate buffer or transition between potentially incompatible districts;*

The parcels surrounding this are guided Rural Residential and zoned either RR or A.

*e) The proposed type of building development is in the best interest of the entire city;*

There is no building development proposed with this rezoning request.

*f) The proposed action will not adversely affect property values; and*

There is no plan to change or expand the current use of the property. The applicant has verbally indicated that the intent of the rezoning is to allow construction of additional agriculture buildings on site.

Section 14 of the Zoning Ordinance exempts property from certain accessory structure standards in the following circumstances:

*Properties within the A zoning district are exempt from architectural and design requirements provided the building is used exclusively for agricultural use and is constructed in accordance with all other zoning ordinance regulations. (underline added)*

Agricultural building is defined as “A structure on agricultural land designed, constructed, and used to house farm implements, livestock, or agricultural produce or products used by the owner, lessee, or sub-lessee of the building and members of their immediate families, their employees, and persons engaged in the pickup or delivery of agricultural produce or products.”

Agricultural use is defined as “ The production for sale of livestock, dairy animals or dairy products, poultry or poultry products, fur-bearing animals, horticultural or nursery stock, fruit, vegetables, forage, grains, or bees and apiary products.”

The applicant has not provided the City with any information to ensure that the proposed buildings would in fact be exempt from the performance standards, but that would be reviewed at the time of building permit.

*g) The proposed action is in the interest of the health, safety, and welfare of the public*

The site will remain in a similar state as it is today and would not impact the health, safety and welfare of the public.

**Summary:**

The applicant's request for the rezoning aligns with the comprehensive plan.

Alternatively, the City Council could find that the rezone is unnecessary given the similarity in lot standards and uses without further information from the applicant and that the existing zoning is more appropriate to implement the comprehensive plan.

**City Council Recommendation:**

Move to adopt Ordinance 2025-01 for the approval of the request to rezone the property located at 22206 Durant St. NE from RR-Rural Residential to A- Agriculture, as recommended by the Planning Commission.

**Attachments:**

1. Ordinance approving the rezoning request
2. Location Map
3. Aerial of Property
4. 2040 Future Land Use Plan
5. Zoning Map
6. Public Comment

**City Council Action:**

Motion by: \_\_\_\_\_

Second by: \_\_\_\_\_

Vote Yes: \_\_\_\_\_

Vote No: \_\_\_\_\_

**CITY OF EAST BETHEL  
COUNTY OF ANOKA  
STATE OF MINNESOTA**

**ORDINANCE NO. 2025-01**

THE CITY COUNCIL OF THE CITY OF EAST BETHEL DOES HEREBY ORDAIN AS FOLLOWS:

CITY CODE APPENDIX – A, ZONING

ZONING MAP DATED SEPTEMBER 13, 2024

The Official Zoning Map of the East Bethel Zoning Ordinance is hereby amended to change the zoning classification of property identified as PID #02-33-23-44-0001 (22206 Durant Street NE) from RR - Rural Residential to A-Agriculture.

The Zoning Administrator is hereby directed to make the appropriate changes to the Official Zoning Map to reflect the change in zoning classification.

All other Titles, Chapters and Sections of the City Code shall remain as written and adopted by the City of East Bethel City Council.

Adopted this 10<sup>th</sup> day of March, 2025 by the City Council of the City of East Bethel.

CITY OF EAST BETHEL

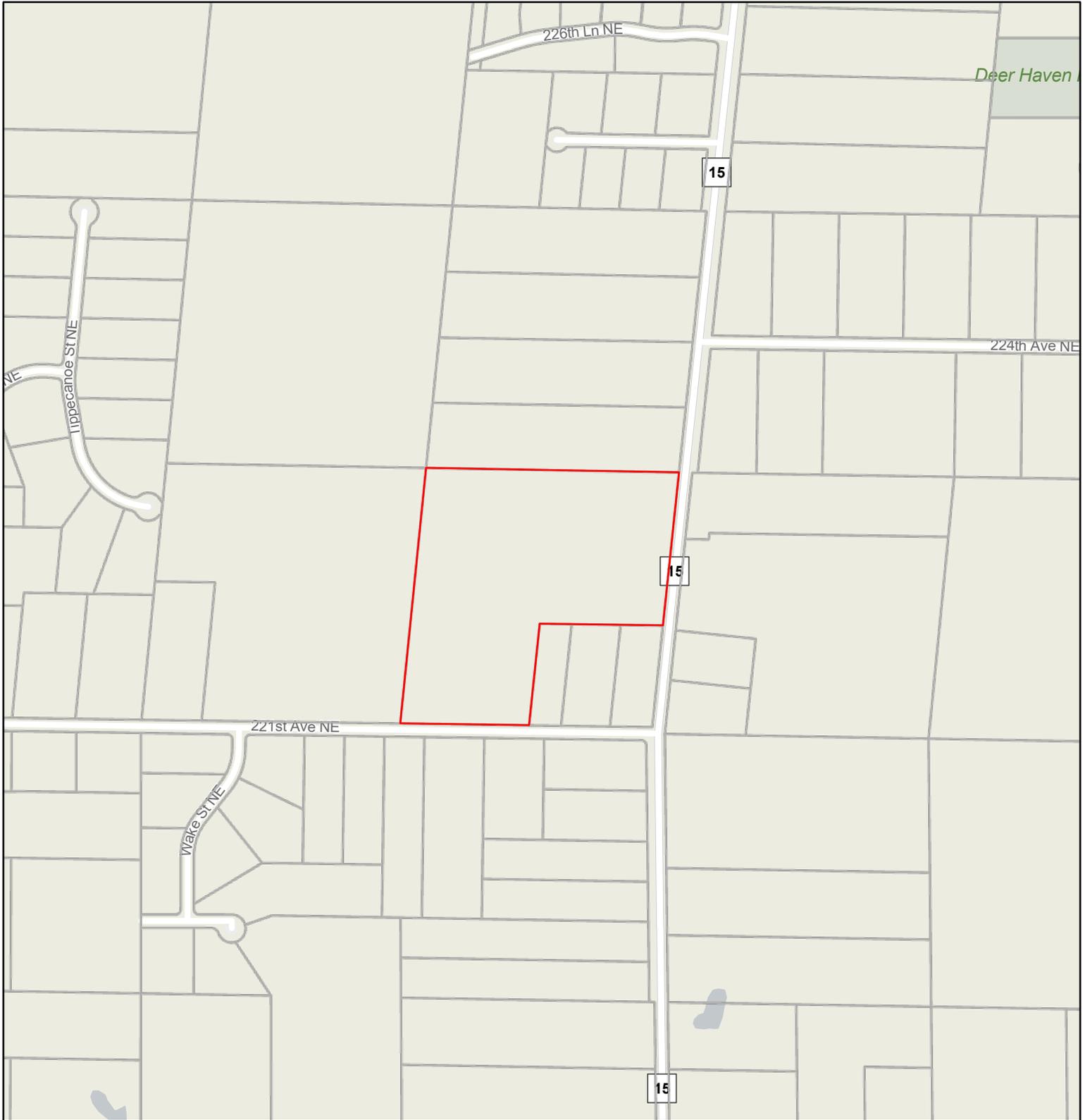
ATTEST

\_\_\_\_\_  
Ardie Anderson, Mayor

\_\_\_\_\_  
Matt Look, City Administrator

# Rezone Request

Item 7.0 A.3, Attachment



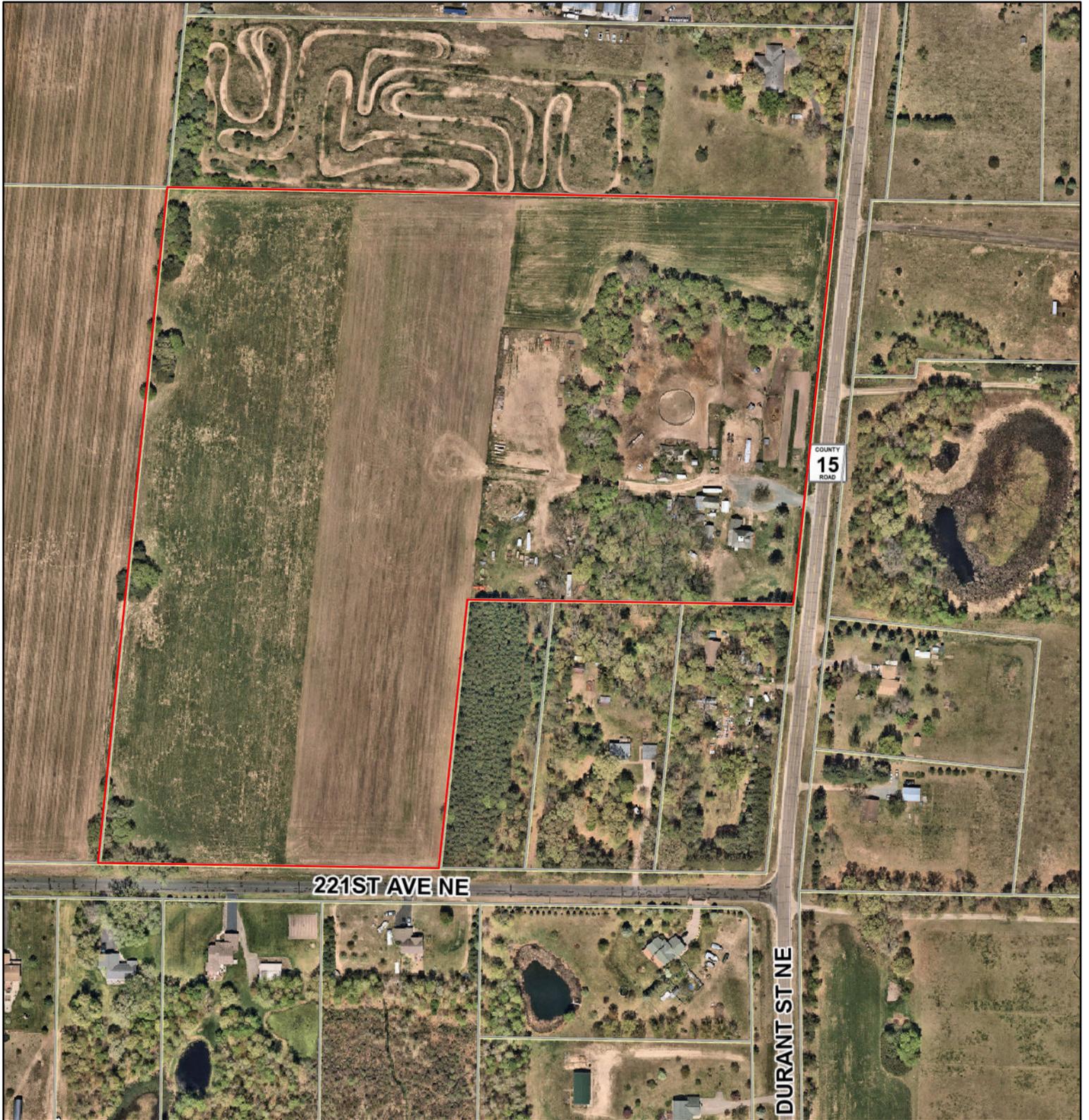
-  Parcels
-  City Mask

1 inch equals 958 feet



# Aerial Map- Rezoning

Item 7.0 A.3, Attachment



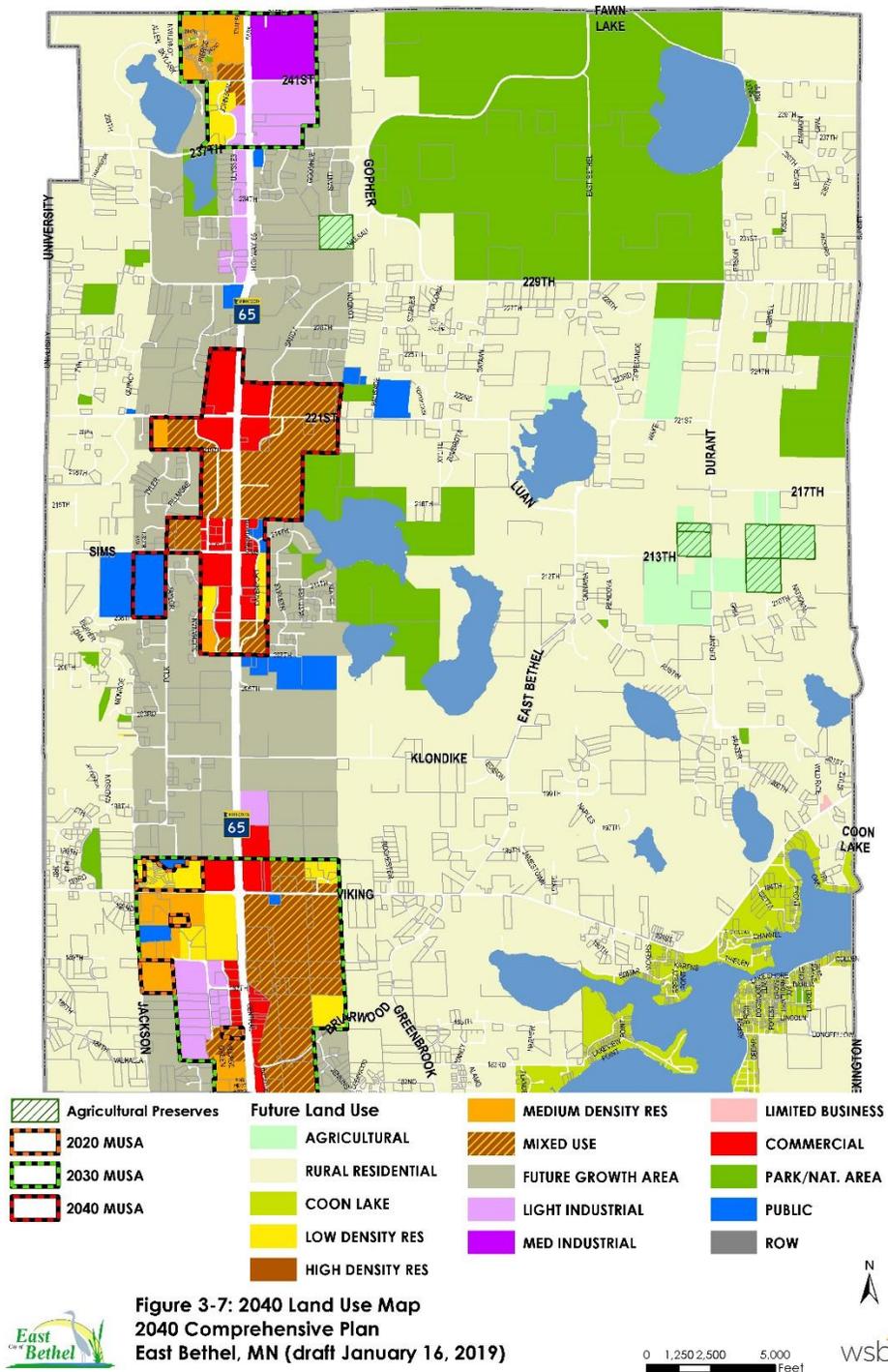
-  Parcels
-  City Mask

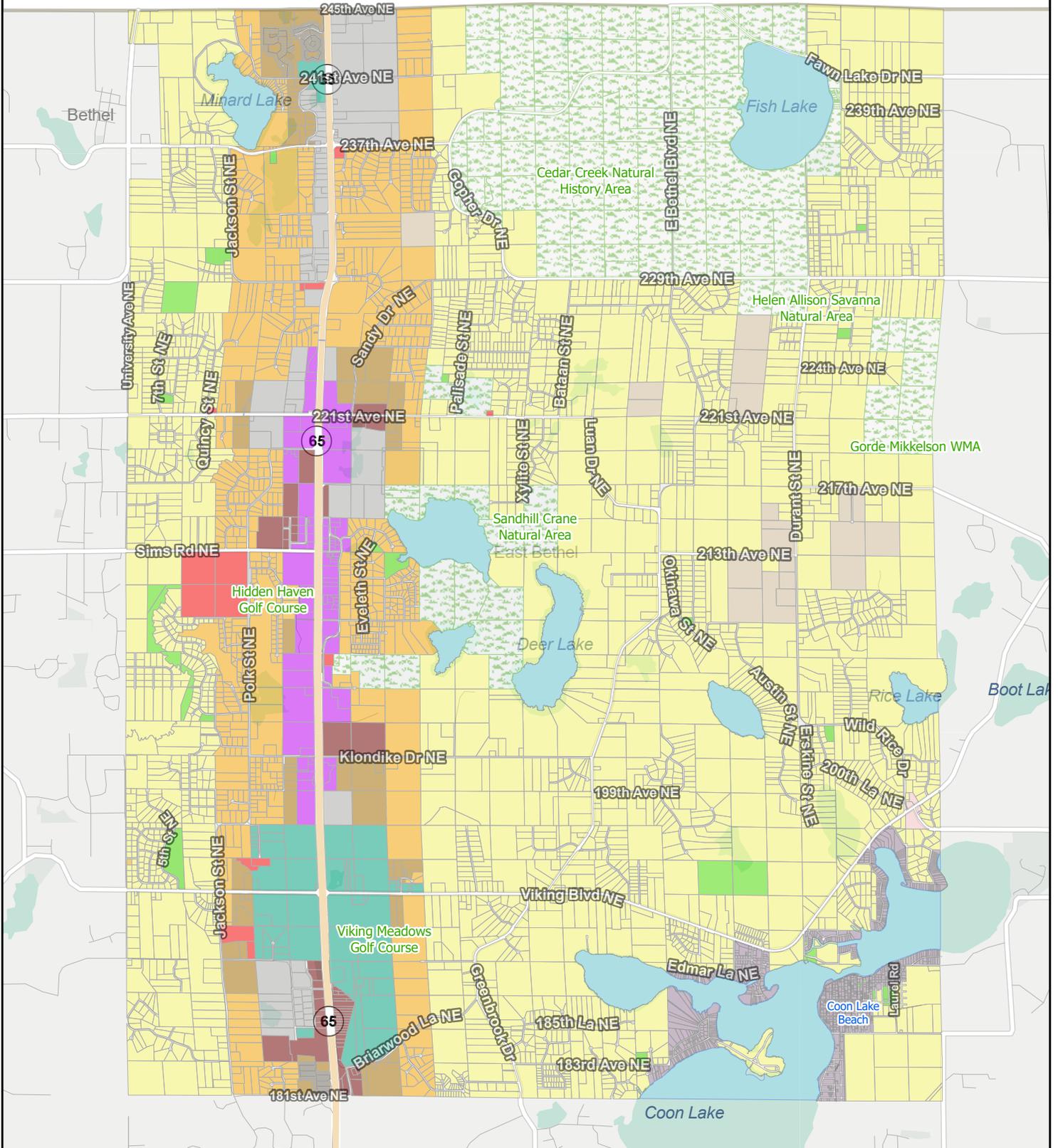
1 inch equals 362 feet



East Bethel 2040 Comprehensive Plan Chapter 3: Land Use Plan

FIGURE 3-7: 2040 PLANNED LAND USE





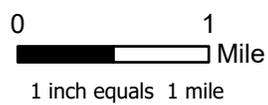
Zoning	B-3 - Highway Business	R-1 - Single Family Residential	Park/Open Space
AG - Agriculture	I - Light Industrial	R-2 - Single Family & Townhome Residential	Natural Area
B-1 - Limited Business	MXU - Mixed Use	CL - Coon Lake	ROW
B-2 - Central Business	RR - Rural Residential	Public/Institutional	Water



# Official Zoning Map

Adopted September 13, 2024  
City of East Bethel, MN

City Council Packet, page 62



**From:** [Naomi Benjamin](#)  
**To:** [Kendra Lindahl, AICP](#)  
**Subject:** 22206 Durant St NE  
**Date:** Friday, February 14, 2025 11:07:55 AM

---

Dear Ms. Lindahl,

I am writing to communicate my wholehearted support for the zoning amendment requested by the Slaters. We live at 22054 Durant St NE and moved here because we wanted to be surrounded by agriculture, farming, and rural homesteads. We purchase our honey from the Slaters and love that we know the bees may have visited our plants and flowers, and love that our neighbors are continuing to grow and expand in their agricultural endeavors.

Thank you! Naomi Benjamin

**City of East Bethel  
City Council Meeting  
Agenda Item Information**



**Date:** March 10, 2025

**Agenda Item Number:** 8.0 A.1

**Request:** Consider a Draft Ordinance Amendment to address “barndominiums” in East Bethel

**Review Deadline:** N/A

**Background Information:**

Staff has been asked to explore possible ordinance amendments to address “barndominiums” in East Bethel.

At the February 10, 2025 City Council meeting, Staff presented preliminary information to help define Council goals for the ordinance changes. This has been expressed as a priority for the Council and this draft ordinance is an attempt to address the comments and concerns expressed by the Council at the previous meeting.

**Analysis:**

Following the previous City Council meeting, Staff developed the proposed ordinance amendment to allow barndominiums in the A and RR zoning districts.

Staff has worked to identify the specific sections of the code that will need to change to address the main issues (Size, Architecture, Home Occupations) with the current ordinance when discussing barndominiums. Staff recommends the following changes with underlined text for the proposed additions to the City Code and ~~struck through~~ text for the deletions. The specific code sections from Appendix A (The Zoning Ordinance) are as follows:

1. Section 1 subd. 9 (Definitions)

This section will change as the ordinance redlines develop and will be a final step in the process. However, two major changes needed right away are a definition for “barndominium” and updating the definition of “Accessory structure” to make it clearer it is both for “detached” and “attached” structures. Additionally, other specific definitions that should be called out include:

*Barndominium: A single-family detached principal residential structure dwelling with attached shops or storage areas and usually built using a post frame method of construction.*

*Garage: A detached or attached accessory building designed or used for the parking and storage of vehicles owned and operated by residents of the principal structure on the same lot.*

*Home occupation: An occupation carried on in a dwelling unit or detached accessory building by the resident, which is clearly secondary to the principal use.*

*Principal building or use: The main use of buildings or land in which the principal use of the property is conducted.*

Finally, throughout the zoning code, building and structure are used interchangeably. This causes unnecessary confusion and should be updated as part of as they do have the following definitions in the zoning ordinance:

*Building:* Any structure having a roof supported by columns or walls for the shelter or enclosure of persons, animals, or property.

*Structure:* Anything constructed or erected, the use of which requires location on the ground or attachment to something having location on the ground.

Using the definitions in the ordinance, all buildings are structures but not all structures are buildings. The scope of this effort is limited, but as part of a future update, the City should review the terms to ensure that they are used consistently and accurately throughout the ordinance.

2. Section 10 (General Development Regulations) subd. 19 (Home Occupations) and 32 (Residential accessory buildings greater than 1,000 square feet)

The Home Occupation subdivision is a section that was identified from previous discussions with the Council. A need was identified to ensure home occupations could continue to be monitored and enforced even if barndominiums were to increase in frequency. For all types of home occupation permits, there is a provision found below:

*i. The area set aside for the home occupation in the principal structure shall not exceed 50 percent of the gross living area of the principal structure.*

With any type of housing this would restrict the amount of a principal structure that may be used for the home occupation purpose. For example, a 2,000 sq. ft. house with a 1,000 sq ft attached garage could only use 500 sq. ft. of the attached garage for the home occupation. This would generally prohibit home occupation from occurring on the lot in a detached accessory structure.

The Council should discuss whether this threshold should still stand, or if the number should be changed. The Council may also want to explore home occupations further and the ordinance at a later date during a comprehensive zoning ordinance update.

3. Section 13 (General Building standards)

This section contains the standard architecture and design requirements for residential structures in East Bethel. Currently, for single-family homes, the code allows the following for materials:

*The exterior walls of all single-family residences shall be similar in appearance to normal wood, vinyl siding, or masonry residential construction*

Metal siding is not mentioned and would not be considered a “similar in appearance material” when compared to the approved list.

Examples from Menards barndominium designs and a cut sheet of the metal siding used in their designs are attached to this report. While they offer three metal siding panel options, the proposed ordinance changes would only allow two of the choices due to the desire to require hidden fasteners for a more residential appearance. The Council should give direction on if they want to either allow metal siding of any type for all single-family dwellings or only for barndominiums in East Bethel.

4) Barndominiums may use metal siding provided it complies with the following:

a. the panels have been treated with a factory applied color coating system to prevent against any fading or degradation.

b. Have concealed fasteners.

- If the desire is to allow metal siding on all homes in East Bethel, then staff finds that calling out barndominiums as a different use is unnecessary. Other sections of the code would regulate size, placement, and ratio of garage or shop space to living area.

4. Section 14 (Detached Accessory Structures)

This section implies throughout that it applies to both “detached” and “attached” accessory structures. Because of this, the section title should be renamed, and the subdivisions reordered to clearly label which items apply to each type of accessory structure or to both. The goal of these changes is to understand the original intent of the ordinance and make it clear for both staff and the public when reading the code.

Staff found that the size and number of detached accessory structures is generally consistent with similar and nearby communities, as well as the design requirements. Additionally, staff finds that the size restrictions provided in the code are intended for detached buildings only, and not attached.

Currently, East Bethel requires a minimum of a 24 ft x 24 ft (576 sq. ft.) garage for each dwelling unit for single-family, two-family, and townhome residential uses. The code also regulates the minimum floor area for uses in all districts. The provision added shown below would help regulate attached building size when you begin to get to larger lots:

A. Size of attached accessory ~~structure~~ building:

1) Attached accessory buildings, including garages, with a footprint of less than 1,000 square feet shall not be considered as part of the maximum footprint for purposes of the detached accessory structure calculations. However, attached accessory building space in excess of the initial 1,000 square feet shall be counted towards the maximum allowable detached accessory building footprint.

This addition would help regulate extra large garages for any residential use type, including barndominiums. Staff feels that any additional restrictions would be unnecessary as lot size, setback requirements and minimum living space floor area standards for each district would self-regulate and prevent absurdly large garage spaces attached to homes. The existing restrictions would also make it difficult to build a barndominium type home outside of the A and RR districts due to setbacks and size restrictions on urban lots.

When looking at the Menards examples of barndominiums, the range of total square footage ranges from 2,900 sq. ft. to 6,000 sq. ft. including garage and living area. Additionally, the garages range from 570 sq. ft. to over 3,500 sq. ft. total. Comparing the garage size to the living space size however shows a wide variation.

The smallest variation was 1358 sq. ft. home attached to a 570 sq. ft. garage, or a home with 29% dedicated to garage space. This is typical of many standard single family homes, and not exclusive of

barndominiums. This design would not meet the standards for construction in East Bethel due to the garage size being too small.

The largest variation was 2,776 sq. ft. home attached to a 3,481 sq. ft. garage, or a home with 55.6% garage. This is closer to what the definition used for a barndominium. There are other examples ranging from 50.1% to 55% of the total space dedicated to garage, with some lofted or vaulted ceilings.

Additionally, with the above example ordinance section, the largest barndominium size home example would require a lot size of at least 3.5 acres to build. This would be the 1,000 sq. ft. allowed outright, and an additional 2,481 sq. ft. of detached accessory structures allowed. These types of homes would be restricted to A and RR zones but would limit the size allowed for the attached garage space in the RR district. The RR district allows 2-acre lots.

5. Section 41 (Agricultural District (A)) and Section 42 (Rural Residential District (RR))

Both of these sections will need to include a barndominium as a permitted use to stay cohesive throughout the code. However, if the desire is to allow metal siding anywhere in East Bethel, this call out would be unnecessary.

These changes can be found in the attached draft redline copy of the Zoning Ordinance changes.

**Summary:**

The Council should discuss the proposed changes and whether they meet the concerns they have around regulating barndominiums. Staff believes these changes will address the material and size issues with barndominiums. However, if Council is comfortable with allowing metal siding as proposed in all districts, then the City would not need to define barndominiums as they would be regulated by the size standards in the proposed modifications.

**Attachments:**

1. Draft redlines of Zoning Ordinance
2. MN Building Code Handout
3. Menards Cutsheet Examples
4. Metal Siding Cutsheet Example

**Requested City Council Action:** Discuss and provide direction to staff, so that the amendment can be scheduled for a Public Hearing at the Planning Commission and Council action at an upcoming meeting.

## 9. Definitions.

The following words and terms used in this ordinance shall be defined as follows. Words found in this ordinance not defined in this section shall have the meanings customarily assigned to them by any standard dictionary, except where such a meaning is clearly contrary to the intent of this ordinance.

*Accessory apartment:* An apartment located within a single-family home and is incidental to the principal use to which it is related.

*Accessory storage container:* A container placed outdoors and used for the storage of goods, materials, or merchandise that is used in connection with a lawful principal or accessory use of the lot. The term "accessory storage container" includes, but is not limited to, containers such as boxcars, semi-trailers, roll-off containers, slide-off containers, railroad cars, piggyback containers, and portable moving and storage containers. The term "accessory storage containers" does not include a garage, barn, or storage shed accessory to a dwelling provided such structure is not of a type designed, equipped, or customarily used for over-the-road transport of goods, materials, or merchandise.

*Accessory structure or facility:* Any building or improvement clearly subordinate to a principal use such as garages, sheds, or storage buildings located on the same parcel as the principal structure, including detached and attached buildings.

*Accessory use:* A use which is clearly incidental to, customarily found in connection with, and (except in the case of accessory off-street parking spaces or loading) located on the same parcel as the principal use to which it is related. An accessory use includes, but is not limited to, the following:

- A. Residential accommodations for servants or caretakers.
- B. Swimming pools and private recreational facilities for the use of the occupants of a residence or their guests.
- C. Residential- or agriculture-related storage in a barn, shed, tool room, or similar accessory building.
- D. Interior storage of merchandise normally carried in-stock in connection with a business or industrial use unless such storage is excluded in the applicable district's regulations.
- E. Accessory off-street parking spaces, open or enclosed.
- F. Uses clearly incidental to a main use such as, but not limited to, offices of an industrial or commercial complex located on the site of the commercial or industrial complex.

*Addition:* A physical enlargement of an existing structure, excepting that said physical enlargement shall not be larger than the existing structure.

*Adult uses:* Adult uses include adult bookstores, adult motion picture theaters, adult motion picture rental, adult mini-motion picture theaters, adult companionship establishments, adult conversation/rap parlors, adult health/sport clubs, adult cabarets, adult novelty businesses, adult motion picture arcades, adult modeling studios, adult hotels or motels, adult body painting studios, and other premises, enterprises, establishments, businesses, or places open to some or all members of the public at or in which there is an emphasis on the presentation, display, depiction, or description of "specified sexual activities" or "specified anatomical areas" which are capable of being seen by members of the public.

*Agricultural building:* A structure on agricultural land designed, constructed, and used to house farm implements, livestock, or agricultural produce or products used by the owner, lessee, or sub-lessee of the building and members of their immediate families, their employees, and persons engaged in the pickup or delivery of agricultural produce or products.

Created: 2025-02-19 08:43:31 [EST]

(Supp. No. 25)

*Agricultural business, seasonal:* A seasonal business not exceeding six months in any calendar year operated on a rural farm offering for sale to the general public produce or any derivative thereof grown or raised on the property.

*Agricultural composting:* The direct incorporation by disking or plowing of yard waste into the soil surface of agricultural production lands.

*Agricultural use:* The production for sale of livestock, dairy animals or dairy products, poultry or poultry products, fur-bearing animals, horticultural or nursery stock, fruit, vegetables, forage, grains, or bees and apiary products.

*All-terrain vehicle:* "All-terrain vehicle" or "vehicle" means a motorized flotation-tired vehicle of not less than three low pressure tires, but not more than six tires, that is limited in engine displacement of less than 800 cubic inches and total dry weight less than 900 pounds.

*Alteration:* Any change, addition, or modification in construction or type of occupancy, or in the structural members of a building such as foundations, walls, or partitions, columns, beams, or girders, or any enlargement of a building or structure whether horizontal or vertical.

*Amortization:* The establishment of a time schedule over which the cost of an investment is depreciated.

*Antenna, amateur radio:* Any equipment or device used to transmit, receive, or transmit and receive electromagnetic signals for "amateur radio service" communications.

*Antenna, building-mounted:* Any antenna, other than an antenna with its supports resting on the ground, directly attached or affixed to a building, tank, tower, building-mounted mast less than ten feet tall and six inches in diameter, or a structure other than a telecommunications tower.

*Antenna, minor:* A ground- or building-mounted receive-only radio or recreational vehicle antenna whose total height including any mast to which it is attached is less than 20 feet.

*Antenna support structure:* Any building, pole, telescoping mast, tower, tripod, or any other structure which supports an antenna.

*Apartment:* A suite of rooms or a room in a multiple-family dwelling arranged and intended as a place of residence.

*Applicant:* The owners, their agent, or representative having interest in land where an application for city review of any permit, use, or development is required by this chapter.

*Auto reduction yard:* A lot or yard where one or more unlicensed motor vehicle(s) or the remains thereof, are kept for the purpose of dismantling, wrecking, crushing, repairing, rebuilding, sale of parts, sales of scrap, storage, or abandonment.

*Barndominium:* A single-family detached principal residential structure dwelling with attached shops or storage areas and usually built using a post frame method of construction.

Formatted: Font: Italic

*Base flood:* See Regional flood.

*Basement:* That portion of a building which is partly or wholly below grade but so located that the vertical distance from the average grade to the floor is greater than the vertical distance from the average grade to the ceiling.

*Bed and breakfast:* An owner-occupied private home where accommodations are offered for one or more nights to transients.

*Block:* The property abutting one side of a road or street and lying between the two intersecting or intercepting roads or streets and subdivided acreage.

*Bluff:* A topographic feature such as a hill, cliff, or embankment having the following characteristics:

- 
- A. Part or all of the feature is located in a shoreland area;
  - B. The slope rises at least 25 feet above the ordinary high water level of the water body;
  - C. The grade of the slope from the toe of the bluff to a point 25 feet or more above the ordinary high water level averages 30 percent or greater; and
  - D. The slope must drain toward the water body. An area with an average slope of less than 18 percent over a distance for 50 feet or more shall not be considered part of the bluff.

*Bluff impact zone:* A bluff and land located within 20 feet from the top of a bluff.

*Boathouse:* An uninhabited structure designed and used solely for the storage of boats or boating equipment.

*Boundary fence:* A boundary fence is any fence within five feet of the property line, running parallel to the property line.

*Brew pub:* A brewer who also holds one or more retail on-sale licenses and who manufactures fewer than 3,500 barrels of malt liquor in a year, at any one licensed premises, the entire production of which is solely for consumption on tap on any licensed premises owned by the brewer, or for off-sale from those licensed premises as permitted in Minnesota State Statute, § 340A.24, subdivision 2.

*Buffer:* A strip of land intended to create physical separation between potentially incompatible uses of land or environmentally sensitive areas.

*Buildable lot area, net:* The space remaining on a lot after the setback requirements, area with a slope of 33 percent or more, 100-year floodplain, and drainage easements or wetland have been subtracted.

*Building:* Any structure having a roof supported by columns or walls for the shelter or enclosure of persons, animals, or property.

*Building code:* The Minnesota State Building Code.

*Building height:* The vertical distance measured from the highest adjoining ground level to the highest point of the roof surface for flat roofs, to the deck line of mansard roofs, and to the average height of eaves for gable, hip, and gambrel roofs. Where a building is located on sloping terrain, the height may be measured from the average ground level of the grade at the building wall.

*Building line:* A line parallel to a lot line or the ordinary high water level at the required setback beyond which a structure may not extend.

*Building official:* Appointed by the city council to support the city administrator in the enforcement of the state building code.

*Building permit:* A permit required from the responsible governmental agency before any site work, construction, or alteration to structures can be started.

*Bus:* A vehicle designed for carrying passengers and having a seating capacity of at least 12 persons.

*Certificate of occupancy:* A certificate issued by the building official authorizing the use or occupancy of a building or structure.

*Certificate of survey:* A legal document depicting property information that is signed by a registered land surveyor under Minnesota State Law.

*City:* The City of East Bethel, Minnesota.

*City council:* The governing body of the City of East Bethel, Minnesota.

---

Created: 2025-02-19 08:43:31 [EST]

(Supp. No. 25)

---

*City-supported senior housing:* Residential housing developed in conjunction with block grants or other governmental financial aid intended for the development of senior housing (residential housing restricted to persons age 55 and older) as mandated by the granting authority. City-supported senior housing will consist of multi-unit housing intended to serve senior citizens (persons age 55 and older). It may consist of cooperative housing or rental units managed by the residents thereof or a qualified independent management entity.

*Commercial use:* The principal use of land or buildings for the sale, lease, rental, or trade of products, goods, and services.

*Common open space:* Land held in common ownership used for natural habitat, pedestrian corridors, and/or recreational purposes that is protected from future development.

*Composting:*

*Agricultural:* The direct incorporation by disking or plowing of yard waste into the soil surface of agricultural production lands.

*Residential:* A mixture of decaying organic matter used to improve soil structure and provide nutrients being incorporated into the soil surface.

*Comprehensive plan:* The document entitled "The City of East Bethel Comprehensive Plan," adopted October 13, 2000, as amended, or as hereafter revised or superseded by new comprehensive plans.

*Conditional use.* See Use, conditional.

*Condominium:* An estate in real property consisting of an undivided interest in common with other purchasers in a portion of [a] parcel or real property, together with a separate interest in space in a building.

*Conservation easement:* An interest in real property created in a manner that imposes limitations or affirmative obligations in regard to the use of property including the retention, protection, and maintenance of natural resources, open space, and agriculture.

*Construction debris:* Concrete, blacktop, bricks, stone facing, concrete block, stucco, glass, structural metal, and wood from demolished structures. It shall also include waste building materials, packaging and rubble resulting from construction, remodeling, repair and demolition of buildings and roads, and any material as defined by the Minnesota Pollution Control Agency (MPCA) or permitted for deposit in construction debris disposal facilities by said agency or by Anoka County such as, but not limited to, foundry sand, waste shingles, tree waste, water treatment plant lime sludge, and street sweepings.

*Contiguous:* Parcels of land that share a common lot line or boundary.

*Craft brewery:* A brewer that holds a taproom license and is limited to brew no more than 250,000 barrels annually as permitted in Minnesota State Statute, § 340A.

*Craft center:* A place designated to serve individuals and groups by offering indoor crafts such as knitting, quilting, scrapbooking, and other similar uses.

*Crematorium or crematory:* A place where bodies are consumed by incineration and the ashes of the deceased are collected for permanent burial or storage in urns.

*Deck:* A horizontal, unenclosed platform with or without attached railings, seats, trellises, or other features, attached or functionally related to a principal use or site and at any point extending more than 30 inches above ground.

*Density:* The number of dwelling units permitted per acre of new developable acres of land as regulated by the applicable zoning district.

*Density units:* The number of individual dwelling units that can be located on a parcel of land as established through the use of [a] yield plan. For the purpose of this chapter, a multifamily residential dwelling is considered as

---

Created: 2025-02-19 08:43:31 [EST]

(Supp. No. 25)

---

having, as many density units as there are individual dwelling units regardless of whether those units are attached or detached.

*Drive-through:* Any use where products and/or services are provided to the customer under conditions where the customer does not have to leave the car or where service to the automobile occupants is offered regardless of whether service is also provided within a building.

*Driveway access permit:* A permit required from the responsible governmental agency that allows access onto a public road. Such permit must be acquired prior to construction and the issuance of a building permit.

*Disposal facility:* A waste facility that is designed or operated for the purpose of disposing of waste on or in the land, together with any appurtenant facilities needed to process waste for disposal.

*Dwelling:* A building of one or more portions thereof occupied exclusively for human habitation, but not including rooms in hotels, motels, or bed and breakfasts (also see Dwelling unit).

*Dwelling, attached, single-family:* A dwelling that is joined to another dwelling by a common wall.

*Dwelling, detached, single-family:* A dwelling that is entirely surrounded by open space on the same lot.

*Dwelling, townhouse:* A single structure consisting of two or more dwelling units having the first floor at or near the ground level with no other dwelling units or portions thereof above or below, with each dwelling unit connected to each other unit by a single party wall with no openings.

*Dwelling, two-family:* A building designed and used exclusively for occupancy by two families living independently of each other within a dwelling unit.

*Dwelling unit:* Any structure, portion of a structure, or other shelter designed as living quarters for one or more persons and having cooking facilities. Short-term rental or timeshare accommodations such as motel, hotel and resort room and cabins are not considered dwelling units.

*Easement:* Property which is acquired by the city by purchase, gift, devise, condemnation, lease, or otherwise that is used for the expressed purpose of providing access for: public utility installation and maintenance, stormwater drainage, right-of-way, and otherwise. An easement does not provide or allow any other public access or use unless specifically recorded in the legal description.

*Equal degree of encroachment:* A method of establishing the location of floodway boundaries so that floodplain lands on both sides of a stream are capable of conveying a proportionate share of flood flows.

*Erected:* Built, constructed, altered, reconstructed, moved upon, or any physical operations on the premises which are required for the building or structure. Excavation, fill, drainage, and the like shall be considered a part of erection.

*Essential services:* The utilization, construction, alteration, or maintenance by public utilities or municipal departments of underground, surface, or overhead gas, electricity, steam, fuel, water supply or distribution system(s); sanitary sewage disposal system; including accessory facilities necessary for the furnishing of adequate service by such utilities or municipal departments for the general health, safety, or welfare.

*Essential services—governmental uses, buildings and storage:* An area of land or structures used for public purposes, storage, or maintenance, and which is owned or leased by a governmental unit.

*Essential services—utility substation:* A utility use whose function is to reduce the strength, amount, volume, or configuration of utility flow from a bulk wholesale quantity in large-size long-distance transmission lines to small retail qualities in a neighborhood distribution system. These uses include electric substations and telephone switching and relay facilities. Business offices associated with these uses are not included as part of this definition.

*Excavation:* Any breaking of ground, except common household gardening and ground care.

---

Created: 2025-02-19 08:43:31 [EST]

(Supp. No. 25)

*Exterior storage:* The storage of goods, materials, equipment, manufactured products, and similar items not fully enclosed by a building.

*Extractive use:* The use of land for surface or subsurface removal of sand, gravel, rock, industrial minerals, other nonmetallic minerals, and peat not regulated under Minn. Stats. §§ 93.44—93.51.

*Farm:* A tract of land used for any agricultural activity or the raising of livestock or small animals as a source of income.

*Feedlot:* A lot or building or combination of lots and buildings intended for the confined feeding, breeding, raising, or holding of animals and specifically designed as a confinement area in which manure may accumulate, or where the concentration of animals is such that a vegetative cover cannot be maintained within the enclosure. Open lots used for the feeding and rearing of poultry (poultry ranges or operations) shall be considered animal feedlots, but an unrestricted pasture or range shall not be considered animal feedlots.

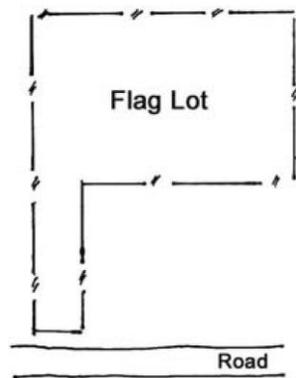
*FEMA:* Federal Emergency Management Agency.

*Fill:* Any act by which soil, earth, sand, gravel, rock, or any similar material is deposited, placed, pushed, or transported, and shall include the conditions resulting thereupon.

*Final plat:* A drawing or map of an approved subdivision that meets all requirements of the Subdivision Regulations.

*Fish house:* A structure set on the ice of state waters to provide shelter while taking fish by angling.

*Flag lot:* A lot with access provided to the bulk of the lot by means of a narrow corridor.



*Flood:* A temporary increase in the flow or stage of a stream or in the stage of a wetland or lake that results in the inundation of normally dry areas.

*Flood frequency:* The frequency for which it is expected that a specific flood stage or discharge may be equaled or exceeded.

*Flood fringe:* The portion of the floodplain outside of the floodway. Flood fringe is synonymous with the term "floodway fringe" used in the flood insurance study for Anoka County.

*Floodplain:* The beds proper and the areas adjoining a wetland, lake, or watercourse which have been or hereafter may be covered by the regional flood.

**Flood-proofing:** A combination of structural provisions, changes, or adjustments to properties and structures subject to flooding, primarily for the reduction or elimination of flood damages.

**Floodway:** The bed of a wetland or lake and the channel of a watercourse and those portions of the adjoining floodplain which are reasonably required to carry or store the regional flood discharge.

**Floor area:** The sum of the horizontal areas of each floor of a building, measured from the exterior faces of the exterior walls or from the centerline of walls separating two attached buildings. The floor area measurement is exclusive of areas of basements, unfinished attics, attached garages, or space used for off-street parking or loading, breezeways, and enclosed and unenclosed porches, elevators, or stair bulkheads and accessory structures.

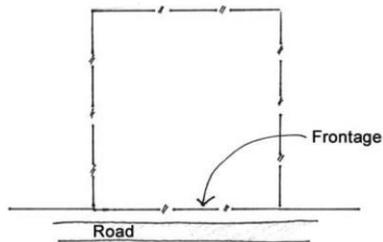
**Florist, commercial:** A building or premises used primarily for the retail sale of flowers and small plants which may not have been grown or raised on the property and does not include greenhouse.

**Food truck:** A mobile food unit (MFU) is a food and beverage service establishment that is a vehicle mounted unit, either motorized or trailered, and readily movable, without disassembling, for transport to another location. The unit can operate no more than 21 days annually at any one place unless it is operated at the site of and in conjunction with a permanent business licensed under Minnesota Statutes, chapter 157 or chapter 28A. All MFU must operate in compliance with the Minnesota food code.

**Footprint:** The area of the land covered by a building's foundation.

**Forest land conversion:** The clear cutting of forested lands to prepare for a new land use other than reestablishment of a subsequent forest stand.

**Frontage:** That boundary of a lot that abuts a public street or private road.



**Funeral home:** A building or part thereof used for funeral services. Such buildings may contain space and facilities for:

- A. Embalming and the performance of other services used in preparation of the dead for burial;
- B. The storage of caskets, urns, and other related funeral supplies; and
- C. The storage of funeral vehicles.

Where a funeral home is permitted, a funeral chapel shall also be permitted. This definition shall not include facilities for cremation.

**Garage:** A detached or attached accessory building designed or used for the parking and storage of vehicles owned and operated by residents of the principal structure on the same lot.

**Garden supply store and nursery yard:** A building or premises used primarily for the wholesale and retail sale of trees, shrubs, flowers, other plants, and accessory products. Accessory products are those products that are used in the culture, display and decoration of lawns, gardens, and indoor plants.

---

*Golf course:* An area of land laid out for golf with a minimum series of nine holes each including a tee, fairway, and putting green, and often one or more natural or artificial hazards.

*Governing body:* The city council.

*Habitable space:* A space in a building for living, sleeping, eating, or cooking. Bathrooms, toilet rooms, closets, halls, storage or utility spaces and similar areas are not considered habitable spaces.

*Hardship:* A property cannot be put to reasonable use if: the conditions of the zoning ordinances are followed; the landowner's particular circumstances are unique and not self-created; and, granting a variance will not alter the essential character of the locality.

*Hazardous waste:* Any refuse, sludge, or other waste material or combination of refuse, sludge, or other waste materials in solid, semisolid, liquid, or contained gaseous form which because of its quantity, concentration, or chemical, physical, or infectious characteristics may cause or significantly contribute to an increase in mortality or serious, irreversible, or incapacitating reversible illness, or which poses a substantial present or potential hazard to human health or the environment when improperly treated, stored, transported, disposed of, or otherwise managed. Categories of hazardous waste materials include, but are not limited to, explosives, flammables, oxidizers, poisons, irritants, and corrosives. Hazardous waste does not include source, special nuclear, or by-product material as defined by the Atomic Energy Act of 1954, as amended.

*Health/recreation facility:* An indoor facility that includes uses such as game courts, exercise equipment, locker rooms, Jacuzzi and/or sauna, and pro shop.

*Home occupation:* An occupation carried on in a dwelling unit or detached accessory building by the resident, which is clearly secondary to the principal use.

*Homeowners association:* A formally constituted nonprofit association or corporation made up of the property owners and/or residents of the development for the purpose of owning, operating, and maintaining the common open space and facilities.

*Hotel:* A building having provision for ten or more guests in which lodging is provided with or without meals, for compensation, and which is open to transient or permanent guests or both, and which ingress and egress to and from all rooms is made through an inside lobby or office supervised by a person in charge.

*Impound lots:* A lot or yard where wrecked or towed vehicles are brought for temporary storage.

*Industrial use:* The use of land or buildings for the production, manufacture, warehousing, storage, or transfer of goods, products, commodities, or other wholesale items.

*Industrial waste:* Solid waste resulting from an industrial, manufacturing, service, or commercial activity that is managed as a separate waste stream.

*Infectious waste:* Laboratory waste, blood, regulated body fluids, sharps, and research animal wastes that have not been decontaminated.

*Inoperative vehicle:* A vehicle incapable of movement under its own power.

*Intensive vegetation clearing:* The complete removal of trees or shrubs in a contiguous patch, strip, row, or block.

*Interim use:* Uses that are permitted for a limited amount of time (contain a sunset provision), after approval of the city, if conditions listed in the ordinance are met. Junk yard: An establishment, place of business, or place of storage or deposit, which is maintained, operated, or used for storing, keeping, buying, or selling junk, or for the maintenance or operation of an automobile graveyard, and shall include garbage dumps and sanitary fills not regulated by the MPCA, any of which are wholly or partly within one-half mile of any rights-of-way, whether maintained in connection with another business or not, where waste, or discarded material stored is equal in bulk

---

Created: 2025-02-19 08:43:31 [EST]

(Supp. No. 25)

to five or more motor vehicles and which is to be resold for used parts or old iron, metal, glass, or other discarded material.

*Kenel, commercial:* Any place where a person accepts dogs from the general public and which are kept for the purpose of boarding.

*Kenel, private:* Any place where more than two dogs, over four months of age are kept or harbored, provided such animals are owned by the owner or lessee of the premises on which they are kept or harbored.

*Land clearing:* The removal of contiguous groups of trees and other woody plants in an area of 20,000 square feet or more within any 12-month period.

*Licensed daycare facility:* Any public or private facility required to be licensed by a governmental agency that provides one or more persons with care, training, supervision, habilitation, rehabilitation, or developmental guidance on a regular basis, for periods of less than 24 hours per day, in a place other than the person's own home. Licensed daycare facilities include, but are not limited to: family daycare homes, group family daycare homes, daycare centers, day nurseries, nursery schools, developmental achievement centers, day treatment programs, adult daycare centers, and day services.

*Licensed residential care facility:* Any public or private facility required to be licensed by a governmental agency, that provides one or more persons with 24-hour-per-day care, food, lodging, training, education, supervision, habilitation, rehabilitation, and treatment they need, but which for any reason cannot be furnished in the person's own home. Residential facilities include, but are not limited to, state institutions under the care of the commissioner of human services, foster homes, residential treatment centers, group homes, residential programs, supportive living residences for functionally impaired adults, or schools for handicapped persons. A facility whose primary purpose is to treat juveniles or adults who have violated criminal statutes relating to sex offenses or have been adjudicated adults or delinquents on the basis of conduct in violation of criminal statutes pertaining to sex offenses shall not be considered a licensed residential care facility.

*Lighting:*

- A. *Fixture, outdoor:* Outdoor electrically powered illuminating devices, outdoor lighting or reflective surfaces, lamps and similar devices, permanently installed or portable, used for illumination or advertisement. The fixture includes the hardware that houses the illumination source and to which the illumination source is attached including, but not limited to, the hardware casing. Such devices shall include, but are not limited to, search, spot, and flood lights for:
1. Buildings and structures;
  2. Recreational areas;
  3. Parking lot lighting;
  4. Landscape lighting;
  5. Billboards and other signs;
  6. Street lighting;
  7. Product display area lighting; and
  8. Building overhangs and open canopies.
- B. *Footcandle:* A unit of illumination produced on a surface, all points of which is one foot from a uniform point source of one candle.
- C. *Shielding:* A technique or method of construction permanently covering the top and sides of a light source by a material which restricts the light emitted to be projected below an imaginary horizontal plane passing the light fixture.

Created: 2025-02-19 08:43:31 [EST]

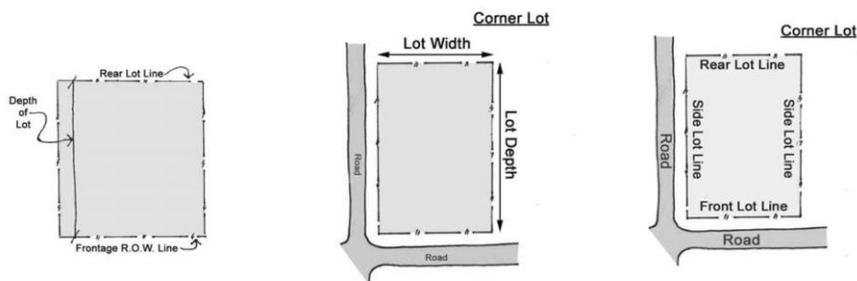
(Supp. No. 25)

- D. *Source*: A single artificial point source of luminescence that emits measurable radiant energy in or near the visible spectrum.
- E. *Outdoor*: Any light source or collection of light sources located outside of a building including, but not limited to, light sources attached to any part of a structure, located on the surface of the ground, or located on free standing poles.

*Lot*: A parcel of land designated by plat, metes and bounds, registered land survey, auditors plat, or other legal means and separate and apart from any other parcel or portion of land, and from right-of-way, public or private.

*Lot area*: Total horizontal area within the lot lines of the lot.

*Lot, corner*: A lot situated at the junction of and abutting two or more intersecting streets or public right-of-ways; or a lot at the point of a deflection in alignment of a single street, the interior angle of which does not exceed 135 degrees.

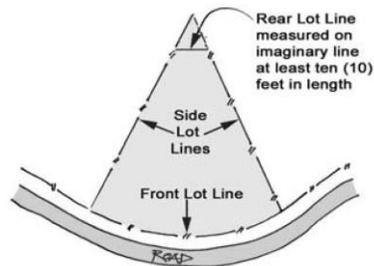


*Lot coverage*: The part or percent of the lot occupied by buildings, including accessory buildings, and other impervious surface. This definition includes, but is not limited to, driveways, patios, and structures.

*Lot depth*: The average horizontal distance between the front and rear lot lines.

*Lot lines*: The lines bounding a lot are defined below:

- A. *Front lot line*: For an interior lot, the line separating the lot from the street. For a corner lot, the lines separating the lot from either street. For a through lot, the lines separating the lot from both streets. On lakeshore lots, the street shall be considered the front lot line.
- B. *Rear lot line*: The lot line opposite the front lot line. In the case of a lot pointed at the rear, the rear lot line shall be an imaginary line parallel to the front lot line, not less than ten feet long lying farthest from the front lot line and wholly within the lot.
- C. *Side lot line*: Any lot line other than the front lot line or rear lot line; the average horizontal distance between the front and rear lot lines.
- D. *Zero lot line*: A lot line dividing two or more dwelling units sharing a common wall.



**Lot of record, buildable:** Any lot which is individually owned and has been recorded in the Office of the Anoka County Recorder as having the minimum area and minimum road frontage required by this ordinance for a building site in the district in which such lot is located.

**Lot, through:** Any lot other than a corner lot that abuts more than one street or street right-of-way. On a through lot, all property lines abutting the street right-of-way shall be considered the front lines.

**Lot width:** The shortest distance between lot lines measured at the midpoint of the building line.

**Manufactured home:** A structure, transportable in one or more sections, which is built on a permanent chassis and designed to be used as a dwelling, with or without a permanent foundation when connected to the required utilities, and includes the plumbing, heating, air conditioning, and electrical systems contained therein; the term includes any structure which meets all the requirements and with respect to which the manufacturer voluntarily files a certification required by the Secretary of the United States Department of Housing and Urban Development and complies with the standards established under Minn. Stats. ch. 327.

**Manufactured home park:** Any site, lot, field, or tract of land upon which two or more occupied manufactured homes are located, either free of charge or for revenue purposes, and shall include any building, structure, tent, vehicle, or enclosure used or intended for use as part of the equipment of the manufactured home park.

**Manufacturing, light:** Establishments involved in the manufacture, processing, fabrication, packaging, assembly or compounding of products where the process involved is usually completely enclosed and without adverse environmental effects.

**Master development plan:** A concept plan of an area adopted by the city council which includes single and/or multiple ownerships of parcel(s) that relate through common objectives and design elements.

**Materials recovery:** The collection, storage, sorting, separation, processing, sale, use, or reuse of discarded materials, substances, or products contained within or derived from waste.

**Medical uses:** Those uses concerned with the diagnosis, treatment, and care of human beings.

**Micro distillery:** A micro distillery may provide on its premises samples of distilled spirits manufactured on its premises, in an amount not to exceed 15 milliliters per variety per person. No more than 45 milliliters may be sampled under this paragraph by any person on any day. May be issued a cocktail room license as permitted in Minnesota State Statute, § 340A.

**Mining:** The excavation, removal, storage, or processing of sand, gravel, rock, soil, clay, or other deposits in excess of one acre.

Created: 2025-02-19 08:43:31 [EST]

(Supp. No. 25)

---

*Mixed municipal solid waste:* Garbage, refuse, and other solid waste from residential, commercial, industrial, and community activities that the generator of the waste aggregates creates for collection. Auto hulks, street sweepings, ash, construction debris, industrial wastes, mining waste, sludges, tree and agricultural wastes, tires, lead acid batteries, used oil, and other materials collected, processed, and disposed of as separate waste streams are not included.

*Mn/DOT:* Minnesota Department of Transportation.

*Motel:* An establishment containing rooming units designed primarily to provide sleeping accommodations for transient lodgers, with rooms having a separate entrance providing direct access to the outside, and providing automobile parking located adjacent to or near sleeping rooms.

*Motor truck:* A single or multiple axle straight frame truck with a maximum gross vehicle weight rating (GVWR) 20,000 pounds or greater.

*Motor vehicle:* The meaning given to it in Minn. Stats. § 168.011, subd. 4, and also includes a park trailer as defined in Minn. Stats. § 168.011, subd. 8, and a horse trailer as defined in Minn. Stats. § 168.27, subd. 1.

*Motor vehicle and/or motorcycle internet distribution sales (only):* A business predicated on sales through internet communication elements of which consist of the following: at least 95 percent of all sales are initiated and secured through internet communication between buyer and seller; the business has no pre-sale acquired inventory; all sales are substantially completed before the product is delivered to the business site for delivery to the customer; there is minimal need for automotive storage on site with the exception of automobiles awaiting customer pickup; there is limited need for exterior storage, and no automotive repair or maintenance is conducted outdoors.

*Motor vehicle dealer:* Any person, firm, or corporation, including licensed used motor vehicle dealers, wholesalers, auctioneers, and lessors of new or used motor vehicles, regularly engaged in the business of selling, purchasing, and generally dealing in new and used motor vehicles, and new and used motor vehicle bodies, chassis-mounted or not, having an established place of business for the sale, trade, and display of new and used motor vehicles, and new and used motor vehicle bodies, and which has new and used motor vehicles and new and used motor vehicle bodies for the purposes of sale or trade.

*Motor vehicle parts:* Retail and wholesale of new auto parts, equipment, and supplies to the general public and the automotive industry.

*Motor vehicle repair, major:* General repair, rebuilding, or reconditioning of engines, motor vehicles, or trailers; collision service including body, frame, or fender straightening or repair, overall painting and upholstering; and/or vehicle steam, cleaning. This definition does not include towing businesses.

*Motor vehicle repair, minor:* Repairs, incidental body and fender work, replacement of parts and motor services to passenger automobiles and trucks not exceeding 12,000 pounds gross weight, but not to include any operation specified under Motor vehicle repair, major.

*Motor vehicle sales:* The sale, offering for sale, display for sale, or facilitating the sale of motor vehicles, new or used.

*Motor vehicle sales lot:* Any lot, site, premises, or establishment where motor vehicles, new or used, are sold, offered for sale, or displayed for sale, or where the sale of motor vehicles is facilitated.

*Motor vehicle service station:* A place for the dispensing, sale, or offering for sale of motor fuel directly to users of motor vehicles, together with the sale of minor accessories and the servicing of and minor repair of motor vehicles.

*Motor vehicle wash:* Premises having a structure for washing and drying vehicles and adequate outdoor space for staging vehicles into and out of the wash.

---

Created: 2025-02-19 08:43:31 [EST]

(Supp. No. 25)

**Motorcycle:** Every motor vehicle having a seat or saddle for the use of the rider and designed to travel on not more than three wheels in contact with the ground, including motor scooters and bicycles with motor attached, excluding tractors as defined by Minn. Stats. § 169.011, subd. 44.

**MPCA:** Minnesota Pollution Control Agency.

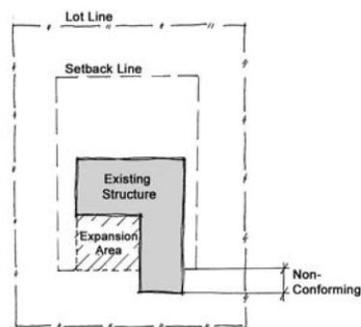
**Municipal facilities:** Buildings and storage areas for municipal services such as city halls, fire stations, public works, and public safety.

**NIER:** Non-ionizing electromagnetic radiation, electromagnetic radiation primarily in the visible, infrared, and radio frequency portions of the electromagnetic spectrum.

**Nonconforming lot:** A separate parcel or lot of record on the effective date of this chapter, or any amendment thereto, which lot or parcel does not conform to the regulations, including area or dimensional standards, contained in this chapter or amendments thereto.

**Nonconforming structure:** Any structure legally existing on the effective date of this chapter, or any amendment thereto, which does not conform to the regulations including the dimensional standards, for the district in which it is located after the effective date of this chapter or amendments thereto.

#### Non-conforming Structure



**Nonconforming use:** A use which lawfully occupies a building or land after the effective date of this ordinance, or amendments thereto, and that does not conform to the use regulations of the district in which it is located.

**Nonconformity:** Any legal use, structure, or parcel of land already in existence, recorded, or authorized before the adoption of official controls or amendments thereto that would not have been permitted to become established under the terms of the official controls as now written, if the official controls had been in effect prior to the date it was established, recorded, or authorized.

**Non-residential uses in residential districts:** All conditional or interim uses as permitted by city council in a residential zoning district. This includes, but is not limited to, places of worship, schools, bed and breakfast inns, utility substations, and other similar uses as determined by city council.

**Noxious matter or material:** Material which is capable of causing injury or is in anyway harmful to living organisms, or is capable of causing detrimental effect upon the physical, economic, or mental health of human beings.

---

*Nursing home:* A building with facilities for the health evaluation and treatment of patients and residents who are not in need of an acute care facility but who require nursing supervision on an inpatient basis. A nursing home does not include a facility or that part of a facility that is a hospital.

*Obstruction:* Any dam, wall, wharf, embankment, levee, dike, pile, abutment, projection, excavation, channel modification, culvert, building, wire fence, stockpile, refuse, fill, structure, or matter in, along, across, or projecting into any channel, watercourse, or regulatory floodplain which may impede, retard, or change the direction of the flow of water, either in itself or by catching or collecting debris carried by such water.

*Office:* A room, suite of rooms, or a building containing rooms or suites of rooms in which commercial activities, professional services, or occupations are conducted that do not require that goods are stored, produced or sold at retail, or repaired including, but not limited to, financial institutions, professional office, governmental offices, insurance offices, real estate offices, utility offices, radio broadcasting, and similar uses.

*Official control:* Legislatively defined and enacted policies, standards, precise detailed maps, and other criteria all of which control the physical development of the City of East Bethel or any part thereof or any detail thereof, and the means of translating into ordinances all or part of the general objectives of the comprehensive plan. Such official controls may include, but are not limited to, ordinances establishing zoning, subdivision controls, site plan regulations, sanitary codes, building codes, housing codes, and official maps that have been adopted by the City of East Bethel as the East Bethel Zoning Ordinance.

*Official map:* A map adopted in accordance with the provisions of Minnesota State Statutes.

*Off-street parking lot:* A facility providing vehicular parking spaces, along with adequate drives and aisles for maneuvering, to provide access for entrance and exit for the parking of more than three vehicles.

*Open sales lot:* Lands devoted to the display of goods for sale, rent, lease, or trade where such goods are not enclosed within a building.

*Open space:* Land used for agriculture, natural habitat, pedestrian corridors, and/or recreational purposes that is undivided and permanently protected from future development.

*Ordinary high water level:* The boundary of public waters and wetlands delineating the highest water level which has been maintained for a sufficient period of time to leave evidence upon the landscape, commonly that point where the natural vegetation changes from predominantly aquatic to predominantly terrestrial. For watercourses, the ordinary high water level is the elevation of the top of the bank of the channel. For reservoirs and flowages, the ordinary high water level is the operating elevation of the normal summer pool.

*Outdoor sidewalk cafe:* A seasonal expansion of a permitted restaurant, delicatessen, or lunch shop outside on an attached or unattached patio structure, or a freestanding public or private outdoor cafe in conjunction with a promotional event.

*Overlay district:* A zoning district shown as an overlay on the zoning map. Development within an overlay district is subject to the regulations of both the underlying zoning district and the overlay district.

*Owner:* Any individual, firm, association, syndicate, partnership, corporation, trust or any other legal entity having proprietary interest in the land.

*Parking space:* An area of definite length and width designed for parking of motor vehicles, exclusive of drives, aisles, or entrances to the spaces and shall be fully accessible for the storage or parking of permitted vehicles.

*Permitted use:* A use which may be lawfully established in a particular district or districts provided it conforms with all requirements, regulations, and performance standards (if any) of such district.

*Place of worship:* A building, together with its accessory buildings and uses, where persons regularly assemble for religious worship and which is maintained and controlled by a religious body organized to sustain public worship.

---

Created: 2025-02-19 08:43:31 [EST]

(Supp. No. 25)

---

*Planning commission:* The planning commission of the City of East Bethel, Minnesota.

*Plant nursery, commercial:* A building or premises used primarily for the retail sale of trees, shrubs, flowers, or other plants, which may not have been grown or raised on the property.

*Plant nursery, wholesale:* A building or premises used primarily for the growing and wholesale sale of trees, shrubs, flowers, and other plants.

*Platted area:* A parcel of land described by block and lot.

*Principal building or use:* The main use of buildings or land in which the principal use of the property is conducted.

*Pole building:* A building with no foundation and with sides consisting of corrugated steel or aluminum panels supported by poles set in the ground typically at eight-foot intervals.

*Private sewage treatment system:* Septic tank and soil absorption system or other individual or cluster-type sewage treatment system as described and regulated in Ordinance 61—Sewage Treatment Ordinance.

*Project development package:* An application containing information needed to initiate the review process of specific site(s) with the master development plan area.

*Public utility:* A corporation, municipal department, board, or commission duly authorized under federal, state, or municipal regulations to furnish the public with gas, steam, electricity, sewage disposal, communication, telegraph, transportation, or water.

*Public waters:* All lakes, ponds, swamps, streams, drainage ways, floodplains, floodways, natural water courses, underground water resources, and similar features involving directly or indirectly, the use of water within the community, as defined by the department of natural resources.

*Reach:* A hydraulic engineering term describing a longitudinal segment of a stream or river influenced by a natural or man-made obstruction. In an urban area, the segment of a stream or river between two consecutive bridge crossings would most typically constitute a reach.

*Recreation, commercial:* Land intended to accommodate uses that provide active and passive recreational opportunities on a use and/or membership fee basis. Land designated for commercial recreation use differs from land designated for park and recreation use in that it is privately owned land rather than being publicly owned.

*Recreation, public:* Land intended to accommodate uses that provide active and passive recreational opportunities whether or not on a use and/or membership fee basis. Land designated for public recreation use differs from land designated for commercial recreation use in that it is publicly owned land rather than being privately owned. Typical uses include tot lots, neighborhood parks, community parks, ball fields, public golf courses, public gardens, green ways and trail corridors, beaches, and community centers.

*Recreational equipment:* Play apparatus such as swing sets and slides, sandboxes, poles for nets, picnic tables, lawn chairs, barbecue stands, and similar equipment or structures, but not including tree houses, swimming pools, play houses exceeding 25 square feet in floor area, or sheds utilized for storage of equipment.

*Recreational facility:* An indoor facility in which physical recreation activities are conducted, such as ice hockey, tennis, racquet/hand ball, swimming, ice and roller skating, or bowling.

*Recreational vehicle:* Any device having wheels and capable of supporting overnight sleeping accommodations and designed for uses in addition to normal travel.

*Recyclable material:* Materials that can be readily separated from mixed municipal solid waste for the purpose of recycling including, but not limited to, paper, glass, plastics, metals, automobile oil, and batteries.

---

Created: 2025-02-19 08:43:31 [EST]

(Supp. No. 25)

---

*Recycling drop-off facility:* A publicly owned, operated, or sponsored site used to collect recyclable materials which have been source separated from other materials and stored for shipment to processing, reuse, or manufacturing facilities.

*Regional flood:* A flood which is representative of large floods known to have occurred generally in Minnesota, and reasonably characteristic of what can be expected to occur on an average frequency of once each 100 years. Regional flood is synonymous with the term "base flood" used in the Flood Insurance Study.

*Registered engineer:* An engineer registered in accordance with the laws of the State of Minnesota.

*Regulatory flood protection elevation (RFPE):* An elevation no lower than one foot above the elevation of the regional flood plus any increases in flood elevation caused by encroachments on the floodplain that results from designation of a floodway.

*Research:* Medical, chemical, electrical, metallurgical, or other scientific research and quality control conducted in accordance with the provisions of this chapter.

*Restaurant, fast food:* Any restaurant that meets some or all of the following requirements:

- A. Customarily provides quick service to its customers.
- B. Offers its customers a limited, standardized choice of inexpensive food and/or beverages.
- C. Serves its customers from a counter and customarily does not serve its customers at tables.
- D. Packages and serves its food and beverages in disposable wrappers, containers, cartons, boxes and/or bags.
- E. Expects customers to dispose of their used food serving and packaging containers in trash, litter, or garbage cans.
- F. Prepares a considerable amount of its food in volume in advance of customer orders.
- G. Offers food to customers by way of signs, placards, posters, valences, or boards rather than on menus given to customers.

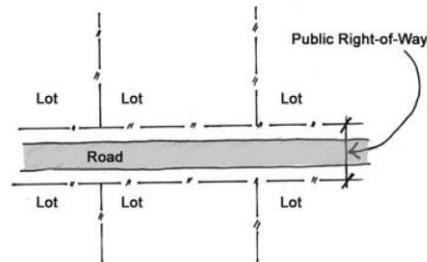
*Restaurant, full service:* A business establishment whose principal business is the preparing, selling, and serving of unpackaged ready-to-consume food to customers seated at counters or tables.

*Retail/office/multitenant structure:* Any grouping of two or more principal retail uses whether on a single lot or on abutting lots under multiple or single ownership.

*Retail sales and services:* Stores and shops selling goods over-the-counter for use away from the point of purchase, or offering services on the premises. Large items such as motor vehicle or open sale lots are not included in this category of uses.

*RFPE:* Regulatory flood protection elevation.

*Right-of-way (ROW), public:* An area for public use owned and maintained by a government jurisdiction.



**Satellite dish:** Any device incorporating a reflective surface that is solid, open mesh, or bar configured that is shallow, dish, cone, horn, or cornucopia shaped and is used to transmit and/or receive electromagnetic signals. This definition is meant to include, but is not limited to, what are commonly referred to as satellite earth stations, TVROs, and satellite microwave antennae.

**School:** A facility that provides a curriculum of preschool, elementary, secondary, post-secondary, or other instruction including, but not limited to, licensed daycare facilities, kindergartens, elementary, junior high, high schools, and technical or college instruction.

**School, home:** A school within a residential dwelling educating children residing in the residential dwelling.

**School, specialty:** A facility that provides specialized instruction for dance, music, art, karate, or similar educational activities.

**Screening:** Screening includes earth mounds, berms, or ground forms, fences and walls, or landscaping (plant materials) or landscaped fixtures (such as timbers), used in combination or singularly so as to block direct visual access to an object throughout the year.

**Self-service storage:** A structure or structures containing separate storage spaces of varying sizes that is leased or rented individually.

**Semi-public use:** The use of land by a private, nonprofit organization to provide a public service that is ordinarily open to some persons outside the regular constituency of the organization.

**Semi-tractor:** A vehicle that is designed to pull a trailer attached to a fifth wheel and has a gross vehicle weight rating (GVWR) 20,000 pounds or greater, as defined in MN Statutes 169.01.

**Semi-trailer:** A vehicle of the trailer type so designed and used in conjunction with a tractor-trailer that a considerable part of its own weight or that of its load rests upon and is carried by the truck-tractor and includes a trailer drawn by a truck-tractor semi-trailer combination, as defined in MN Statutes 169.01.

**Sensitive resource management:** The preservation and management of areas unsuitable for development in their natural state due to constraints such as shallow soils over groundwater or bedrock, highly erosive or expansive soils, steep slopes, susceptibility to flooding, or occurrence of flora or fauna in need of special protection.

**Setback:** The minimum horizontal distance from any lot line, road easement, ordinary high water level, or other referenced feature that a structure or improvement may be placed, as measured from the lot line or feature to the closest point of the structure or improvement.

**Sewer system:** Pumping stations, force main, pipelines, or conduits, and all other construction, devices, appliances, or appurtenances used for conducting sewage, industrial waste, or other wastes to a point of ultimate disposal.

Created: 2025-02-19 08:43:31 [EST]

(Supp. No. 25)

*Sidewall height:* The height of a wall as measured from the interior floor surface to the underside of the truss.

*Shore impact zone:* Land located between the ordinary high water level of a public water and a line parallel to it at a setback of 50 percent of the structure setback.

*Shoreland:* Land located within the following distances from public waters: 1,000 feet from the ordinary high water level of a lake, pond, or flowage; and 300 feet from a river or stream, or the landward extent of a floodplain designated by ordinance on a river or stream, whichever is greater. The limits of shorelands may be reduced whenever the waters involved are bounded by topographic divides which extend landward from the waters for lesser distances and when approved by the commissioner of the department of natural resources.

*Sidewall height:* The height of a wall as measured from the interior floor surface to the underside of the truss.

*Significant historic site:* Any archaeological site, standing structure, or other property that has been listed on, or meets the criteria for eligibility to be listed on, the National Register of Historic Places, the state register of historic sites, or any regional, county, municipal or local historic registers, or that is determined to be an unplatted cemetery that falls under the provisions of Minn. Stats. § 307.08. A historic site meets these criteria if it is presently listed on any of the aforementioned registers, or if it is determined to meet the qualifications for listing after review by the Minnesota State Archaeologist, the director of the Minnesota Historical Society, or a qualified representative of the regional, county, municipal, or local registers. All unplatted cemeteries are automatically considered to be significant historic sites.

*Slaughterhouses:* A building where animals are killed and prepared for mass food production.

*Small brewery.* Is a brewer that holds a taproom license and is limited to production of less than 20,000 barrels/year as permitted in Minnesota State Statute, § 340A.

*Snowmobile:* "Snowmobile" means a self-propelled vehicle designed for travel over snow or ice on skis or runners.

*Solid waste:* garbage: Refuse or sludge from a water supply treatment plant or air contaminant treatment facility, and other discarded waste materials and sludges, in solid, semisolid, liquid, or contained gaseous form, resulting from industrial, commercial, mining, and agricultural operations, and from community activities, but does not include hazardous waste, animal waste used as fertilizer, earthen fill, boulders, rock, sewage sludge, solid or dissolved material in domestic sewage or other common pollutants in water resources such as silt, dissolved or suspended solids in industrial wastewater effluents or discharges which are point sources subject to permits under section 402 of the Federal Water Pollution Control Act, as amended, dissolved materials in irrigation return flows, or source, special nuclear, or by-product material as defined by the Atomic Energy Act of 1954, as amended.

*Steep slope:* Land where agricultural activity or development is either not recommended or described as poorly suited due to slope steepness and the site's soil characteristics as mapped and described in available county soil surveys or other technical reports unless appropriate design and construction techniques and farming practices are used in accordance with the provisions of this ordinance. Where specific information is not available, steep slopes are lands having average slopes over 12 percent, as measured over horizontal distances of 50 feet or more, that are not bluffs.

*Street:* A public vehicular right-of-way which affords a primary means of access to abutting property, except in the case of streets with a high volume of vehicular traffic where access may be restricted and an alternative access may be required.

- A. *Approved private street:* A private street that has been approved by resolution of the City of East Bethel. Such resolution must specify the street, indicate that the street must support emergency vehicles, and specify that provisions must exist for the ongoing maintenance of the street.

Created: 2025-02-19 08:43:31 [EST]

(Supp. No. 25)

- 
- B. *Collector street*: A street that serves or is designed to serve as a traffic way for a neighborhood or as a feeder to a major road and designated as a collector street on the city comprehensive plan.
  - C. *Arterial street*: A street, as designated in the comprehensive plan, which serves or is designed to serve heavy flows of traffic, and which is used primarily as a route for traffic between communities and/or other heavy traffic generating areas.
  - D. *Local street*: A street intended to serve primarily as an access to abutting properties.
  - E. *Street pavement*: The wearing or exposed surface of the roadway used by vehicular traffic.
  - F. *Street, public*: A street owned and maintained by a government jurisdiction.
  - G. *Width of street*: The width of the right-of-way measured at right angles to the centerline of the street.

*Story*: Vertical distance from top to top of two successive tiers of beams or finished floor surfaces; and for the topmost story, from the top of the finished floor surface to the top of the ceiling joists or, where there is not a ceiling, to the top of the roof rafters of a building or structure.

*Story, half*: That part of a building under the gable, hip, or gambrel roof; the wall plates of which are not more than four feet above the floor.

*Structural alteration*: Any change in the supporting members of a building such as bearing walls, columns, beams, or girders.

*Structure*: Anything constructed or erected, the use of which requires location on the ground or attachment to something having location on the ground.

*Structure, public*: An edifice or building of any kind, or any piece of work artificially built-up or comprised of parts joined together in some definite manner which is owned or rented and operated by a federal, state, or local government agency.

*Structure, recreational*: Structures of a recreational nature such as swing sets, jungle gyms, tree houses and other similar facilities.

*Structure, temporary*: Structures that are of a mobile nature and located on a property for no more than six months in a 12-month period, such as ice fishing shanties, camping, tents, enclosed trailers, and other similar facilities.

*Subdivision*: Land that is divided for the purpose of sale, rent, or lease.

*Surface water-oriented commercial use*: The use of land for commercial purposes where access to and use of a surface water feature is an integral part of the normal conducting of business. Marinas, resorts, and restaurants with transient docking facilities are examples of such use.

*Swimming pool*: Any structure intended for swimming or recreational bathing that contains water over 24 inches deep and 5,000 gallons in capacity. This includes in-ground, above-ground, and on-ground swimming pools.

*Tavern or bar*: A building with facilities for the serving of 3.2 percent malt beverages, liquor, wine, set-ups, and short order foods.

*Telecommunications facility*: A facility that transmits and/or receives electromagnetic signals. It includes antennae, microwave dishes, horns, and other types of equipment for the transmission or receipt of such signals, telecommunications towers or similar structures supporting said equipment, equipment buildings, parking areas, and other accessory development. It does not include facilities staffed with other than occasional maintenance and installation personnel, vehicle or other outdoor storage yards, offices, or broadcast studios other than those designated for emergency use. All communication towers are subject to the provisions established for such use in Section 17 [16]. Telecommunication[s] Facilities.

*Telecommunications tower:* A mast, pole, monopole, guyed tower, lattice tower, freestanding tower, or other structure designed and primarily used to support antennae. A ground- or building-mounted mast less than ten feet tall and six inches in diameter supporting a single antenna shall not be considered a telecommunications tower.

*Temporary/seasonal sales:* A facility or area for temporary or seasonal sales of goods, wares, or merchandise.

*Toe of the bluff:* The base of a bluff.

*Top of the bluff:* The top portion of a bluff.

*Townhouse:* A single-family dwelling unit, with private front and rear entrances which is part of a multiple-family building whose dwelling units are attached horizontally in a linear arrangement. Each dwelling unit must be separated from other dwelling units by a firewall or walls extending from the foundation through the roof with no openings. Each dwelling unit shall have a totally exposed front and rear wall to be used for entry, light, and ventilation.

*Transportation/motor freight terminal:* A building or area in which freight brought by truck is assembled and/or stored for routing or shipment, or in which semi-trailers, including tractor or trailer units and other trucks, are parked or stored.

*Transportation terminal:* Taxi, bus, train, and mass transit terminal and related ticketing, passenger waiting, parking, and storage areas.

*Truck farming:* An agricultural operation in which garden vegetables, fruits, and other such produce is transported from the subject property to an off-site location for sale.

*Truck stop:* A motor fuel station devoted principally to the needs of tractor-trailer units and trucks, and which may include eating and/or sleeping facilities

*Undisturbed soil contour:* The identified area within the buildable area of each lot which has never been excavated, cut, or filled. On-site septic areas (sewers) sufficient for two systems shall be identified on each lot and marked off to keep construction traffic off during plat development. Areas for sewers which cannot be located in the undisturbed soil contour area will require a design by a certified designer to ensure the lot will be capable of sustaining an on-site sewer at the time of plat review. Certification of "buildable area" and "undisturbed soil contour" shall be submitted in the form of an exhibit prepared by the developer's engineer or surveyor.

*Unplatted area:* A parcel of land described by metes and bounds, without reference to block and lot.

*Use:* The purpose for which land or premises or a building thereon is designed, arranged or intended, or for which it is or may be occupied or maintained.

- A. *Accessory use:* A use subordinate to and serving the principal use or structure on the same lot and incidental to such principal use.
- B. *Conditional use:* Either a public or private use as listed which because of its unique characteristics cannot be properly classified as a permitted use in a particular district. After consideration in each case of the impact of such use upon neighboring land and of the public need for the particular use at the particular location, such "conditional use" may or may not be granted by the council.
- C. *Interim use:* Uses that are permitted for a limited amount of time (contain a sunset provision), after approval of the city, if conditions listed in the ordinance are met.
- D. *Open space use:* The use of land without a structure or including a structure incidental to the open space use with a ground floor equal to five percent or less of the area of the lot.
- E. *Permitted use:* A use that is or may be lawfully established in a particular district or district provided it conforms to all requirements, regulations, and performance standards of such district.

- F. *Principle use*: The main use of land or buildings as distinguished from subordinate or accessory uses. A "principal use" may be permitted or conditional.

*Used motor vehicle*: A motor vehicle for which title has been transferred from the person who first acquired it from the manufacturer, distributor, or dealer. A new motor vehicle will not be considered a used motor vehicle until it has been placed in actual operation and not held for resale by an owner who has been granted a certificate of title on the motor vehicle and has registered the motor vehicle in accordance with Minn. Stats. ch. 168 and Minn. Stats. chs. 168A and 297B, or the laws of the residence of the owner.

*Variance*: A modification or variation of the provisions of this chapter as applied to a specific lot or property.

*Veterinary*: Those uses concerned with the diagnosis, treatment, and medical care of animals, including animal or pet hospitals.

*Warehousing*: The storage, packaging, and crating of materials or equipment within an enclosed building or structure.

*Warehousing and distribution*: A use engaged in storage, wholesale, and distribution of manufactured products, supplies, and equipment.

*Waste*: Infectious waste, nuclear waste, pathological waste, sewage sludge, solid waste and hazardous waste.

*Waste facility*: Property used for the accumulation, storage, processing, or disposal of waste.

*Waste management*: Activities which are intended to affect or control the generation of waste and activities which provide for or control the collection, processing, and disposal of waste.

*Water-oriented accessory structure or facility*: A small, above-ground building or other improvement, except stairways, fences, docks, and retaining walls.

*Wetland*: Lands transitional between terrestrial and aquatic systems where the water table is usually at or near the surface or the land is covered by shallow water. For purposes of this chapter, wetlands must:

- a) Have a predominance of hydric soils;
- b) Be inundated or saturated by surface water or groundwater at a frequency and duration sufficient to support a prevalence of hydrophytic vegetation typically adapted for life in saturated soil conditions; and
- c) Under normal circumstances, supports a prevalence of hydrophytic vegetation.

Wetlands generally include swamps, marshes, bogs, and similar areas.

*Wholesaling*: The selling of goods, equipment, and materials by bulk to another person who in turn sells the same to customers.

*Yard waste*: Garden wastes, leaves, lawn clippings, weeds and pruning generated at residential or commercial properties.

*Yards*: The open spaces on the same lot as a main building, unoccupied and unobstructed from the ground upward except as otherwise provided in this ordinance, and as defined below:

- A. *Front yard*: An open space extending the full width of the front lot line, the depth of which is the minimum horizontal distance between the front lot line and the nearest point of the main building. For a corner lot which is not a reversed frontage corner lot, the front yard shall adjoin a front yard in an adjoining lot.

- B. *Rear yard*: An open space extending the full width of the lot the depth of which is the minimum horizontal distance between the rear lot line and the nearest point of the main building. In the case of a corner lot, the rear yard may be opposite either street frontage.
- C. *Side yard*: An open space between a main building and the side lot line, extending from the front yard to the rear yard, the width of which is the horizontal distance from the nearest point of the side lot line to the nearest point of the main building.

*Zoning district*: An area or areas within the limits of the city in which the regulations and requirements of this chapter are applied uniformly.

(Ord. No. 19, Second Series, 5-5-2010; Ord. No. 28, Second Series, 12-1-2010; Ord. No. 36, Second Series, 4-4-2012; Ord. No. 48, Second Series, 2-5-2014; Ord. No. 48, Third Series, 6-4-2014; Ord. No. 28, Third Series, 6-17-2015; Ord. No. 48, Fourth Series, 9-21-2016; Ord. No. 48, Fifth Series, 6-6-2018; Ord. No. 2020-03, 3-9-2020; Ord. No. 2021-05, § 2, 9-13-2021; Ord. No. 2021-06, 10-11-2021)

## 19. Home occupations.

The purpose of this section is to provide a means through the establishment of specific standards and procedures by which home occupations can be conducted in residential and mixed-use neighborhoods without jeopardizing the health, safety, general welfare and characteristic of the surrounding residential properties. Each home occupation shall comply with the applicable standards so as to ensure that no adverse impact accrue to neighboring properties or infringe upon the rights of adjoining property owners. In addition, it is the purpose of this section to provide a mechanism enabling the distinction between administrative, interim use and limited interim use home occupations; so permitted home occupations may be allowed through an administrative review process rather than a public hearing process as required for interim and limited interim home occupations.

- A. *Administrative home occupations.*
1. Requirements for an administrative home occupation permit:
    - a. No persons other than residents of the principal dwelling shall be engaged in the home occupation.
    - b. No traffic shall be generated by any home occupation in a significantly greater volume than would normally be expected from a single-family residence.
    - c. Any sign associated with the home occupation shall be in compliance with the East Bethel Sign Ordinance.
    - d. The home occupation shall not generate hazardous waste unless a plan for off-site disposal of the waste is approved.
    - e. A home occupation at a dwelling with an on-site sewage treatment system shall only generate normal domestic household waste unless a plan for off-site disposal of the waste is approved.
    - f. The home occupation shall not constitute, create, or increase a nuisance to the criteria and standards established in this ordinance.
    - g. There shall be no outdoor display or storage of goods, equipment, or materials for the home occupation.
    - h. Parking needs generated by the home occupation shall be provided on-site.
    - i. The area set aside for the home occupation in the principal structure shall not exceed 50 percent of the gross living area of the principal structure.

- 
- j. No structural alterations or enlargements shall be made for the sole purpose of conducting the home occupation.
  - k. There shall be no detriments to the residential character of the neighborhood due to the emission of noise, odor, smoke, dust, gas, heat, glare, vibration, electrical interference, traffic congestion, or any other nuisance resulting from the home occupation.
  - l. The area set aside for the home occupation in the attached or detached accessory structures shall not exceed total accessory structure space. A minimum of 400 square feet of space shall be maintained as a residential garage.
2. An application for an administrative home occupation permit shall be made in writing on forms provided by the zoning administrator. There shall be a fee charged as established on the adopted fee schedule for an administrative home occupation permit. Such permits shall be issued by the zoning administrator based on proof of compliance with the provisions of this section and all other applicable zoning requirements.
  3. If the zoning administrator denies an administrative home occupation permit, the applicant may appeal such decision pursuant to Chapter 2, Article X—Administrative Appeal of this Ordinance.
  4. An administrative home occupation permit shall remain in effect until such a time as there has been a change in the conditions associated with the home occupation or until such a time as the provisions of this section have been breached by the permit holder. At any such time the city has reason to believe that either event has taken place, a public hearing shall be held before the planning commission. The city council shall make the final decision as to whether or not the permit holder is in violation of the provisions of this subdivision and entitled to maintain the permit. Administrative home occupation permits are non-transferable, and shall not run with the land. Permits are not transferable from person to person, nor from address to address.
- B. *Interim use home occupations and limited interim use home occupations.*
1. Requirements for an interim use home occupation permit:
    - a. No more than three persons, at least one of whom shall reside within the principal dwelling, shall work at the home occupation site.
    - b. No traffic shall be generated by any home occupation in a significantly greater volume than would normally be expected from a single-family residence.
    - c. Any sign associated with the home occupation shall be in compliance with the East Bethel Sign Ordinance.
    - d. The home occupation shall not generate hazardous waste unless a plan for off-site disposal of the waste is approved.
    - e. A home occupation at a dwelling with an on-site sewage treatment system shall only generate normal domestic household waste unless a plan for off-site disposal of the waste is approved.
    - f. The home occupation shall not constitute, create, or increase a nuisance to the criteria and standards established in this section.
    - g. There shall be no outdoor display or storage of goods, equipment, or materials for the home occupation.
    - h. Parking needs generated by the home occupation shall be provided on-site.
    - i. The area set aside for the home occupation in the principal structure shall not exceed 50 percent of the gross living area of the principal structure.

---

Created: 2025-02-19 08:43:32 [EST]

(Supp. No. 25)

- 
- j. No structural alterations or enlargements shall be made for the sole purpose of conducting the home occupation.
  - k. There shall be no detriments to the residential character of the neighborhood due to the emission of noise, odor, smoke, dust, gas, heat, glare, vibration, electrical interference, traffic congestion, or any other nuisance resulting from the home occupation.
  - l. The area set aside for the home occupation in the attached or detached accessory structures shall not exceed total accessory structure space. A minimum of 400 square feet of space shall be maintained as a residential garage.
  - m. Allowable hours of operation shall be determined by city council, if no hours of operation are articulated in the final interim use permit, the hours shall be limited to 7:00 a.m.—8:00 p.m.
  - n. Interim use permits shall be granted for a term of three years unless expressly granted for another time period by the city council in the conditions of the interim use permit.
2. Limited interim use home occupation permits.
- a. Limited interim use home occupation permits shall not be permitted for home occupations that do not meet a minimum of ten of the 13 requirements listed for interim use home occupation permits.
  - b. Limited interim use home occupation permits shall not be renewable, and shall be granted for a term of no more than three years unless expressly granted for another time period by city council in the conditions of the interim use permit.
  - c. There shall be no outdoor display or storage of goods, equipment, or materials for the home occupation.
3. Any home occupation that does not meet the specific requirements for an administrative home occupation permit as defined in this ordinance shall require an interim use permit as defined in Appendix A, section 4-9—Conditional and Interim Uses of this section. Interim use home occupation permits or limited interim use home occupation permits shall be applied for and reviewed in accordance with the provisions as established in Appendix A, section 4-9, B. Application.
4. Declaration of conditions. The planning commission and city council may impose additional conditions on interim use home occupation permits and limited interim use home occupation permits as they deem necessary to protect the health, safety, general welfare and character of the residential neighborhood in which the property is located.
- a. Any home occupation requiring federal oversight is obligated to apply for the interim use, or limited interim use permit so a public hearing is held to ensure that any additional requirements as established by the City of East Bethel may be added to the permit as deemed necessary by the planning commission or city council.

(Ord. No. 49, Second Series, 4-2-2014; Ord. No. 19, Fourth Series, 6-10-2019)

### **32. Residential accessory buildings greater than 1,000 square feet.**

- A. The structure shall not be used for commercial or industrial activities, unless the City Council approves a home occupation permit for an accessory building.
- B. No additional curb cuts to a public street shall be permitted in the R-1, R-2, and CL districts.

(Supp. No. 25)

Created: 2025-02-19 08:43:32 [EST]

(Ord. No. 2021-06, 10-11-2021)

**[1.] General regulations.**

A. All single-family dwellings and accessory structures in the A, RR, R-1, R-2, CL and MXU districts shall meet the following design requirements:

- 1) All structures shall have permanent or concrete or treated wood foundations which will anchor the structure, which comply with the state building code as adopted in the State of Minnesota, and which are solid for the complete perimeter of the house.
- 2) All single-family structures must be built in conformance with Minn. Stats. §§ 327.31—327.35 of the state building code as adopted in the State of Minnesota.
- 3) Single-family dwellings shall have an address according to the numbering system of East Bethel. Numbers shall be at a minimum of three inches in height and displayed in such a way as to clearly identify the building from the roadway. An address plate shall be installed at the right-of-way. A mailbox clearly identifying the address on both sides and an address plate must be installed at the right-of-way.
- 4) Each dwelling unit shall include, at a minimum, a 24-foot by 24-foot garage. Driveways must meet a minimum setback of five feet from abutting lots.
- 5) Garages shall not be constructed prior to the principal structure and shall be constructed no later than six months after the construction of the dwelling.

B. Single-family dwellings.

- 1) Sixty percent of a residential structure shall have a minimum width or depth of 20 feet. Width measurement shall not take into account overhangs or other projections. Such width requirements shall be in addition to the minimum area per dwelling requirements established within this ordinance.
- 2) Single-family dwellings shall have at least a four/twelve (4/12) roof pitch and shall be covered with shingles or tiles or a standing seam metal roof.
- 3) The exterior walls of all single-family residences shall be similar in appearance to normal wood, vinyl siding, or masonry residential construction.
- 4) Barndominiums may use metal siding as the primary exterior finish provided it complies with the following:

a. The panels have been treated with a factory applied color coating system to prevent against any fading or degradation.

b. Have concealed fasteners.

54) Heating, air conditioning, and ventilation equipment must be located within four feet of the foundation wall.

C. Two-family and townhome dwellings.

- 1) The minimum width of a two-family or townhome dwelling unit shall be 24 feet.
- 2) Architectural and design requirements shall comply with Section 28. Architectural Standards.
- 3) Heating, air conditioning, and ventilation equipment must be located within four feet of the foundation wall.

(Ord. No. 2021-06, 10-11-2021)

(Supp. No. 25)

Created: 2025-02-19 08:43:33 [EST]

Formatted: Indent: Left: 1", First line: 0"

- CODE OF ORDINANCES  
APPENDIX A - ZONING  
SECTION 14. DETACHED ACCESSORY STRUCTURES

### **SECTION 14. ~~DETACHED~~ ACCESSORY STRUCTURES**

These standards have been established to preserve the character of the principal structure, promote building compatibility, and provide for minimal adverse impacts to surrounding property through the implementation of height, size, location, and architectural regulations.

#### **1. Permit regulations.**

All accessory buildings ~~and/or structures~~ over 200 square feet in size require a building permit prior to construction, unless specifically exempt under this ordinance. Accessory structures 200 square feet or less shall not require a building permit unless otherwise required by any other ordinance or state requirement. Accessory structures 200 square feet or less shall comply with all provisions of this section and zoning district regulations.

(Ord. No. 46, Second Series, 9-25-2013; Ord. No. 2020-03, 3-9-2020)

#### **2. General regulations.**

- A. No accessory building or structure shall be constructed on any lot prior to construction of the principal structure without prior approval of the city council.
- B. Accessory structures located on lots that are subsequently subdivided shall be considered legal non-conforming structures.
- C. Every exterior wall, foundation, and roof of accessory ~~structure~~ building(s) shall be reasonably watertight, weather tight, and rodent proof, and shall be kept in a good state of maintenance and repair. Exterior walls shall be maintained free from extensive dilapidation due to cracks, tears, or breaks of deteriorated plaster, stucco, brick, wood, or other material.
- D. All exterior wood surfaces, other than decay resistant woods, shall be protected from the elements and from decay by painting or other protective covering or treatment. A protective surface of an accessory ~~structure~~ building(s) shall be deemed to be out of compliance if more than 25 percent of the exterior surface area is unpainted or paint is blistered or flaking. If 25 percent or more of the exterior surface of the pointing of any brick, block, or stone wall is loose or has fallen out, the surface shall be repaired.
- E. [Reserved.]
- F. No accessory building ~~or detached private garage~~ shall be located nearer the front lot line than the principal building except when the lot is three acres or greater and the existing principal building is located a minimum of 200 feet from the front lot line. Then the accessory building ~~or detached private garage~~ may be located closer to the front lot line than the principal dwelling, but not closer than 50 percent of the principal dwelling's setback. In the case of a corner lot, the front lot line shall be located on the side on which the principal building is addressed. The remaining lot side with street frontage shall meet the minimum front yard setback.
- G. The area of a lean-to shall be included in the allowable square footage of detached accessory ~~structures~~ buildings and will be subject to the square footage restrictions for a lot.
- H. Accessory structures on lakeshore lots may be placed between the principal building and the lakeshore or the right-of-way, and are subject to all setbacks and lot coverage.

- I. ~~Barndominiums are permitted in the A and RR zones only. (Reserved.)~~
- J. The ~~accessory structure building~~ must not be designed or used for human habitation.
- K. No cellar, garage, tent, or accessory building shall be at any time be used as a residentially occupied space, independent residence or dwelling unit, either temporarily or permanently.
- L. For purposes of accessing storage, accessory ~~structures-buildings~~ may have exterior stairs to a second story in a side or rear yard.
- M. Engineered drawings are required for the permitting of all pole building over 2,000 square feet.
- N. Storage containers shall be placed on a foundation (minimum of a one inch in depth gravel base) to allow for surface drainage and prevent rust or deterioration of container floor.

(Ord. No. 46, Second Series, 9-25-2013; Ord. No. 48, Second Series, 2-5-2014; Ord. No. 48, Third Series, 6-4-2014; Ord. No. 2020-03, 3-9-2020; Ord. No. 2021-06, 10-11-2021; Ord. No. 2023-18, § 2, 9-25-23)

**3. Detached accessory building ~~A~~ architectural and design requirements.**

Detached accessory structures over 200 square feet shall comply with the following:

- A. Shall incorporate a finished design and color scheme that is coordinated and compatible with the color and design of the principal structure;
- B. Shall include a minimum 12 inch overhang and corner trim elements;
- C. Shall include two architectural features on sides directly adjacent to and visible from a public right-of-way; such as windows, doors, material/color variations, soffits, gables, dormers, and decorative lighting.
- D. Storage containers shall be exempt from architectural feature requirements.

(Ord. No. 48, Third Series, 6-4-2014; Ord. No. 2021-06, 10-11-2021; Ord. No. 2023-18, § 3, 9-25-23)

**4. Size and number of accessory ~~structures-buildings~~.**

A. Size of ~~attached~~ accessory ~~structure building~~:

1) Attached accessory buildings, including garages, with a footprint of less than 1,000 square feet shall not be considered as part of the maximum footprint for purposes of the detached accessory structure calculations. However, attached accessory building space in excess of the initial 1,000 square feet shall be counted towards the maximum allowable detached accessory building footprint.

B. Size of detached accessory building:

- 1) All accessory ~~structures-buildings~~ greater than 200 square feet must comply with the following regulations (one shed of 200 sq. ft. or less is allowed on all properties and is not included in the calculation for accessory ~~structures-buildings~~).

Parcel Size	Maximum Square Feet (square footage is inclusive)	Maximum No. of Detached Accessory	Maximum Sidewall Height
-------------	---	-----------------------------------	-------------------------

Formatted: History Note

Formatted: Normal, Space After: 12 pt, No bullets or numbering

	for all allowable <del>structures</del> buildings)	<del>Structures</del> Buildings	Maximum Sidewall Height A, RR, R-1, R-2 & CL Districts*
Less than ½ acres	580 square feet	1	14 feet
½ acres	960 square feet	1	14 feet
¾ acres	1,100 square feet	1	14 feet
1 acres	1,240 square feet	1	14 feet
1¼ acres	1,380 square feet	1	14 feet
1½ acre	1,520 square feet	1	14 feet
1¾ acres	1,660 square feet	1	14 feet
2 acres	1,800 square feet	2	14 feet
2¼ acres	1,950 square feet	2	14 feet
2½ acres	2,100 square feet	2	14 feet
2¾ acres	2,250 square feet	2	14 feet
3 acres	2,400 square feet	2	14 feet
3¼ acres	2,475 square feet	2	14 feet
3½ acres	2,550 square feet	2	14 feet
3¾ acres	2,625 square feet	2	14 feet
4 acres	2,700 square feet	2	14 feet
4¼ acres	2,775 square feet	2	14 feet
4½ acres	2,850 square feet	2	14 feet
4¾ acres	2,925 square feet	2	14 feet
5.0 or more acres	3,000 sq. ft., plus an additional 240 sq. ft., or increment thereof, for each additional acre	4	14 feet
Viking Preserve	200	1	8 feet

\* If utilizing the 14 foot sidewall height, refer to Chapter 6: Wall bracing of the International Building Code, as your project may require engineered drawings for building permits to be issued.

- a) Roof pitch shall be no less than the minimum required by the International Building Code and shall not be the focal point of the property.
  - b) Accessory ~~structures-buildings~~ shall be of similar design and building materials as the principal building. Pole buildings shall match the design of the principal structure as practical as possible.
  - c) Accessory ~~structures-buildings~~ less than 200 square feet in all districts shall be limited to a sidewall height no greater than eight feet.
- 2) Storage containers shall not be calculated as allowable accessory ~~structure-building~~ square footage or number.
  - 3) One storage container, up to 320 square feet, is allowed on properties of one acre to four acres. An additional 80 square feet is allowed for each acre thereafter.

B. Fire escapes, landing places, open terraces, outside stairways, cornices, canopies, eaves, window protrusions, and other similar architectural features that extend no more than two feet into the required front, side, and rear yard setback are exempt from the detached accessory ~~structure-building~~ square footage calculation.

(Ord. No. 46, Second Series, 9-25-2013; Ord. No. 48, Second Series, 2-5-2014; Ord. No. 48, Third Series, 6-4-2014; Ord. No. 2020-03, 3-9-2020; Ord. No. 2021-06, 10-11-2021; Ord. No. 2023-18, § 4, 9-25-23)

## 5. Exemptions.

Properties within the A zoning district are exempt from architectural and design requirements provided the building is used exclusively for agricultural use and is constructed in accordance with all other zoning ordinance regulations.

Structures of a mobile and temporary or recreational nature provided that:

- A. Do not adversely affect surrounding properties;
- B. Are removed or placed more appropriately on the property at the request of the city. (Ord. No. 19, Second Series, 5-5-2010; Ord. No. 2023-10, 5-8-2023)

## **SECTION 41. AGRICULTURAL DISTRICT (A)**

### 1. Purpose.

The purpose of this district is to allow agricultural activities that are compatible with adjacent rural residential land uses and which promote the rural atmosphere of the community until such time as the land may be developed for other appropriate rural uses. No more than one single-family dwelling is permitted per lot.

### 2. Permitted uses.

- A. Single-family detached dwelling at a maximum density of one unit per ten acres.
- B. Licensed residential facility - Serving six or fewer persons.
- C. Agriculture, including crop production, sod farming, nurseries, and horticultural activities.

- D. Animal husbandry, including the raising of livestock, dairy animals, or game animals, and excluding animal feed lots and commercial stockyards.
- E. Raising of poultry, rabbits, or game birds.
- F. Recreation, public.
- G. Essential services, utility substation.
- H. Essential services, government.

I. Barndominium.

**3. Accessory use.**

- A. Barns and stables related to crop production and the raising of livestock, poultry, bees, rabbits, or game birds.
- B. Agricultural buildings and similar structures as regulated in Section 14. [Detached] Accessory Structures.
- C. Temporary/seasonal sales as permitted in Section 10. General Development Regulations.
- D. Amateur radio antennae less than 30 feet in height, as measured from ground level.
- E. Unlicensed daycare facility serving six or fewer persons.
- F. Licensed daycare facility serving 14 or fewer persons.

**4. Conditional uses.**

- A. Places of worship.
- B. Electric power and communications transmission lines.

**5. Interim uses.**

The following interim uses are permitted in the agricultural (A) district with an interim use permit (IUP):

- A. Raising of livestock or game animals at densities of more than five animals per acre.
- B. Golf courses.
- C. Agricultural composting.
- D. Home occupations as regulated by Section 10. General Development Regulations.
- E. Grading activities that move more than 1,000 cubic yards of material per acre.
- F. Domestic farm animals as regulated by Ordinance 115A.

**6. Development regulations.**

- A. Minimum lot requirements.

1)	Lot area	Not less than two acres with a maximum residential density of one unit/ten acres
2)	Lot width	300 feet at the public right-of-way; 300 feet at front building setback
3)	Minimum buildable area	23,000 square feet

B. Setbacks.

1)	Principal structure.		
	a)	Front yard	
	(1)	City ROW	40 feet
	(2)	State/county ROW	100 feet
	b)	Side street	
	(1)	City ROW	40 feet
	(2)	State/county ROW	100 feet
	c)	Side yard	30 feet
	d)	Side street	25 feet
2)	Accessory structure.		
	a)	Front yard	
	(1)	City ROW	40 feet
	(2)	State/county ROW	100 feet
	b)	Side street	
	(1)	City ROW	40 feet
	(2)	State/county ROW	100 feet
	c)	Side yard	10 feet
	d)	Rear yard	10 feet

C. Maximum height.

1)	Principal structure	Measured to the eave, a maximum height of three stories or 30 feet, whichever is less.
2)	Detached accessory structure	30 feet

D. Minimum floor area.

1)	Single-level unit	1,000 square feet
2)	Full two-story with full basement	720 square feet
3)	All other units	900 square feet (main floor plus additional area)

(Ord. No. 19, Second Series, 5-5-2010; Ord. No. 28, Second Series, 12-1-2010)

**SECTION 42. RURAL RESIDENTIAL (RR) DISTRICT**

**1. Purpose.**

A. The rural residential (RR) district is designed to accommodate residential land uses at low densities that promote the rural character of East Bethel and provide an environment of peace and tranquility for district residents. Residential uses within this district shall rely upon on-site sewage treatment systems and private wells rather than public utility facilities. No more than one single-family dwelling is permitted per lot.

**2. Permitted uses.**

- A. Single-family detached dwelling.
- B. Licensed residential facility—Serving six or fewer persons.
- C. Recreation-public.
- D. Agricultural use.
- E. Essential services, government.
- F. Barndominium.

Formatted: List 1

**3. Accessory uses.**

- A. Private garage, carport, or parking space.
- B. Private swimming pool, tennis court, or other similar facility used by a single family.
- C. Shelters temporarily located on-site for construction activities during construction or for six months, whichever is less.
- D. Accessory structures as regulated by Section 14. [Detached] Accessory Structures.
- E. Unlicensed daycare facility serving six or fewer persons.
- F. Licensed daycare facility serving 14 or fewer persons.
- G. Pasture—other uses customarily associated with but subordinate to a permitted use as determined by the city council.
- H. Radio and television receiving antennas including single satellite dish TVROs, short-wave radio dispatching antennas, or those necessary for the operation of household electronic equipment including radio receivers, federal licensed amateur radio stations, and television receivers as regulated by Section 17 [16]. Telecommunication[s] Facilities.
- I. Kennel, private.

**4. Conditional uses.**

- A. Places of worship.
- B. Schools.
- C. Cemeteries.
- D. City-sponsored senior housing.
- E. Essential services, utility substation.

**5. Interim uses.**

The following interim uses are permitted in the RR district with an interim use permit:

- A. Home occupations, as regulated by Section 10. General Development Regulations.
- B. Golf courses.

- C. Outside storage of more than five motor vehicles, recreational vehicles, items of equipment, or trailers.
- D. Grading activities that move more than 1,000 cubic yards of material per acre.
- E. Amateur radio antennae less than 30 feet in height.
- F. Domestic farm animals as regulated by City Code chapter 10.
- G. Craft center.

**6. Certificate of compliance.**

Temporary/seasonal sales as permitted in Section 10. General Development Regulations.

**7. Development regulations.**

A. Minimum lot regulations.

1)	Lot area	Two acres, with a density not to exceed one unit per two and one-half acres
2)	Lot width	200 feet at public right-of-way, 200 feet at front building setback
3)	Minimum buildable area	23,000 square feet

B. Setbacks.

1)	Principal structure	
	a) Front yard	
	(1) City right-of-way	40 feet
	(2) County/state right-of-way	100 feet
	b) Side street	
	(1) City right-of-way	40 feet
	(2) County/state right-of-way	100 feet
	c) Side yard	25 feet
	d) Rear yard	25 feet
2)	Detached accessory structure	Same as above

C. Maximum height.

1)	Principal structure	Measured to the eave, maximum height of three stories or 30 feet, whichever is less.
2)	Detached accessory structure	Shall comply with Section 14.3.A. Roof pitch and style shall match the principal structure.

D. Minimum floor area.

1)	Single-level unit	1,000 square feet
2)	Full two-story with full basement	720 square feet
3)	All other units	900 square feet
		(main floor plus additional area)

Created: 2025-02-19 08:43:35 [EST]

(Supp. No. 25)

# BARNDOMINIUMS/SHOUSES and the 2020 MINNESOTA RESIDENTIAL CODE

Minnesota Department of Labor and Industry

## What are barndominiums and shouses?

“Barndominium” and “shouse” are terms used to describe dwellings with attached shops or storage areas and usually built using a post frame method of construction.

These structures often have metal panel roofing and siding that is associated with barns and storage buildings. Unlike conventional “stick-built” homes that require a foundation and footing around the entire perimeter of the home, post frame structures often require a post and footing placed every six to eight feet.



*Example of a barndominium/shouse.*

## Are barndominiums and shouses required to comply with the 2020 Minnesota Residential Code?

Yes. Barndominiums and shouses are considered single-family dwellings and classified as an IRC-1 occupancy group. These structures must be designed and constructed in accordance with the 2020 Minnesota Residential Code (2020 MNRC) provisions. [R300.1, R301.1]

## Do barndominium and shouse requirements apply for all of Minnesota?

Yes. The Minnesota State Building Code is the standard of construction for the entire state of Minnesota, whether local code enforcement exists or not. The 2020 MNRC adopts the 2018 International Residential Code (IRC) with amendments. [Minnesota Statutes, section 326B.121, Minnesota Rules 1309]

For the purposes of this fact sheet, "code" means the Minnesota State Building Code adopted under Minnesota Statutes, section 326B.106, subdivision 1, and includes the chapters identified in Minnesota Rules, chapter part 1300.0020. The 2020 MNRC can be viewed at <https://codes.iccsafe.org/content/MNRC2020P1>.

## Are building permits required for all barndominiums and shouses?

Yes. Although barndominiums and shouses are constructed with the appearance of an agricultural building, their intended use is a dwelling and building permits are required for inspections and to verify code compliance.

## Is a Minnesota residential building contractor license required to build a barndominium or shouse?

Yes. A Minnesota residential building contractor license is required for the construction of a barndominium or shouse because they are residential dwellings. Licensed contractors and homeowners should confirm with the local jurisdiction requirements for permits, inspections, zoning, and other relevant regulations before construction. [Minn. Stat. 326B.805 and 326B.802 subd. 13]

## Are barndominium and shouse setbacks from property lines regulated by the code?

No. The 2020 MNRC does not address minimum property line setback requirements for a barndominium or shouse. Local zoning ordinances may regulate property line setbacks and land use for all dwellings, including barndominiums and shouses. Local zoning ordinances may also limit the use of metal exterior finishes and should be verified.

## Does the code have requirements for exterior walls and eave projections near property lines?

Yes. Barndominiums and shouses must comply with code requirements for exterior walls. Barndominium or shouse exterior walls that are less than five feet from the property line are required to be one-hour fire-resistive rated. Roof eave

projections that are two feet or more and less than five feet from the property line must also be one-hour fire-resistive rated. (See illustration at right.) [R302.1, Table R302.1(1), Minn. R. 1300.0120 Subp. 4]

### Does the 2020 MNRC provide design requirements for post/frame construction?

No. The 2020 MNRC provides the minimum prescriptive requirements for conventional light frame construction. A post frame structure could be accepted as an alternate method of construction if approved by the building official. Documentation must be submitted to the building official to demonstrate that the alternate method complies with the intent of the code. [R301.1.2, R301.1.3, Minn. R. 1300.0110 subp. 13]

### Is a structural engineer required to design a barndominiums and shouses?

Yes. Design by a structural engineer is required for any structural elements (design, foundation system, method of anchorage) of a dwelling that do not comply with the 2020 MNRC requirements for conventional light frame construction. Barndominiums and shouses are generally post frame construction which is not considered light frame construction or addressed by the code so a structural engineer must certify the design as compliant with the code. [R301.1.3]

### Are barndominiums and shouses required to have footings and foundations complying with the code?

Yes. A foundation system of post and footings, slab-on-grade, or another foundation type must be capable of supporting all imposed loads regulated by the code. This is necessary because all structures must be constructed to support the loads (i.e., dead loads, live loads, roof loads, snow loads, wind loads ...) as prescribed by the code, which results in a system providing a complete load path to transfer loads from their point of origin through the foundation to the supporting soils. [R301.1, R401.2]

### Do barndominiums and shouses require frost depth footings?

The footings of all dwellings must be frost protected in accordance with the code. Barndominiums and shouse often include posts with footings, slab-on-grade, or conventional foundation methods of construction The 2020 MNRC permits five options for frost footings, including compliance with Minn. R. 1303.1600. Minn. R. 1303.1600 provides the minimum footing depths for frost protection in Minnesota counties and requirements for slab on grade structures. The minimum frost protection depths are 42 inches in southern counties or 60 inches in northern ones. [R403.1.4.1, Minn. R. 1303.1600]

### Are barndominiums and shouses required to comply with energy code requirements like other dwellings?

Yes. Barndominiums and shouses must comply with the minimum requirements of the Minnesota Residential Energy Code (MNREC) because they are considered single-family dwellings. Construction plans and documents for

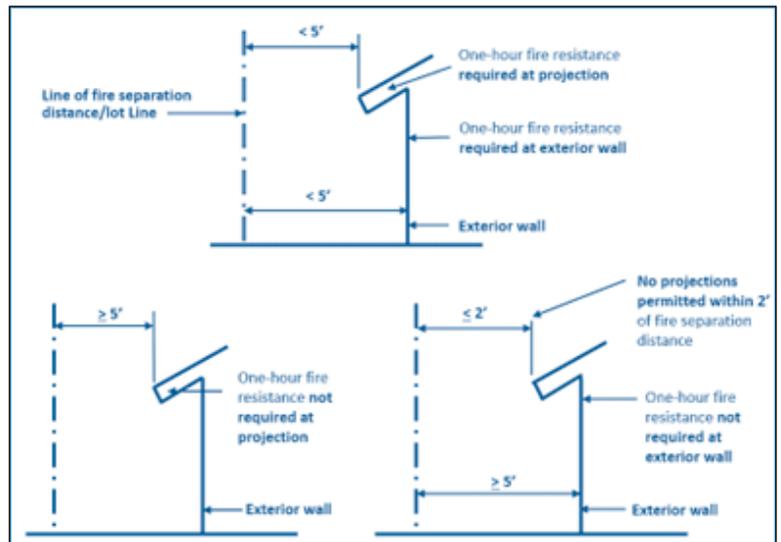
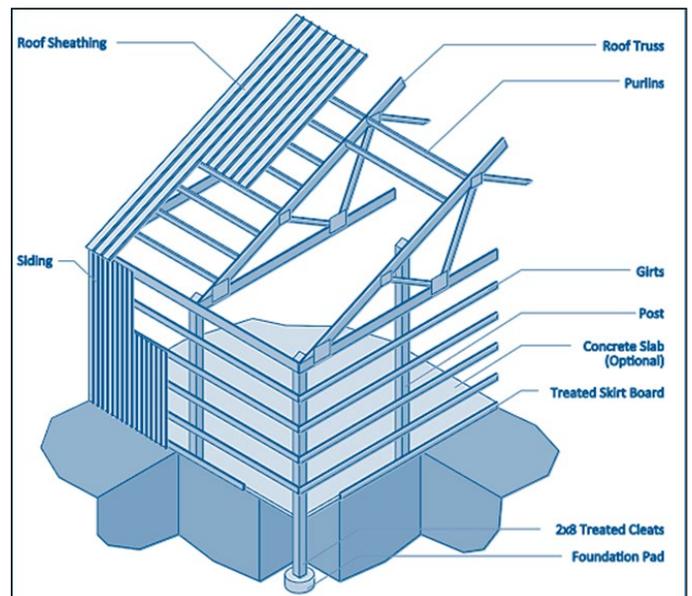


Table R302.1(1) – Exterior walls (without fire sprinklers)

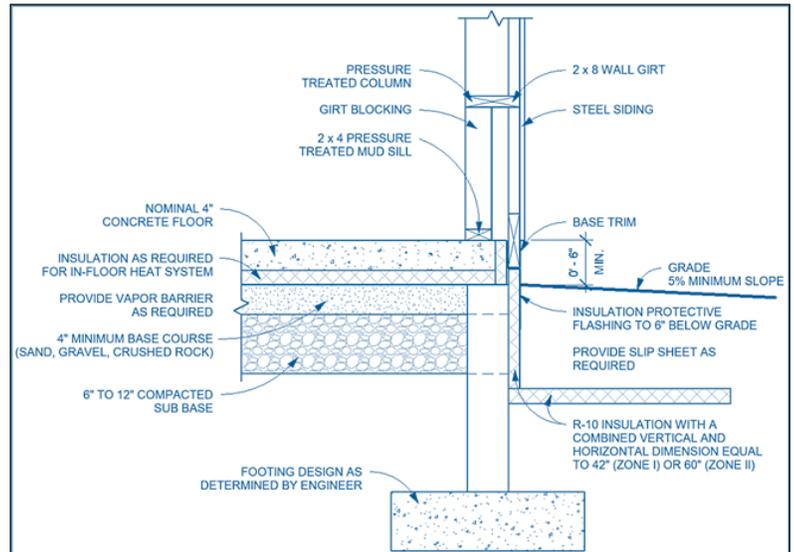


Typical post/frame components.

a barndominium or shouse must include the information required by the MNREC and other information as requested by the building official to verify compliance with the MNREC. [Minn. R. 1322, 1322.0103, 1300.0130]

### Are there requirements for the slab-on-grade portion of a barndominium or shouse?

Yes. Slab-on-grade construction must comply with the MNRC and MNREC. Slab-on-grade insulation must meet the MNREC requirements for minimum R-values and requirements for the climate zone (6A or 7) where the structure will be located. The slab-on-grade required insulation depth can be a total of the combined vertical and horizontal insulation dimensions. (See illustration) [MNRC R403, Minn. R. 1322, MNREC R402.2.9 and MNREC Table R402.1.1]



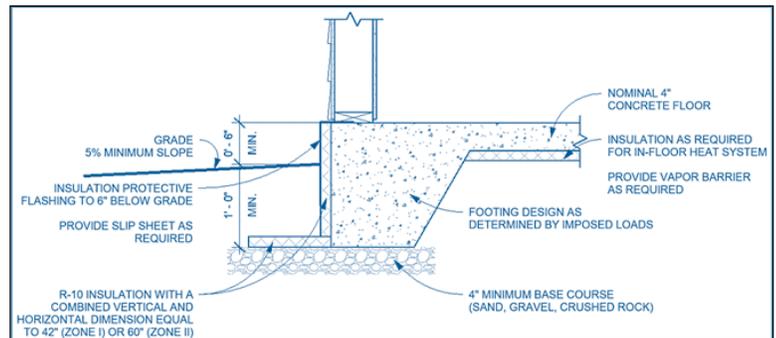
Example of slab-on-grade insulation for post frame.

### Do post frame barndominiums and shouses require radon control systems?

Yes. A radon control system that complies with Minn. R. 1303.2400 is required for residential dwellings with floor systems in contact with the earth such as slab-on-grade floors. The radon control system is only required for the dwelling area and not the attached garage, shop or storage area.

### Is a fire separation required barndominium or shouse between the dwelling and garage, shop or storage areas?

Yes. The code requires ½-inch gypsum board at the common wall between the house and garage of conventional dwelling construction. The same requirement applies to barndominiums and shouses with attached garages or attached storage and shop areas with overhead garage doors for vehicle access that could be used as a garage. Code requirements for openings in the common wall for fire separation also apply. [R302.5, R302.6]



Example of slab-on-grade insulation.

### Can metal siding panels be used as the required fire separation between the dwelling and garage or shop?

Unlikely. The code requires ½-inch gypsum board at the common wall between the house and garage of conventional dwelling construction. The metal siding could be used if installed over the 1/2-inch gypsum board that provides fire protection. The metal siding could be approved as an alternate method of construction if it is proven to meet the intent of the code and provides fire protection equivalent to ½-inch gypsum board. Metal panel siding may be noncombustible but does not function the same as gypsum board in a fire event. [R302.5, R302.6]

### Are there requirements for doors, openings and penetrations between the dwelling portion and garage, shop?

Yes. There are several requirements. Openings between the garage or shop directly into a room used for sleeping purposes is prohibited. Other openings between the garage or shop and dwelling shall be equipped with solid wood doors not less than 13/8 inches in thickness, solid or honeycomb core steel doors not less than 13/8 inches thick, or 20-minute fire-rated doors. Other penetrations or openings shall be protected as required by the code. [R302.5, R302.5.1]

### Can a second floor or loft in the dwelling have doors or windows overlooking the garage or shop area?

Window openings between the garage or shop and dwelling are prohibited. Other penetrations or openings, such as doors, between the garage or shop and dwelling must be protected as discussed above. [R302.5, R302.5.1]

### Is the exterior siding or other cladding required to have 6 inches of clearance above the ground?

Exterior siding or other cladding must comply with the MNRC. Wood siding, wood sheathing and wall framing on the exterior of the structure must have a minimum of 6 inches of clearance to grade or decay protected by use of naturally durable or preservative treated wood. Metal panel siding must comply with the manufacturer's installation instructions and may require 6-inch to 8-inch clearance to grade to protect it from rusting. [R317.1, R317.1.2]



*Example of a barndominium/shouse.*

### Does a post frame structure with metal panel siding require diagonal wall bracing for lateral building support?

Metal panel siding products may provide a structure with sufficient lateral support to meet wind load design requirements. The structure engineer is responsible for the designing the entire structure and certifying that the design is compliant with the code. [R301.1.3, R601.2]

### Are barndominiums and shouses required to have a water-resistive barrier (WRB) at exterior wall assemblies?

Yes. The code requires all heated and unheated structures with exterior wall sheathing to have WRB. The WRB is placed over the exterior wall sheathing prior to installation of the exterior cladding (siding) to prevent water accumulation within the wall assembly. Post frame construction is required to have a WRB or be provided with a secondary drainage plane to drain any moisture to the structure's exterior. Alternative methods for a secondary drainage plane that demonstrate compliance with the intent of the code are permitted with the approval of the building official of the jurisdiction. [R703.2, R703.1.1, Minn. R. 1300.0110 subp. 13]

### Are barndominiums and shouses required to have an ice barrier installed for roof covering materials?

Barndominiums and shouses are single-family dwellings and must comply with code requirements for those structures. Ice barriers are required as specified in the code for each type of roof covering material and the manufacturer's installation instructions. [R905.1, R905.1.2]

### Instead of buying wood trusses for a barndominiums and shouses, can an individual fabricate their own?

Wood trusses are engineered components of the roof and ceiling assembly and must be designed by a Minnesota-licensed engineer to accepted engineering standards. The 2020 MNRC permits the use of wood trusses or the hand framing of a structurally compliant roof and ceiling assembly in accordance with prescriptive requirements for ridge boards, rafters and ceiling joists. The engineer is responsible for the entire structural design including the foundation system, roof system, and wall framing for all imposed load requirements. [R802.10 R802.3, R802.4, R802.5]



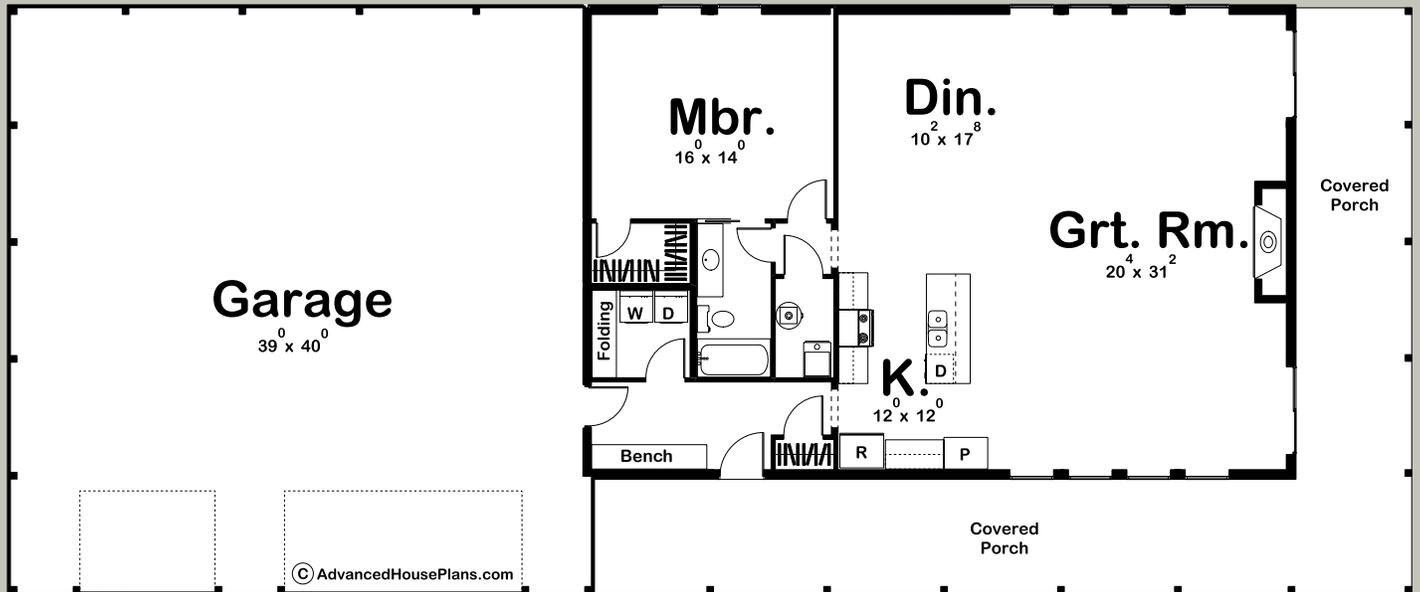
29668

# Northwood

1 BED | 1 BATH | POST FRAME

MAIN LEVEL:	1570 SQ FT
GARAGE:	1595 SQ FT
TOTAL FINISHED:	1570 SQ FT

<b>DIMENSIONS</b>
96' 0" WIDE
40' 4" DEEP





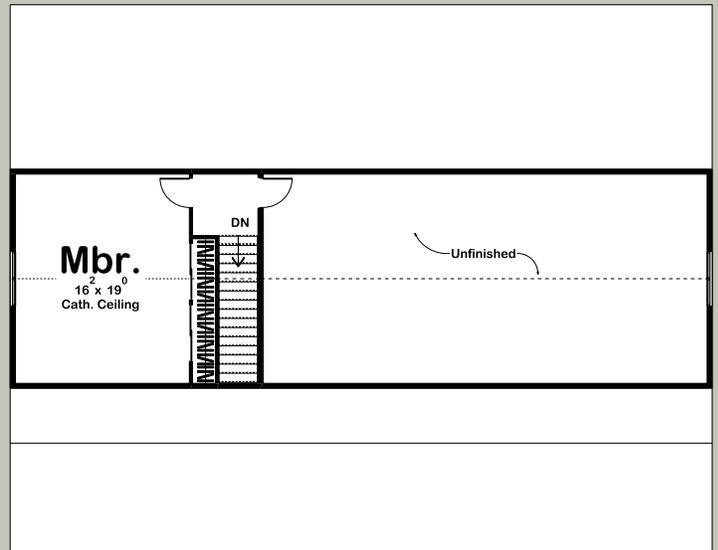
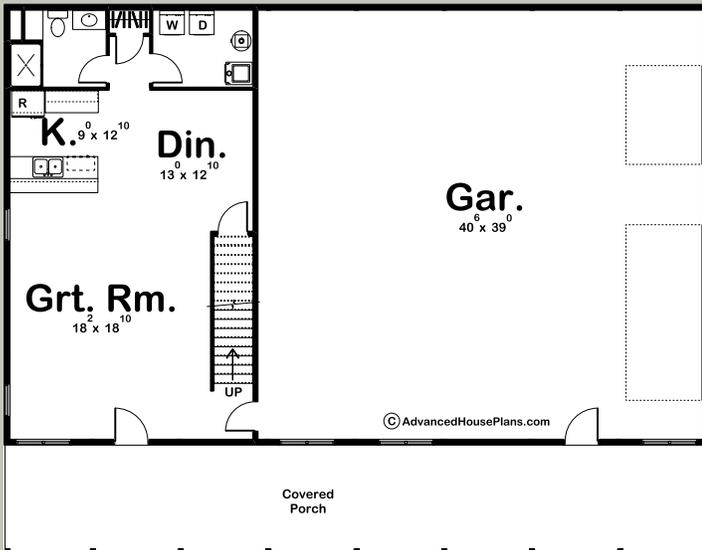
29674

# Westminster

1 BED | 1 BATH | POST FRAME

MAIN LEVEL:	938 SQ FT
LOFT:	404 SQ FT
GARAGE:	1653 SQ FT
TOTAL FINISHED:	1342 SQ FT

**DIMENSIONS**  
64' 0" WIDE  
50' 0" DEEP



29768



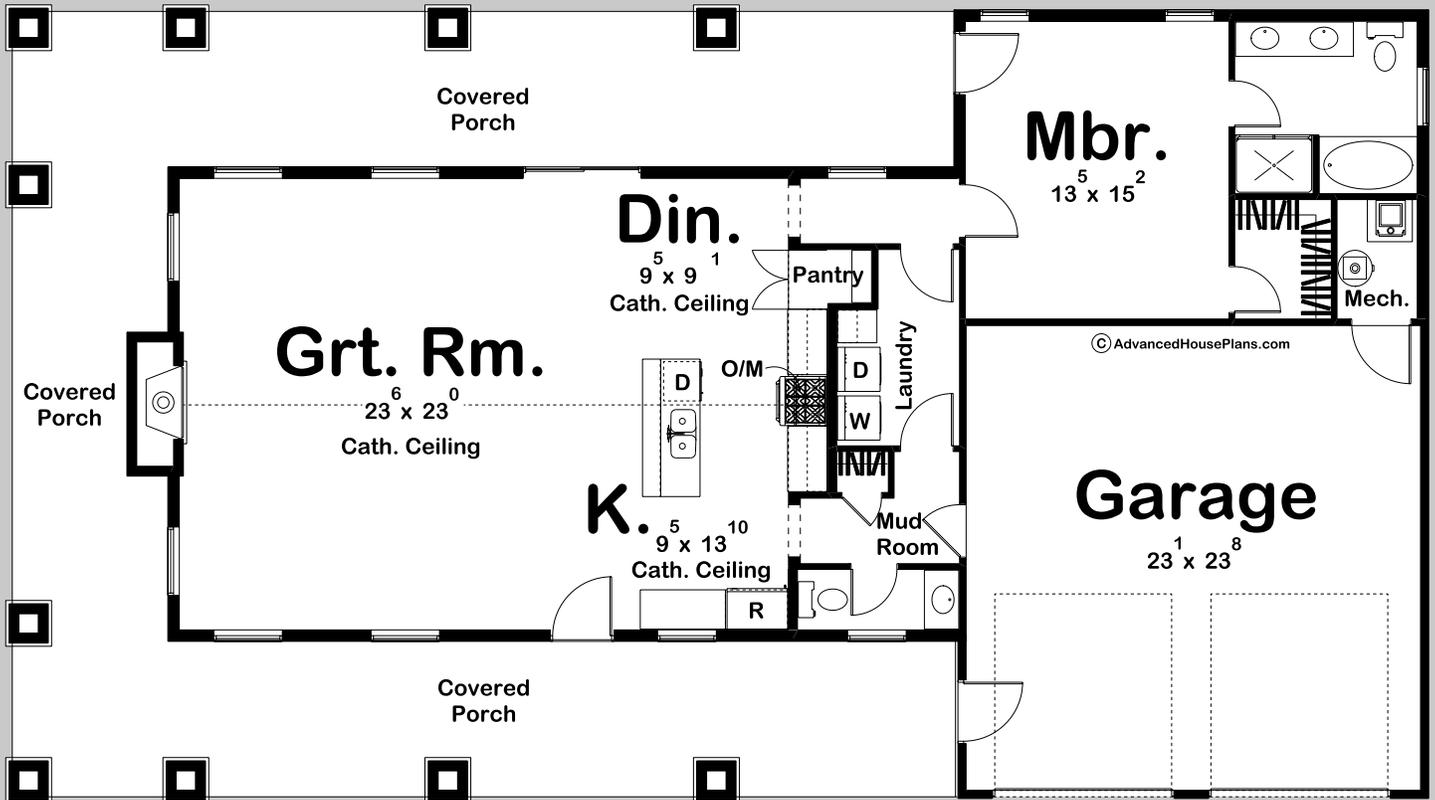
TRADITIONAL STYLE POSTFRAME HOUSE

# BOZEMAN

1 BEDROOM, 2 BATHROOM, 2 CAR GARAGE

MAIN FLOOR: 1358 SQ FT  
GARAGE: 570 SQ FT

EXTERIOR DIMENSIONS  
72' - 4" WIDE  
40' - 8" DEEP



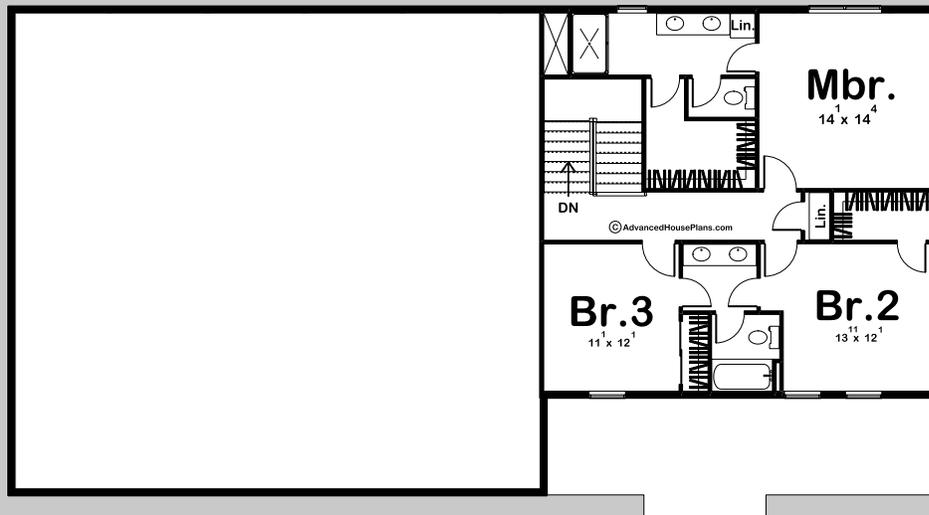
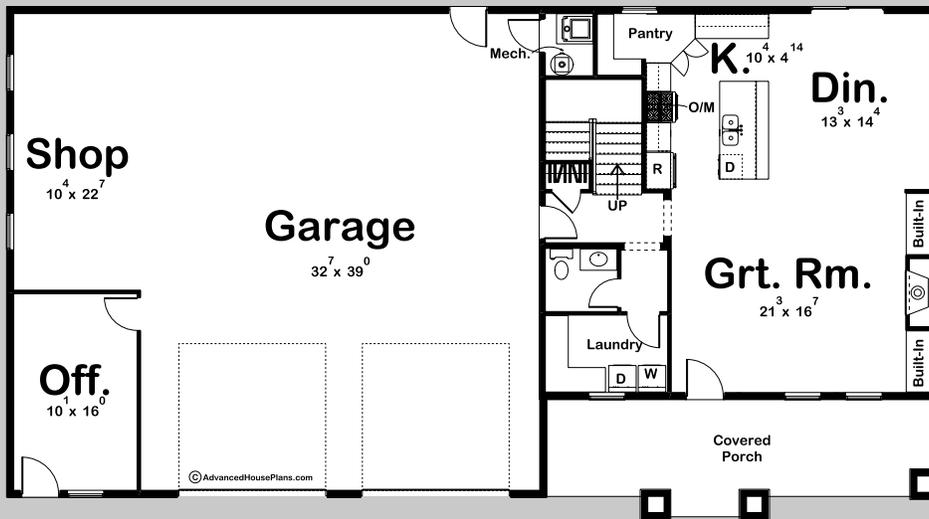
20269



TRADITIONAL STYLE  
**HELENA**  
3 BEDROOM, 3 BATHROOM, 2 CAR GARAGE

MAIN FLOOR: 1037 SQ FT  
SECOND LEVEL: 957 SQ FT  
TOTAL FINISHED: 1994 SQ FT

EXTERIOR DIMENSIONS  
76' - 0" WIDE  
41' - 0" DEEP



29774

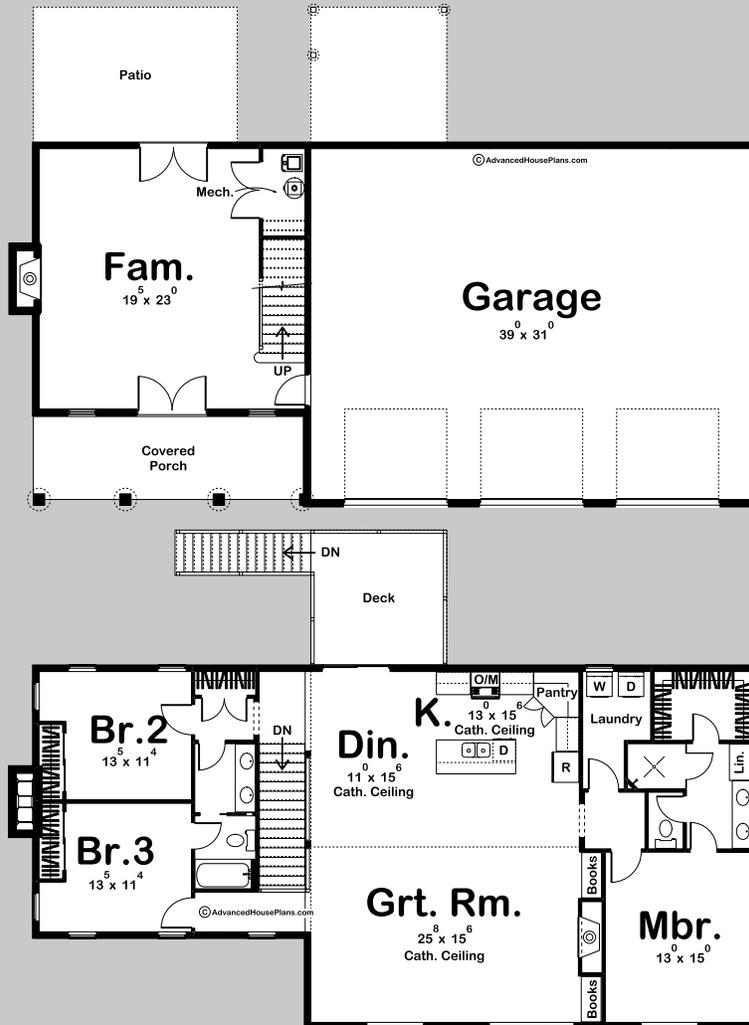
Item # 00000000000000000000



TRADITIONAL POSTFRAME HOUSE  
**GREAT FALLS**  
3 BEDROOM, 2 BATHROOM, 3 CAR GARAGE

MAIN FLOOR: 575 SQ FT  
SECOND FLOOR: 1800 SQ FT  
GARAGE: 1269 SQ FT

EXTERIOR DIMENSIONS  
66' - 0" WIDE  
32' - 0" DEEP



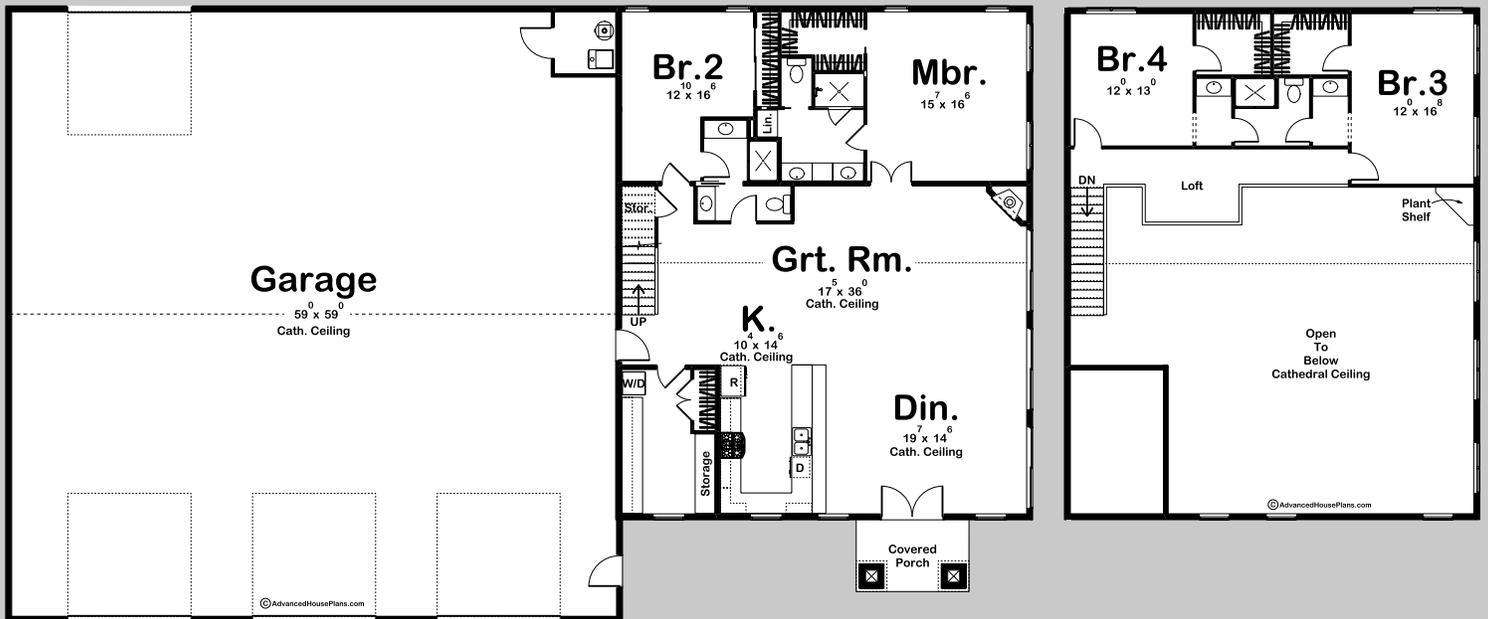
20947



**TABLE ROCK**  
4 BED, 3 BATH, 4 CAR GARAGE

MAIN LEVEL: 2025 SQ FT  
SECOND LEVEL: 751 SQ FT  
TOTAL FINISHED: 2776 SQ FT

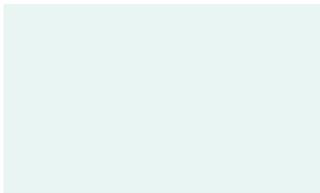
EXTERIOR DIMENSIONS  
100' - 0" WIDE  
60' - 0" DEEP



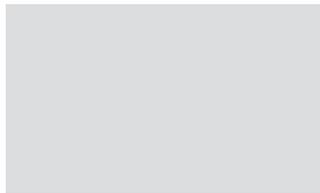
Residential

# STEEL SIDING

Limited Lifetime Warranty



**BRITE WHITE**



**WHITE**



**LIGHT STONE**



**PINEWOOD**



**BEIGE**



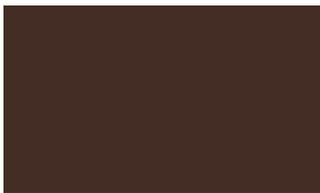
**TAN**



**BRONZE**



**BURNISHED SLATE**



**BROWN**



**CHARCOAL BLACK**



**MIDNIGHT BLACK**



**EMERALD GREEN**



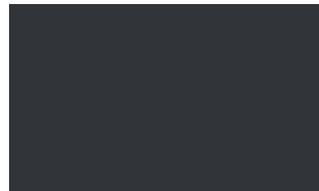
**ASH GRAY**



**LIGHT GRAY**



**CHARCOAL GRAY**



**MIDNIGHT GRAY**



**BRITE RED**



**RED**



**COLONIAL RED**



**BURGUNDY**



**OCEAN BLUE**



**MIDNIGHT BLUE**

## MENARDS

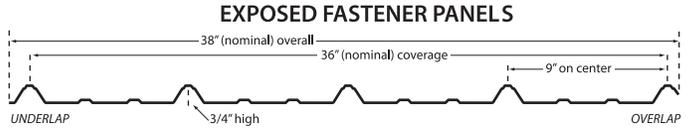
offers the BEST CHOICE of Residential Steel Siding Panels. Complete the look with our other Quality Steel Products. Steel Roofing, Soffit, Fascia, Gutter, Vents, Trim, Trim Coil, & Custom Bent Trim.

**Note:** Color Chips show approximate tone. Color of actual product may vary. Final color approval should be made with actual product. City of Dallas, page 111

**PRO-RIB**



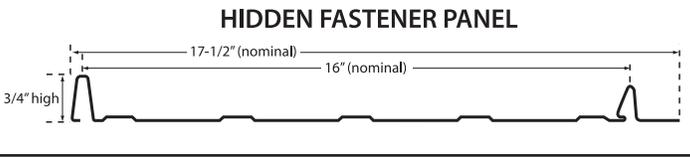
Pro-Rib and Premium Pro-Rib are the most versatile panels on the market. These panels are 36" wide coverage and can be cut to your length to the inch, for fast and easy installation. These panels can take on a rustic or industrial look on your home or building. Available in all 22 Traditional, and 4 Designer Series, steel colors that feature a matte finish.



**PREMIUM PRO-SNAP**



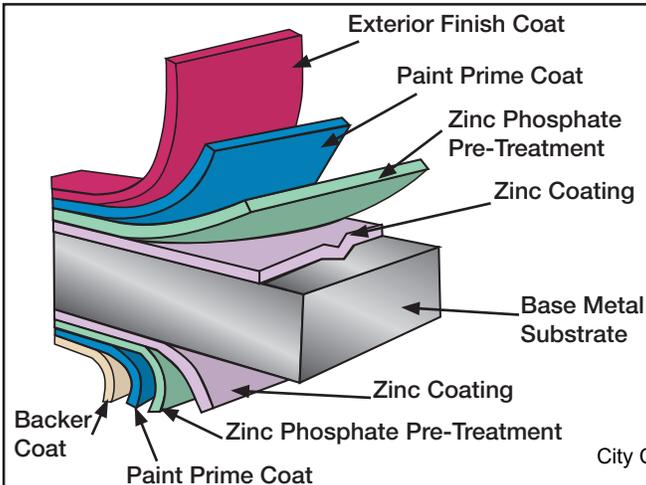
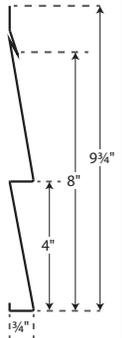
Premium Pro-Snap can be installed vertically to create a 16" mini-batten pattern that works with any home's style. Want a bigger board and batten look? Simply snap on our batten trim to create a 2-3/8" wide batten look that will never fade and will never need painting.



**PREMIUM PRO-LAP**



The Premium Pro-Lap siding gives your home the horizontal siding look with a realistic wood grain pattern. Premium Pro-Lap siding has 8" coverage and is available in 12'6", 16'8" and 20' lengths to reduce seams on any wall. With the best color retention, protection from hail, wind and fire, and limited expansion, Premium Pro-Lap is a great option for any home.



- Available in 23 colors
- Trim available in all colors
- Zinc Phosphate pre-treatment
- Grade 80 (full hard steel)
- 100,000 p.s.i. nom. tensile strength
- UL 2218 Class 4 Hail Resistance
- UL 790 Class A Fire Resistance
- UL 580 Class 90 Wind Uplift
- Structural strength ASTM-A653
- Coil coating "paint" process ASTM-A755
- Meets IBC 1507.4 Metal Roof Panels
- Florida State Approval FL42461 on 5/8" Plywood, FL42564 on 2x Material

**City of East Bethel  
City Council Meeting  
Agenda Item Information**



**Date:** March 10, 2025

**Agenda Item Number:** 8.0 G.2

**Agenda Item:** Administrative Coordinator Position Description Update and Salary Grade Change

**Background Information:**

Carrie Frost began employment with the City of East Bethel as an Administrative Assistant on November 4, 2011. On September 23, 2013 she was promoted to the City's Permit Technician Position and on October 1, 2014 she was promoted to her current Administrative Coordinator Position. Since that time her position duties have expanded to include:

- Custody of the City Seal
- Filing of Community Development Land Use documents
- Managing City social media accounts
- Absentee voting for elections (handed down from County level)
- Election Judge training (handed down from County level)
- Cannabinoid, and Massage Therapy Licenses
- Solicitor Permits
- Records retention and records management
- Absorbed Cable Tech duties & trained other staff
- Preparation and dissemination of video files
- Manage maintenance of Audio/Video equipment
- Assisting in providing work direction to Administrative Assistant

In addition, Ms. Frost is scheduled to complete her City Clerk certification in July of 2025 and has become a staff leader as it relates to employee training / overall support.

The Administrative Coordinator position is currently at Grade 6 (\$35.38 per hour) in the City of East Bethel's salary matrix. Given the items mentioned above and to remain competitive with other surrounding City's wages / retain our valued employees, Staff recommends a salary grade change to Grade 7 (\$38.92 per hour).

**Attachment:** Updated Administrative Position Description

**Fiscal Impact:** An increase of \$3.54 per hour, or \$7,363 plus benefits annually.

**Recommendation(s):** The City Administrator recommends the Council consider the approval of the updated Administrative Coordinator position description and grade change from grade 6 (\$35.38 per hour) to grade 7 (\$38.92 per hour) effective March 11, 2025.

## CITY OF EAST BETHEL POSITION DESCRIPTION

<b>Job Description Title:</b> Administrative Coordinator   Deputy City Clerk	<b>FLSA Status:</b> Non-Exempt/Non-Union/Essential/Confidential
<b>Department:</b> City Administration	<b>Position Status:</b> Regular Full-Time
<b>Accountable To:</b> City Administrator	<b>Salary Grade:</b> Grade 7
<b>Prepared By:</b> City Administrator	<b>Revision Date:</b> March 10, 2025

### Position Summary

The Administrative Coordinator | Deputy City Clerk position provides general support services to the Administration Department and City as a whole. This position provides administrative services, general support and records maintenance with a high degree of accuracy and organization. This position also acts as the City's Election Supervisor.

### Essential Duties and Responsibilities

The following are representative of duties and responsibilities of the position but are not limited to:

#### Administration

- Prepares and collates materials for City Council and EDA meeting packet submission
- Coordinates City Council meeting minute taking, preparation and submission
- Coordinates the City's records retention and records management systems
- Responsible for all Code updates and legal publications.
- Prepares letters, draft resolutions, memoranda, other correspondence and has custody of the official City seal
- Conducts all aspects of Liquor, Tobacco, Vehicle, Gambling and Garbage Hauler licensing and record keeping
- Provides general assistance to residents and all others concerning licensing and ordinances
- Assists the City Administrator with posting and publishing of all legal notices and documents
- Provides administrative support including the composition of letters / memos / general documents, answering phones and assisting the public
- Assists in providing work direction to Administrative Assistant and acts as that positions primary backup
- Assists other City Departments and performs other duties as assigned

#### Elections

- Acts as the City's Election Supervisor with responsibilities including:
  - Conducting elections, testing equipment, recruiting election judges, training election judges, posting and publishing legal notices and ballots and providing election results

#### Communications

- Provides work direction for the City Cable Operation
  - Prepares City Council / other meeting audio/visual files for replay on City website and channel 10, including training camera operators
- Coordinates updates for the City Webpage, City Reader Board, and City Social Media Sites
- Coordinates the publishing of the City Newsletter

- **Coordinates all aspects of the City advertising program through various forums**
- Responsible for keeping a calendar of all City functions and notifying Council and Commission Members, Staff and the public of events
- Assists in the preparation of notices, fliers and posters for various events and activities
- Acts as the City's primary contact / coordinator for the City's annual Booster Day event

**Physical Demands & Working Conditions:**

- Office environment; exposure to computer screens, working closely with others, frequent interruptions
- Sit for eight hours with minimal physical activity
- Ability to operate computer keyboard for up to 8 or more hours
- Bend, stoop, squat, kneel, balance or reach as required
- Ability to lift, push or pull 25 pounds

**Knowledge, Skills, Abilities and Other Requirements**

- Demonstrated ability to multi-task efficiently, prioritize duties using sound and consistent judgment, determine the needs to timely complete various projects and is a self-starter
- Proficient working knowledge of word processing and spreadsheet programs
- Possesses technical knowledge and decision-making skills relating to various electronic and computer technology and communications
- Has demonstrated ability to work independently
- Possesses creative ability to write and requires composition skills utilizing proper grammar, punctuation, and spelling for all written documents, newsletters and other written forms of communication
- Ability to establish and maintain effective working relationships with co-workers and the Public.

**Minimum Qualifications:**

- 4-Year Degree in an office management or related curriculum, or combination of equivalent work experience and progressively responsible administrative clerical and business background that includes working with the public.
- **Minnesota Certified Municipal Clerk designation is preferred; alternatively, program completion is expected within four years from the date of hire.**
- **Must be able to obtain Notary Public commission within 90 days of hire.**
- **Ability to obtain Fire Warden designation from MN DNR, Division of Forestry**
- Ability to function in a fast-paced environment and perform tasks within deadlines
- Ability to work some evenings and flexible hours as required
- Ability to utilize Microsoft office products
- Ability to communicate clearly, effectively and efficiently in both verbal and written formats
- High proficiency in computer skills
- Valid Driver's License

Approved by:

\_\_\_\_\_  
City Administrator

\_\_\_\_\_  
Date

**City of East Bethel  
City Council Meeting  
Agenda Item Information**



**Date:** March 10, 2025

**Agenda Item Number:** Item 8.0 G.2

**Agenda Item:** Approval of the Sunrise River WMO budget and JPA Amendment

**Background Information:**

The Sunrise River WMO is a joint powers organization consisting of Columbus, East Bethel, Ham Lake, and Linwood. The SRWMO Joint Powers Agreement provides rules and procedures for operation of the SRWMO. Membership in Watershed Management Organizations and Watershed Management Districts is mandated by the Minnesota Bureau of Soil and Water Resources (BSWR) for all municipalities in the seven county Metro area.

The SRWMO board met on February 20<sup>th</sup> and approved sending the 2026 SRWMO budget to the JPA members for ratification. The budget included a new line item "Watershed Management Update". Funding of the Watershed Management Update is addressed in the JPA amendment.

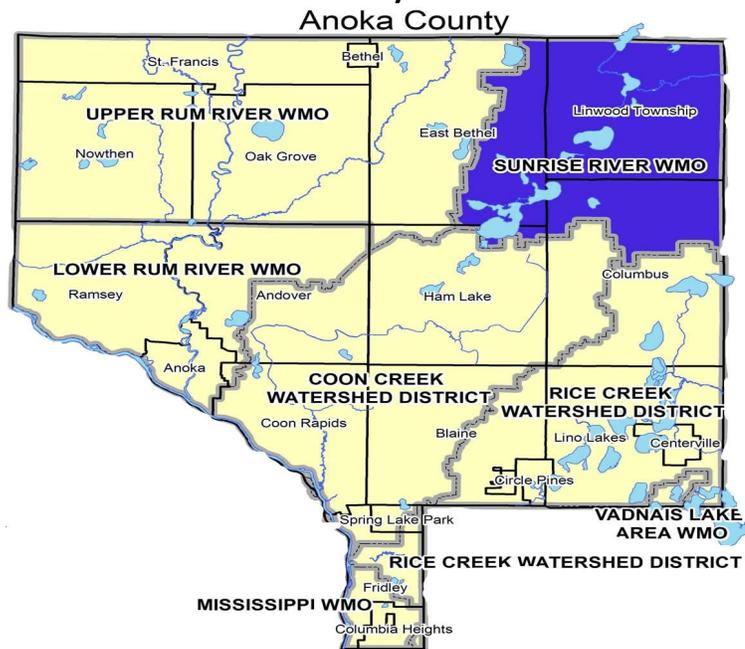
The SRWMO's draft 2026 budget is provided to each member city for their input and is attached for review. After ratification, and absent any comments or direction from East Bethel, our portion of the budget would be considered approved at the level indicated for 2026. Any comments or direction would need to be communicated before April 3, 2025.

**Budgets for 2026 (proposed) and the previous four years are as follows:**

<b><u>YEAR</u></b>	<b><u>SRWMO BUDGET</u></b>	<b><u>EAST BETHEL PORTION</u></b>
2026	\$50,643	\$14,104
2025	\$47,189	\$13,251
2024	\$47,186	\$13,456
2023	\$44,500	\$12,647
2022	\$43,880	\$12,573

The proposed 2026 SRWMO Budget is \$50,643 as compared to the 2025 budget of \$47,189. East Bethel's portion of the 2026 budget, as presented in Attachment 1, is proposed to be \$14,104 or an increase of \$853 from the 2025 City share of \$13,251.

## SRWMO Watershed Boundary:



### Proposed JPA Amendment

The Sunrise River Water Management Organization (SRWMO) conducted meetings with City Administrators and Council member liaisons from each member municipality to discuss amendments to the Joint Powers Agreement (JPA) that would update the agreement to designate how to fund the watershed plan, update and other work required by the State in order for the WMO to exist. This JPA was adopted in 1985 and has been amended just once in 2010. That amendment only changed the timing of invoices to the members from an annual to a semi-annual basis. The current JPA does not address how updates to the plan should be shared among its membership.

Budget expenses are broken out into two categories and percentages are attributed to each member of the JPA. Operating Budget expenses are shared equally by members of the JPA (25% each). Non-Operating Budget expenses are not shared equally by member of the JPA (Columbus 19%, East Bethel 30%, Ham Lake 4% and Linwood 47%).

Based on the discussion and rationale, the Board crafted a proposed JPA amendment to define the expenses incurred to update the SRWMO Watershed Management Plan (and that of the required audit) as operating costs, as well as provide clarifying language for any potential future State -mandated (unfunded) requirements.

The recommended amendment to Section 3.7.C.2 *Financial Matters-Party Contribution* of the JPA would be as follows (in red):

Section 3.7.C.2 Operating Cost Budget. Each party's percentage share of the operating cost for which they are responsible shall be as set out below. Operating costs included in this budget are defined as copies, postage, recording secretary fees, insurance, audit, watershed management plan updates, other work (and associated expenses) required by the State in order for the WMO to exist, and administrative fee charged to each party. The administrative fee may include fees for general administrative services, annual reporting to the State and parties, providing required public notices, and required advertisement for secretarial or administrative professional services.

**Attachments:**

Attachment 1 – 2026 SRWMO Budget and JPA Amendment

**Fiscal Impact:** As noted above

**Recommendation(s):**

Staff is recommending approval of the attached proposed 2026 budget as well as the Amendment to the JPA, identifying expenses incurred for copies, postage, recording secretary fees, insurance, audit, watershed management plan updates, other work (and associated expenses) required by the State in order for the WMO to exist, be identified as Operating Budget Costs and divided evenly among the members of JPA.

**City Council Action:**

Motion by: \_\_\_\_\_

Second: \_\_\_\_\_

Vote Yes: \_\_\_\_\_

Vote No: \_\_\_\_\_



# Sunrise River Watershed Management Organization

## Memo

**To: SRWMO JPA Members**

**Columbus City Administrator Jack Davis**, via email: [cityadmin@ci.columbus.mn.us](mailto:cityadmin@ci.columbus.mn.us)

**East Bethel City Administrator Matt Look**, via email: [matt.look@ci.east-bethel.mn.us](mailto:matt.look@ci.east-bethel.mn.us)

**Ham lake City Administrator Denise Webster**, via email: [dwebster@ci.ham-lake.mn.us](mailto:dwebster@ci.ham-lake.mn.us)

**Linwood Treasurer Alyssa Dehn**, via email: [alyssa.dehn@linwoodtownship.org](mailto:alyssa.dehn@linwoodtownship.org)

**From: Janet Hegland**

SRWMO Treasurer and Columbus City Council Representative to SRWMO

**CC: SRWMO Administrator Jamie Schurbon**, via email: [jamie.schurbon@anokaswcd.org](mailto:jamie.schurbon@anokaswcd.org)

**SRWMO Board Members** via email: *Brian Mundle* ([brian.mundle@ci.east-bethel.mn.us](mailto:brian.mundle@ci.east-bethel.mn.us)), *Tim Melchior* ([timothymelchior@gmail.com](mailto:timothymelchior@gmail.com)), *Leon Mager* ([lamj3@outlook.com](mailto:lamj3@outlook.com)), *Troy Wolens* ([denise@pioneer-cycle.com](mailto:denise@pioneer-cycle.com)), *Ben Harker* ([Ben.d.harker@gmail.com](mailto:Ben.d.harker@gmail.com)), *Jonn Olson* ([jonn.olson@linwoodtownship.org](mailto:jonn.olson@linwoodtownship.org)), *Kevin Kelly* ([wyoingkellys@yahoo.com](mailto:wyoingkellys@yahoo.com)), *Andrew Hallberg* ([ahallberg@hamlakemn.gov](mailto:ahallberg@hamlakemn.gov))

**Date: 3/1/2025**

**Re: Proposed Amendment to SRWMO JPA**

---

You received an email from Jamie Schurbon on February 26<sup>th</sup>, requesting that your city council or town board consider the SRWMO 2026 budget simultaneously with a proposed amendment to the SRWMO Joint Powers Agreement. In this memo I will explain the proposed amendment to the Joint Powers Agreement and why the two actions of voting on the JPA amendment and ratifying the budget should be taken in unison. I am requesting that you please forward this memo to your respective boards, along with the 2026 SRWMO budget for ratification that you received on February 25<sup>th</sup> via email from Jamie (also attached to this email).

### **Situation**

The SRWMO Board approved sending the 2026 SRWMO budget to the JPA members for ratification at their February 20<sup>th</sup> meeting. Communities received it on February 26<sup>th</sup>. This budget includes a new line item "Watershed Plan Update." An explanation of that new line item and why it prompted a recommendation for the proposed JPA amendment follows.

Memo to SRWMO JPA Members  
March 3, 2025

### **Background**

Every ten years, the Board of Water & Soil Resources (BWSR) requires the SRWMO to develop and submit for approval a ten-year Watershed Management Plan that outlines how it plans to carry out its State mandated responsibilities (i.e., protect, preserve and improve the quality of surface and groundwater; and protect and enhance fish and wildlife habitat and water recreational facilities). The next plan update will be during 2028-2029. The update of the SRWMO Watershed Management Plan takes significant resources and funds (the next generation Watershed Management Plan is estimated to cost \$50,000). As such, the SRWMO Board directed Jamie to budget each year for a portion of the updated Watershed Management Plan's estimated cost to avoid a large increase in the amount due from the JPA member communities towards the end of the existing plan (approximately two years before the new plan is due to BWSR). This Board direction resulted in the new budget line item "Watershed Plan Update" that you now see in the proposed 2026 budget.

Previously, annual budgeting did not include a line item to accrue funds for the cost to update the Watershed Management Plan, so how to categorize this new expense was a topic of discussion at the February 20th SRWMO Board meeting. Specifically, the question discussed was if this expense was an "operating" cost or a "non-operating" cost. That definition matters because the allocation methodology, as outlined in the JPA, assigns the amount to be invoiced to each JPA community depending on the categorization (i.e., operating, or non-operating) of such costs. The JPA currently defines operating and workplan (non-operating) costs and the allocation methodology as follows:

***Section 3.7.C.1 Work Plan (Non-Operating) Budget.*** Each party's percentage share of the Board's work plan (non-operational) budget for which they are responsible shall be as follows: Columbus 19%; East Bethel 30%; Ham Lake 4%; 47%.

***Section 3.7.C.2 Operating Costs Budget.*** Operating costs included in this budget are defined as copies, postage, recording secretary fees, insurance, and administrative fee charged to each party. The administrative fee may include fees for general administrative services, annual reporting to the State and parties, providing required public notices, and required advertisement for secretarial or administrative professional services. Each member of the JPA is allocated 25% of these costs.

### **Assessment**

It is not clear which of the two budget categories the cost of updating the Watershed Management Plan should fall under. The precedent is mixed.

- o The last updated Watershed Management Plan (2019) was billed to communities as a non- operating expense.
- o The current Watershed Management Plan's financial table lists the next plan update as an operating expense.
- o The current JPA does not specify the Watershed Management Plan under operating or non-operating categories. Because it was previously a once every 10-year expense and was not accrued for as it will be going forward, it simply was not thought of when the JPA was last updated.

**The Board discussed at length which category of costs the Watershed Management Plan update best fit and unanimously agreed that the expense for preparing the Watershed Management Plan update be considered an operating expense for the following reasons.**

- Like other operating expenses, it is an expense that is not dependent on the work performed in, or the benefit reaped by, the JPA members municipalities.
- It is a State mandate. SRWMO is legally required to produce a Watershed Management Plan every ten years.

Memo to SRWMO JPA Members  
 March 3, 2025

- It is analogous to the examples of expenses listed in the current JPA under Operating Costs; all of which are required costs of doing business, e.g., insurance, recording of minutes, public notices, and annual reporting.

**Recommendation for JPA Amendment**

Based on the above discussion and rationale, the Board crafted a proposed JPA amendment to define the expenses incurred to update the SRWMO Watershed Management Plan (and that of the required audit) as operating costs, as well as to provide clarifying language for any potential future State-mandated requirements.

The recommended amendment to Section 3.7.C.2 *Financial Matters-Party Contribution* of the JPA is as follows (red inserted text is the amended language).

**Section 3.7.C.2. Operating Costs Budget.** Each party’s percentage share of the operating costs for which they are responsible shall be as set out below. Operating costs included in this budget are defined as copies, postage, recording secretary fees, insurance, audit, watershed management plan updates, other work (and associated expenses) required by the State in order for the WMO to exist, and administrative fee charged to each party. The administrative fee may include fees for general administrative services, annual reporting to the State and parties, providing required public notices, and required advertisement for secretarial or administrative professional services.

For the purpose of illustration, the impact of adopting the proposed JPA amendment as it pertains to the 2026 budget is detailed below.

Comparison of treating Watershed Plan Expense as Operating vs Non-Operating expense	Watershed Plan Treated as Non-Operating Expense As Represented in Jamie’s 2.25.25 Memo			Watershed Plan Treated as Operating Expense If JPA Amendment Passes			
	2026 Operating	2026 Non-Operating	2026 Total	2026 Operating	2026 Non-Operating	2026 Total	2026 Difference in Community’s Contribution
Columbus	\$4,057.75	\$6,538.28	\$10,596.03	\$5,442.75	\$5,485.68	\$10,928.43	\$332.40
East Bethel	\$4,057.75	\$10,323.60	\$14,381.35	\$5,442.75	\$8,661.60	\$14,104.35	-\$277.00
Ham Lake	\$4,057.75	\$1,376.48	\$5,434.23	\$5,442.75	\$1,154.88	\$6,597.63	\$1,163.40
Linwood	\$4,057.75	\$16,173.64	\$20,231.39	\$5,442.75	\$13,569.84	\$19,012.59	-\$1,218.80
	\$16,231.00	\$34,412.00		\$21,771.00	\$28,872.00		
<b>Total budget</b>			\$50,643.00			\$50,643.00	

**Action Items**

I am asking that each JPA member community consider the following two motions at an upcoming Council/Town Board meeting. A flow diagram is provided below to help explain the choices.

## Decision-Making Flow Chart

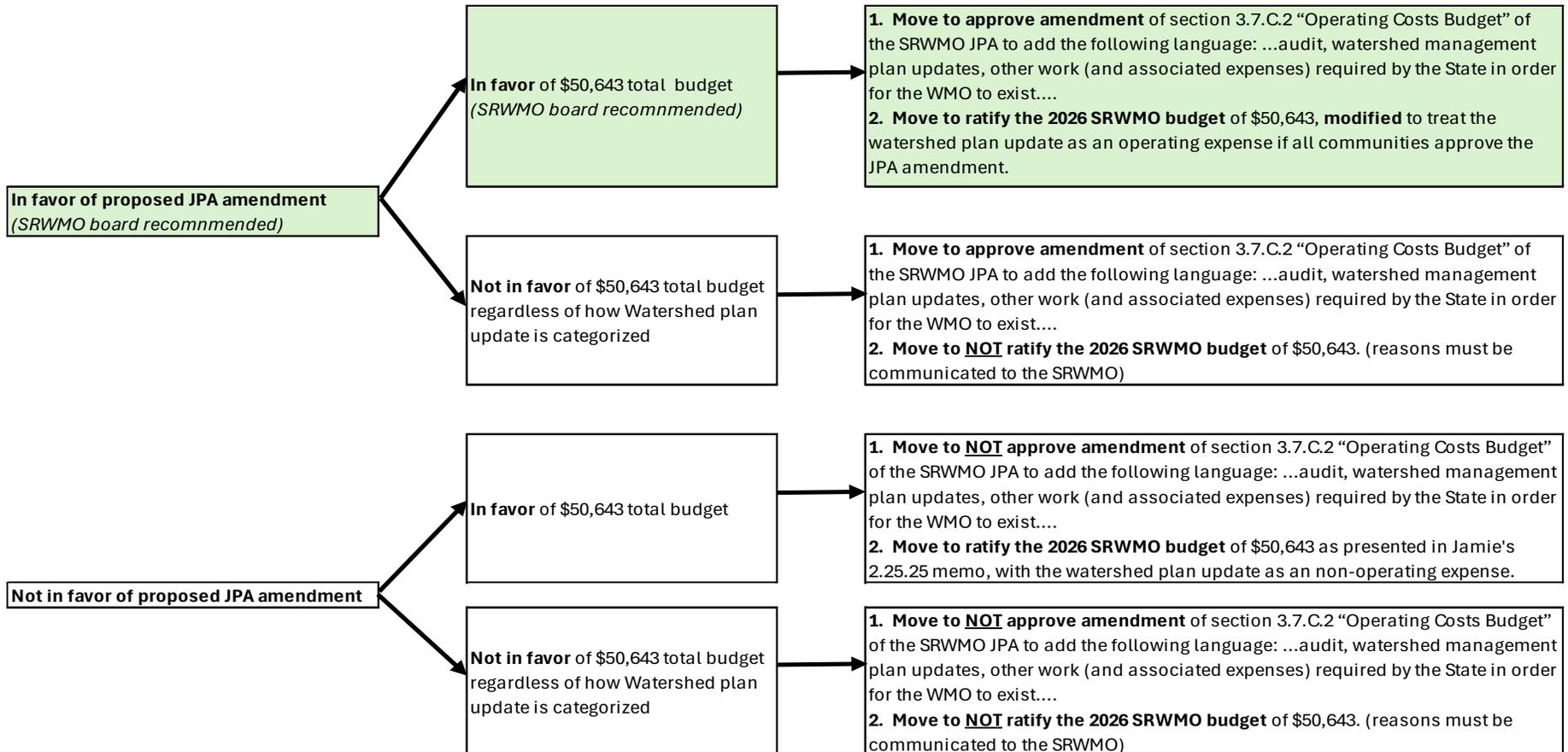
### JPA Amendment

Summary: The following will be operating expenses shared equally: "watershed plan update, audit, and other work required by the State in order for the WMO to exist"

### 2026 Budget

As presented in 2.25.25 Jamie S. memo. Summary: \$50,643.00 total budget.  
Watershed plan update is presented as a non-operating expense

### Recommended Motions



Please notify [jamie.schurbon@anokaswcd.org](mailto:jamie.schurbon@anokaswcd.org) of the outcome of your Council/Town Board's vote by April 3.

**City of East Bethel  
City Council Regular Meeting  
Agenda Item Information**



**Date:** March 10, 2025

**Agenda Item Number:** Item 8.0 G.3

**Agenda Item:** Upper Rum River Water Management Organization (URRWMO) Proposed 2026 Budget

**Background Information:**

The Upper Rum River WMO is a joint powers organization consisting of Bethel, East Bethel, Ham Lake, Nowthen, Oak Grove and St. Francis. Statutorily, all municipalities in the seven county Metro are required to participate in the Water Management Organizations or Districts. The Minnesota Board of Water and Soil Resources (BWSR) is the state agency that oversees and monitors the operations of the WMO's.

The member cities of the URRWMO jointly address water resources issues in this watershed. The organization is operated by an appointed board which consists of two representatives from each member locality. The URRWMO Joint Powers Agreement provides rules and procedures for operation of the organization.

The URRWMO's draft 2026 budget is provided to each member city for their input and is attached for review. Any requests to modify this budget need to be submitted to the URRWMO prior by April 28, 2025. After that date, and absent any comments or direction from East Bethel, our portion of the budget would be considered approved at the level indicated for 2026.

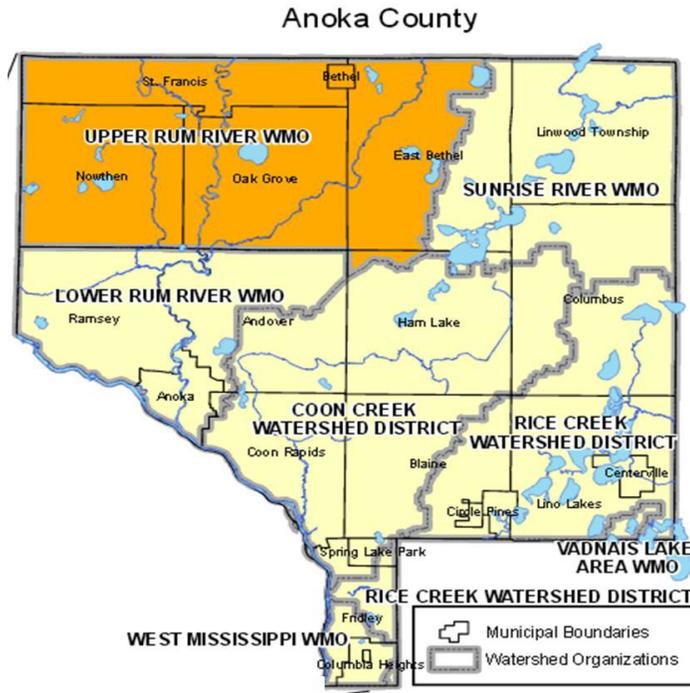
Budgets for 2026 (proposed) and previous years are as follows:

<u>YEAR</u>	<u>URRWMO BUDGET</u>	<u>EAST BETHEL PORTION</u>
2026	\$56,006	\$12,373
2025	\$45,946	\$10,087
2024	\$41,814	\$ 9,173
2023	\$44,814	\$ 9,739
2022	\$42,656	\$ 9,256
2021	\$44,218	\$ 9,641
2020	\$52,943	\$10,462
2019	\$33,935	\$ 7,651
2018	\$32,000	\$ 5,298

The URRWMO budget reflects a \$10,000 increase to be used towards a state required update to the 10-year URRWMO Watershed Management Plan update in 2027-2028. The cost is estimated to cost \$50,000 and the board is working to budget that expense over several years. If this form of budgeting did not plan for the upcoming expense, the budgets in 2027-2028 would increase dramatically. If not for this anticipated cost, the 2026 budget would have gone up \$60

The proposed 2026 URRWMO Budget is \$56,006 as compared to the 2025 budget of \$45,946. East Bethel’s portion of the 2026 budget, as presented in Attachment 1, is proposed to be \$12,373 or an increase of 23% from the 2025 City share of \$10,087

**JPA Boundary:**



**Attachments:**

Attachment 1 – Proposed 2026 URRWMO Budget

**Fiscal Impact:**

As noted above

**Recommendation(s):**

Staff requests the City Council consider approval of the URRWMO Draft 2026 Budget as exhibited in Attachment 1.

**City Council Action:**

Motion by: \_\_\_\_\_

Second: \_\_\_\_\_

Vote Yes: \_\_\_\_\_

Vote No: \_\_\_\_\_



## MEMO

**To:** URRWMO Cities  
**From:** Jamie Schurbon, Watershed Projects Manager  
**Date:** March 5, 2025  
**Re:** 2026 Draft Budget

---

The Upper Rum River Watershed Management Organization (URRWMO) board has developed its recommended 2026 budget. It must be ratified by each member community before it becomes final. Please consider ratification **before April 28. Notifications can be sent to [jamie.schurbon@anokaswcd.org](mailto:jamie.schurbon@anokaswcd.org).**

The budget includes \$10,000 toward a state-required update of the 10-year URRWMO Watershed Management Plan update in 2027-2028. That task is estimated to cost \$50,000 and the board is working budget the expense over several years. If this is not done, the 2027 and 2028 budgets would be much larger than the normal amounts. If not for the \$10,000 watershed plan expense being including in the 2026 budget, it would be just \$60 more than 2025.



## COSTS BY CITY

### 2026 DRAFT Budget Summary

**Notes:**

Budget was developed 2019-2028 URRWMO Watershed Management Plan.

Community contributions are based on land area and market valuations, per the current Upper Rum River WMO joint powers agreement.

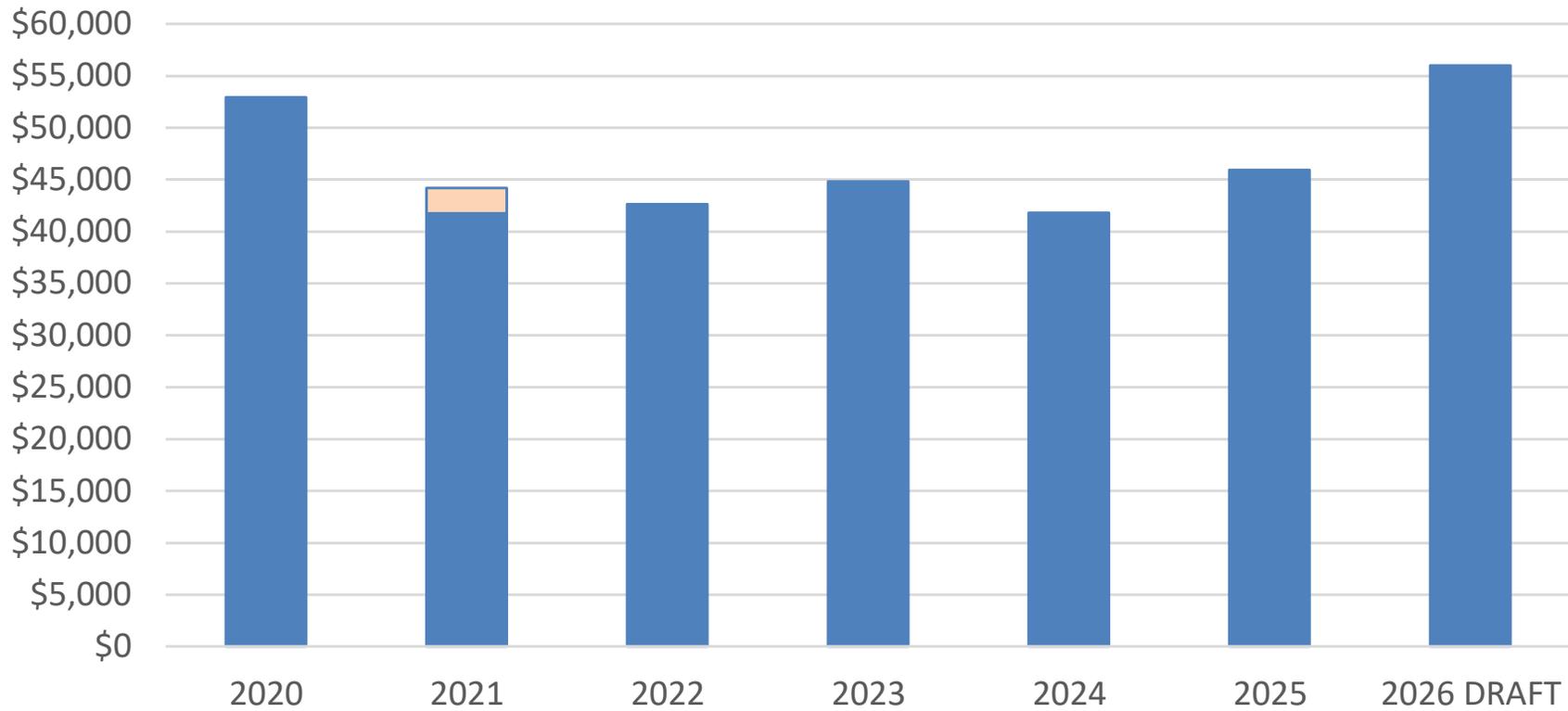
The community contributions were updated with the most recent market valuations in 2021. This update is done every five years.

3/5/2025

		Bethel	East Bethel	Ham Lake	Nowthen	Oak Grove	St. Francis	TOTAL
	% non-operating cost	1.04%	23.85%	1.68%	22.81%	30.48%	20.14%	100.00%
	% operating costs -->	16.67%	16.67%	16.67%	16.67%	16.67%	16.67%	100.00%
Row Labels	Sum of 2026 Budget							
<b>Non-operating</b>	<b>\$42,304.00</b>	<b>\$439.96</b>	<b>\$10,089.50</b>	<b>\$710.71</b>	<b>\$9,649.54</b>	<b>\$12,894.26</b>	<b>\$8,520.03</b>	<b>\$42,304.00</b>
Education and Public Outreach	\$5,019.00	\$52.20	\$1,197.03	\$84.32	\$1,144.83	\$1,529.79	\$1,010.83	\$5,019.00
Non-Operating General	\$12,000.00	\$124.80	\$2,862.00	\$201.60	\$2,737.20	\$3,657.60	\$2,416.80	\$12,000.00
Water Quality Improvement Projects	\$17,395.00	\$180.91	\$4,148.71	\$292.24	\$3,967.80	\$5,302.00	\$3,503.35	\$17,395.00
Water Monitoring	\$7,890.00	\$82.06	\$1,881.77	\$132.55	\$1,799.71	\$2,404.87	\$1,589.05	\$7,890.00
Studies	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
<b>Operating</b>	<b>\$13,702.00</b>	<b>\$2,283.67</b>	<b>\$2,283.67</b>	<b>\$2,283.67</b>	<b>\$2,283.67</b>	<b>\$2,283.67</b>	<b>\$2,283.67</b>	<b>\$13,702.00</b>
Operating Expenses	\$13,702.00	\$2,283.67	\$2,283.67	\$2,283.67	\$2,283.67	\$2,283.67	\$2,283.67	\$13,702.00
Reserve Spend Down	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
<b>Grand Total</b>	<b>\$56,006.00</b>	<b>\$2,723.63</b>	<b>\$12,373.17</b>	<b>\$2,994.37</b>	<b>\$11,933.21</b>	<b>\$15,177.93</b>	<b>\$10,803.69</b>	<b>\$56,006.00</b>

# UPPER RUM RIVER WMO BUDGETS

Requested of Cities Reserves Spend Down





## 2026 DRAFT Budget Detail

### Notes:

Budget was developed 2020-2029 SRWMO Watershed Management Plan.

3/5/2025

		Sum of 2025 Budget	Sum of 2026 Budget
1	<b>Non-operating</b>		
2	<b>Education and Public Outreach</b>		
3	Anoka Co Outreach Coordinator Position	\$1,500.00	\$1,500.00
4	Website operations/maintenance	\$1,030.00	\$1,080.00
5	Rum River biomonitoring with St. Francis High School	\$0.00	\$1,250.00
6	URRWMO public education and outreach	\$1,160.00	\$1,189.00
7			
8	<b>Non-Operating General</b>		
9	Watershed Coordinator - Facilitate Technical Advisory Committee (TAC)	\$1,856.00	\$500.00
10	Watershed Coordinator - Grant applications	\$1,300.00	\$1,500.00
11	Watershed Plan Update 2027-2028	\$0.00	\$10,000.00
12			
13	<b>Water Quality Improvement Projects</b>		
14	Projects as detailed in the URRWMO 10-year Plan	\$16,971.00	\$17,395.00
15			
16	<b>Water Monitoring</b>		
17	Lake Level Monitoring	\$1,440.00	\$1,440.00
18	Lake Water Quality Monitoring	\$0.00	\$2,700.00
19	Reference Wetland Hydrology Monitoring	\$3,750.00	\$3,750.00
20	Stream Water Quality Monitoring	\$2,700.00	\$0.00
21	Water Monitoring Fund	-\$390.00	\$0.00
22			
23	<b>Studies</b>		
24	Subwatershed Assessment Studies (SWAs) for priority waterbodies	\$2,500.00	\$0.00
25			
26	<b>Operating</b>		
27	<b>Operating Expenses</b>		
28	Advertise Bids for Pro Services (req'd in odd yrs)	\$0.00	\$0.00
29	Liability Insurance	\$2,667.00	\$2,734.00
30	Recording Secretary services	\$1,225.00	\$1,225.00
31	Watershed Coordinator - Facilitate regular URRWMO mtgs	\$3,711.00	\$3,804.00
32	Watershed Coordinator - Annual Report to State Auditor	\$742.00	\$761.00
33	Watershed Coordinator - Annual Report to BWSR	\$1,484.00	\$1,522.00
34	Watershed Coordinator - Other - see desc.	\$2,300.00	\$3,656.00
35			
36	<b>Reserve Spend Down</b>		
37	Undesignated Reserve Spend Down	\$0.00	\$0.00
38			
39	<b>Grand Total</b>	<b>\$45,946.00</b>	<b>\$56,006.00</b>

# INFORMATION FOR CITY COUNCILS

ABOUT THE UPPER RUM RIVER WATERSHED MANAGEMENT



MARCH 2025

# Annual Mini-Report to Cities

## URRWMO BOARD

### City of Bethel

Ryan Seguin  
Patrick Sullivan

### City of East Bethel

Tim Miller  
Radja Lohse

### City of Ham Lake

Brian Kirkham  
Jeff Entsminger

### City of Nowthen

Dan Breyen (V. Chair)  
Vacant

### City of Oak Grove

John West (Chair)  
Paul Tradewell (Treas)

### City of St. Francis

Andrew Wood  
Sarah Udvig

## About the URRWMO

The URRWMO is a joint powers organization including the Cities of St. Francis, Oak Grove, Nowthen, Bethel, and portions of East Bethel. A small corner of Ham Lake also falls within the URRWMO. Contributions from these cities, plus any secured grants, make up the annual budget. The WMO Board is made up of two representatives from each city.

## Priorities

We work to maintain the quality of area lakes, rivers, streams & groundwater across municipal boundaries. Resources of particular importance include the Rum River, Lake George & East Twin Lake. The Rum River is designated as a state Scenic and Recreational Waterway & is near state nutrient limits. Secondly, we work on Seelye Brook, Ford Brook, & Cedar Creek.

## Example Projects



Rum Riverbank stabilization



St. Francis High School students monitoring the Rum River.

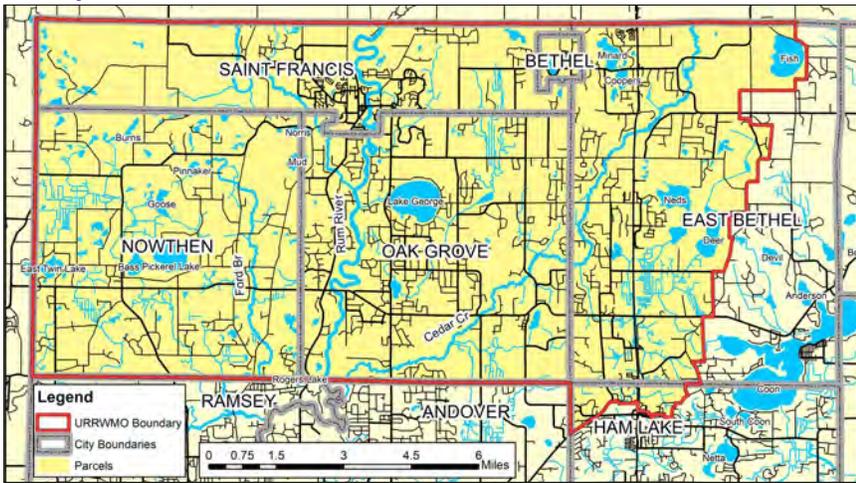
Priorities in our watershed plan:

- ◆ Lake George water quality projects, including lakeshore stabilization.
- ◆ Rum River water quality projects, including stormwater treatment & riverbank stabilizations.
- ◆ Outreach to encourage behavioral changes that benefit water quality.



Lake George shoreline stabilization & buffer planting

## Map of the URRWMO



## 2024 Highlights

- ◆ **221st Ave Riverbank Stabilization** (Oak Grove) — 935 ft of severely eroding Rum Riverbank along four properties was stabilized. This was the most severe erosion in the URRWMO. Funding included the Clean Water Fund, Outdoor Heritage Fund, Anoka Co, Upper Rum River WMO, & landowners.

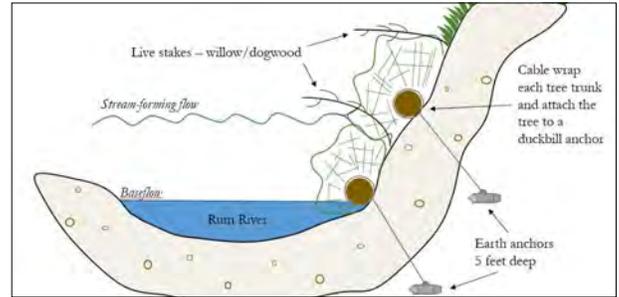


- ◆ **225th Lane Rain Garden** (St. Francis) - 2,500 sq ft curb cut rain garden was built on a city outlot to treat runoff that previously discharged untreated to the Rum River. The City of St. Francis will provide maintenance. Funding was from the Clean Water Fund. Video at <https://tinyurl.com/592kawvz>



## 2024 Highlights (con't)

- ◆ **Rum River Woods Park cedar tree revetments** (St. Francis) — Fixed 345 ft of minor streambank erosion. This inexpensive technique has now been used on 1.2 miles of Rum Riverbank in the URRWMO.



- ◆ **Ford Brook, Pickerel Lake, and East Twin Lake Subwatersheds Study** (Nowthen, Oak Grove, St. Francis) — Identified and ranked potential water quality projects by cost effectiveness. Funding was from the Clean Water Fund and URRWMO.

## 2025 Plans

- ◆ **Ford Brook Agricultural Practices & Wetland Restoration** (Nowthen) — Outreach & incentive grants to landowners to do practices such as cover crops, filter strips, etc. Candidate sites identified in 2024 Ford Brook Study.



- ◆ **Rum River North Co Park Ravine Design** (St. Francis) — Design the stabilization of a ravine near the Rum River.



- ◆ **Other**—Shoreline stabilizations, enhanced street sweep studies, water monitoring, St. Francis High School bio-monitoring, and more.

**City of East Bethel  
City Council Meeting  
Agenda Item Information**



**Date:** March 10, 2025

**Agenda Item Number:** 8.0 G.4

**Agenda Item:** Spring Town Hall Meeting

**Background Information:**

Historically, City Council has scheduled seasonal Town Hall meetings as an opportunity for residents to express concerns and present questions to City Council, staff and other officials in both a formal and informal setting.

The spring Town Hall Meeting is generally held in April and is proposed for a date that doesn't conflict with any other municipal or school district meetings. Staff has reviewed and found there to be no conflicts with the evening meeting schedules for ISD #15, ISD #831, or any East Bethel commissions or committees in April 2025 for the dates listed below:

Available dates in April:

- Tuesday, April 15<sup>th</sup>
- Thursday, April 17<sup>th</sup>
- Thursday, April 24<sup>th</sup>
- Wednesday, April 16<sup>th</sup>
- Wednesday, April 23<sup>rd</sup>
- Tuesday, April 29<sup>th</sup>

Alternatively, a proposal has been made to hold an annual Town Hall meeting in conjunction with the city celebration, Booster Day. Combining these events could be beneficial by introducing fresh faces and increased attendance to both events and allow residents that may not usually attend a weeknight meeting (Council, Commission, or Town Hall) a chance to interact, ask questions and give their input.

This year's festivities are scheduled for Saturday, July 19. City staff or the Council liaison could work with the Booster Day committee to secure a specific time during the event schedule, and report back to the City Council.

**Attachment(s):**

**Fiscal Impact:**

**Recommendation(s):**

Staff is requesting that City Council discuss possible options for scheduling a Town Hall meeting for 2025.

**City Council Action:**

Motion by: \_\_\_\_\_

Second by: \_\_\_\_\_

Vote Yes: \_\_\_\_\_

Vote No: \_\_\_\_\_