

**City of East Bethel  
City Council Agenda  
City Council Regular Meeting  
Date: February 12, 2024 at 7:00 p.m.**



One or more Council members will be attending this meeting from a secondary (remote) location:  
Hampton Inn Sioux Falls  
2417 Carolyn Avenue  
Sioux Falls, SD 57106

This City Council meeting may be monitored live via the following means:  
Cable Channel 10, MidcoTV Channel 77, or the City of East Bethel YouTube channel  
([www.youtube.com/channel/UC8\\_7ShcME-XG14pN5JrmBGg/live](http://www.youtube.com/channel/UC8_7ShcME-XG14pN5JrmBGg/live))

**7:00 PM**

- 1.0 Call to Order**
- 2.0 Pledge of Allegiance**
- 3.0 Adopt Agenda**
- 4.0 Presentations and Public Hearings**
- 5.0 Public Forum**
- 6.0 Consent Agenda (p. 3-6)**  
***Any item on the consent agenda may be removed for consideration by request of any Council Member and put on the regular agenda for discussion and consideration***
  - A. Approve Bill List (p. 7-12)
  - B. Meeting Minutes, January 22, 2024 City Council Work Meeting (p. 13-16)
  - C. Meeting Minutes, January 22, 2024 City Council Meeting (p. 17-33)
  - D. Public Works Seasonal Employees
  - E. Res. 2024-14, Approve Temporary Liquor License: Wat Lao Xayabhoummaram (p.34)
  - F. Res. 2024-11, Amending Res. 2022-42, Prairie Hills Final Plat/ Developers Agreement (p. 35-55)
  - G. Res. 2024-15, Approving Plans and Specifications & Direction to Solicit Bids for the 2024 Street Surface Improvement Project (p. 56-76)
  - H. 2024 SafeAssure Contract Renewal (p. 77-83)
  - I. Liaison Assignment for Fire Protection Council
  - J. Amendment to Personnel Policy – Section 3.7
  - K. Carpet & Paint Replacement at City Hall (p. 84)
  - L. Res. 2024-16, Approving Plans and Specifications & Direction to Solicit Bids for the 2024 Street Surface Improvement Project (p. 85-135)
  - M. Res. 2024-17, Requesting Municipal State Aid Street Funds Advance for the 2024 Street Reconstruction Project (p. 136-138)

**7.0 New Business - Commission, Association and Task Force Reports**

- A. Planning Commission
  - 1. Planning Commission Appointments (p. 139-146)
  - 2. Septic Variance – 4310 Channel Ln NE (p. 147-157)
  - 3. Hidden Prairie Preliminary Plat (p. 158-172)
  - 4. Viking Meadows Preliminary Plat (p. 173-178)
- B. Economic Development Authority
- C. Park Commission

**8.0 Department Reports**

- A. Community Development
- B. Engineer
- C. City Attorney
- D. Finance
- E. Public Works
- F. Fire Department
- G. City Administrator

**9.0 Other**

- A. Staff Report
- B. Council Reports
- C. Other

**10.0 Adjourn**

**City of East Bethel  
City Council Meeting  
Agenda Item Information**



**Date:** February 12, 2024

**Agenda Item Number:** Item 6.0 A-M

**Requested Action:** Consider approving the Consent Agenda as presented

**Background Information:**

Item A - Approve Bills

Item B - January 22, 2024 City Council Work Meeting Minutes

Minutes from the January 22, 2024 City Council work meeting are attached for your review.

Item C - January 22, 2024 City Council Meeting Minutes

Minutes from the January 22, 2024 City Council meeting are attached for your review.

Item D – Approval for and Advertisement of Seasonal Employee Positions

Increased demands for road and park maintenance in the spring and through the summer have required the hiring of seasonal personnel to support these activities. The increased workload for park and street projects, along with scheduled leave for full time employees, creates a need for seasonal workers to provide additional workforce support to assist in these activities.

Funding for one position in the amount of \$7,000 is provided for in the 2024 General Fund under the Parks Department budget. The other seasonal position in the amount of \$7,000 is provided for in the 2024 General Fund under the Street Department. Seasonal public works employees would be paid \$15.00/hr for new hires and returning hires would be paid \$17.00/hr. There will be no benefits paid for these positions.

Staff is seeking approval to advertise for two seasonal employees to be employed for the period of May to the end of August 2024.

Item E – Res. 2024-14, Approve Temporary On-Sale Liquor License: Wat Lao Xayabhoummaram

Event organizers at the Wat Lao Xayabhoummaram Buddhist temple have submitted an application for a one to four day temporary On Sale License at 4904 217<sup>th</sup> Ave NE for June 21-23, 2024. All forms have been submitted and are complete. Final approval must be given by the MN Alcohol & Gambling Enforcement Division.

Item F – Res. 2024-11, Amending Res. 2022-42

The Developer of Prairie Hills has proposed adding Protective Covenants to the parcels contained in the Development. A Final Plat and Developers Agreement was previously approved by Resolution 2022-42 without the covenants recorded. The amendment grants the Developer permission to record proposed Protective Covenants imposed on the property.

Item G – Res. 2024-15, Approving Plans and Specifications and Direction to Solicit Bids for the 2024 Street Surface Improvement Project

The city Engineer has prepared plans and specifications for the 2024 Street Surface Improvement Project. This project includes a bituminous overlay on Edmar Lane, Vickers Street, 189<sup>th</sup> Avenue, Yalta Street, Karen Court, and Breezy Point Drive as shown on the title sheet of the attached plan set. This project would also address an existing stormwater issue between Karen Court and Edmar

Lane. This overlay project was scheduled in the City's Capital Improvement Plan for 2024. The estimated construction cost of this project is \$495,000. Bids would be opened on March 12, 2024. Bids would be presented to the City Council at the March 25, 2024 City Council meeting. A completion date of September 27, 2024 would be established in the Contract Documents. The draft plan set is attached for review and comment.

Item H – 2024 SafeAssure Contract Renewal

Along with the Cities of Ham Lake, Nowthen, Bethel, and Oak Grove, the City of East Bethel has been contracting with SafeAssure since February of 2009 for Safety Consultant Services. SafeAssure provides unlimited safety consulting services, conducts classroom-training sessions, writes and/or maintains mandatory Occupational Safety and Health Administration (OSHA) programs and provides a complete material safety data sheets (MSDS) management service in conjunction with MSDS Online.

City employees participate in a required annual AWAIR/Right-to-Know training session and the Public Works Department participates in monthly training on topics such as Blood Borne Pathogens, Traffic Safety, Confined Space Entry, Trenching, Defensive Driving, Tree Trimming, Hazmat, Personal Protective Equipment, etc.

Costs for the contract renewal would be \$4,160.40 for the period of March 1, 2024 to February 28, 2025. Cost for this service for the 2023 contract period was \$4,039.22.

Item I - Liaison Assignment for Fire Protection Council

The Fire Protection Council (FPC) is a joint powers agreement consisting of 17 Anoka County fire departments and 16 Cities (Bethel reportedly joined St. Francis). The bylaws of the organization allow membership to consist of an elected official and a Fire Chief. Elected officials and Fire Chiefs are both voting members pertaining to the budget. April 25 is the next FPC meeting in which a vote will be taken on expenditures. East Bethel City Council voted on and approved other appointments to Committees and liaison assignments at the January 8, 2024 meeting. The Fire Protection Council appointment was not a part of the assignment list at that time.

Council member Smith was recommended and approved for appointment as the Council Liaison to the Fire Department for 2024. It is recommended that Councilperson Smith be appointed as East Bethel's elected representative to the Fire Protection Council for 2024.

Item J – Amendment to Personnel Policy

At the January 22, 2024 Council work session, there was a discussion concerning the application of a paid-on call firefighter to serve on the Planning Commission. General consensus was that paid on call firefighters would not fall into the same classification as full-time employees employed by the City of East Bethel. To that end, the suggested amendment to section 3.7 of the City's personnel policy will assist in clarifying that distinction.

**Current language:**

3.7 - Membership on Advisory Commissions. City employees are, pursuant to this policy, ineligible for appointment or service on City of East Bethel Advisory Commissions. City employee participation in support of commissions is assigned by City Administrator.

**Recommendation:**

3.7 - Membership on Advisory Commissions. City employees are, pursuant to this policy, ineligible for appointment or service on City of East Bethel Advisory Commissions. City employee participation in support of commissions is assigned by City Administrator. For the purposes of this policy, volunteers in service to the city (i.e. paid on call firefighters) are not considered full-time employees and therefore are eligible to be appointed to and serve on advisory commissions.

Item K – Carpet & Paint Replacement at City Hall

The existing carpet and paint in the council chambers and administration offices, dates back to 2006. Given the life expectancy of the carpet is 10 years, in combination with visible staining, staff generated quotes for replacement. Three suppliers were contacted for a request for quote. Based on high traffic areas, it was the recommendation to change to carpet squares to allow for ongoing maintenance and replacement when necessary.

**Lowest most responsible quote:**

651 Carpet Flooring and Countertops

• Council Chambers	\$ 5,650
• Administration	\$22,500
• Painting	\$ 1,320
• Furniture moving and reassembly (estimated)	\$ 2,000
Total Project Cost:	Not to exceed \$35,000

The annual budget allocates \$50,000 for facility repairs and deferred maintenance, and Staff recommends approval of this capital improvement to City Hall.

Item L – Res. 2024-16, Approving Plans and Specifications and Direction to Solicit Bids for the 2024 Street Surface Improvement Project

The city Engineer has prepared plans and specifications for the 2024 Street Reconstruction Project. This project includes the complete reconstruction of 209<sup>th</sup> Avenue from Highway 65 to Davenport Street, Davenport Street from 209<sup>th</sup> Avenue to SIMS Road, and SIMS Road from Highway 65 to Davenport Street. The street locations or shown on the title sheet of the attached plan set. This project was scheduled in the City’s Capital Improvement Plan for 2024. Both 209<sup>th</sup> Avenue and Davenport Street are on the City’s State Aid System therefore these two streets may be financed from the City’s State Aid Account. SIMS Road would be financed from the City’s Street Capital Fund. The estimated cost of this project is \$1,050,000. A total of \$844,000 would be financed by the State Aid account and \$166,000 from the Street Capital Account. It is anticipated that bids for this project would be opened on March 19, 2024. Bids would be presented to the City Council at the March 25, 2024 City Council meeting. A completion date of October 11, 2024 would be established in the Contract Documents. The draft plan set is attached for review and comment.

Item M – Res. 2024-17, Requesting Municipal State Aid Street Funds Advance for the 2024 Street Reconstruction Project

In accordance with the current Capital Improvement Plan the city is planning to reconstruct 209<sup>th</sup> Avenue, Davenport Street, and SIMS Road (2024 Street Reconstruction Project). In 2024 the city of East Bethel will receive \$922,865 (increase from 2023 of \$67,865) from the State to construct and maintain their state aid road system. Of the \$922,865 25% or \$230,716 is designated to maintenance and the other 75% or \$692,149 to construction. The funding gap to complete the 2024 Street Reconstruction Project is estimated to be \$884,000. The funding gap is summarized on the resolution. This funding gap is proposed to be resolved by advancing Municipal State Aid (MSA) funds. MnDOT has a program that allows Cities to advance money from their MSA account to cover project costs. To advance MSA funds the Council must approve attached Resolutions 2024-17 Municipal State Aid Street Funds Advance and authorize the City Engineer to execute the Municipal Request to Reserve Advance Funding which is also attached. The City is not obligated to use the advancement funds. This action only reserves the funds in the event that they are needed. Staff recommends council approve Resolution 2024-17 – Municipal State Aid Street Funds Advance and authorize the City Engineer to execute the Municipal Request to Reserve Advance

Funding and forward the appropriate documents to the MnDOT State Aid office for consideration for the 2024 Street Reconstruction Project.

**Fiscal Impact:** As noted above

**Recommendation(s):** Staff recommends approval of the Consent Agenda as presented.

**City Council Action:**

Motion by: \_\_\_\_\_

Second by: \_\_\_\_\_

Vote Yes: \_\_\_\_\_

Vote No: \_\_\_\_\_



# City of East Bethel

February 12, 2024

## Payment Summary

Payments for Council Approval						
Bills to be approved for payment						\$208,139.39
Electronic Payroll Payments						\$36,191.00
Payroll City Staff - February 1, 2024						\$47,590.54
Total to be Approved for Payment						\$291,920.93
Dept Descr	Object Descr	Invoice	Check Name	Fund	Dept	Amount
Arena Operations	Bldgs/Facilities Repair/Maint	552	NORTHWOODS ELECTRIC	615	49851	\$750.00
Arena Operations	Bldgs/Facilities Repair/Maint	20675 MN-65	Patton Heating and Air	615	49851	\$542.00
Arena Operations	Bldgs/Facilities Repair/Maint	35031091930	Wright-Hennepin Coop Electric	615	49851	\$30.95
Arena Operations	Cleaning Supplies	408538	Class C Components	615	49851	\$1,718.52
Arena Operations	Electric Utilities	012224	Connexus Energy	615	49851	\$3,329.87
Arena Operations	Information Systems	B240116J	Anoka County Treasury Dept	615	49851	\$75.00
Arena Operations	Professional Services Fees	02 2024	Gibson's Management Company	615	49851	\$10,000.00
Arena Operations	Professional Services Fees	8415726	Plunkett's Pest Control	615	49851	\$205.00
Arena Operations	Refuse Removal	10163003T067	Ace Solid Waste, Inc.	615	49851	\$322.10
Arena Operations	Telephone	02 2024-1	T MOBILE	615	49851	\$22.78
Building Inspection	Information Systems	1733	Metro-Inet	101	42410	\$952.54
Building Inspection	Motor Fuels	25043693	Mansfield Oil Company	101	42410	\$337.47
Building Inspection	Motor Vehicles Parts	13700	The Graphics Guys	101	42410	\$95.00
Building Inspection	Motor Vehicles Parts	13724	The Graphics Guys	101	42410	\$30.00
Building Inspection	Worker s Comp Insurance Prem	2024	League of MN Cities Ins Trust	101	42410	\$1,736.36
City Administration	Information Systems	B240116J	Anoka County Treasury Dept	101	41320	\$75.00
City Administration	Information Systems	1733	Metro-Inet	101	41320	\$1,044.15
City Administration	Office Equipment Rental	520556952	US Bank Equipment Finance	101	41320	\$315.00
City Administration	Office Supplies	IN4438406	Innovative Office Solutions	101	41320	\$129.94
City Administration	Office Supplies	IN4440867	Innovative Office Solutions	101	41320	\$78.56
City Administration	Postage/Delivery	40597	MAILING SOLUTIONS	101	41320	\$1,058.55
City Administration	Postage/Delivery	02 2024	Pitney Bowes Bank Inc	101	41320	\$1,500.00
City Administration	Printing and Duplicating	40597	MAILING SOLUTIONS	101	41320	\$1,601.12
City Administration	Professional Services Fees	M28848	TimeSaver Off Site Secretarial	101	41320	\$201.75
City Administration	Professional Services Fees	M28848	TimeSaver Off Site Secretarial	101	41320	\$235.50
City Administration	Professional Services Fees	M28882	TimeSaver Off Site Secretarial	101	41320	\$554.50
City Administration	Travel Expenses	02 2024	Desiree Stanford	101	41320	\$95.68
City Administration	Travel Expenses	012324	Mike Jeziorski	101	41320	\$19.10
City Administration	Worker s Comp Insurance Prem	2024	League of MN Cities Ins Trust	101	41320	\$2,113.38
Finance	Information Systems	1733	Metro-Inet	101	41520	\$952.54
Finance	Professional Services Fees	02 2024	Anoka County	101	41520	\$1,511.54
Finance	Professional Services Fees	02 2024	Anoka County	101	41520	\$285.14
Finance	Sales Tax Remittance	01 2024	Minnesota Revenue	101		\$246.00
Finance	Worker s Comp Insurance Prem	2024	League of MN Cities Ins Trust	101	41520	\$2,073.03
Fire Department	Bldgs/Facilities Repair/Maint	2578	Bill's Quality Cleaning	101	42210	\$168.00
Fire Department	Bldgs/Facilities Repair/Maint	2579	Bill's Quality Cleaning	101	42210	\$53.00
Fire Department	Bldgs/Facilities Repair/Maint	144	Rogers Electric	101	42210	\$2,825.12
Fire Department	Conferences/Meetings	6655	F.I.R.E.	101	42210	\$1,300.00
Fire Department	Electric Utilities	012224	Connexus Energy	101	42210	\$7.67



# City of East Bethel

February 12, 2024

## Payment Summary

Fire Department	Electric Utilities	012224	Connexus Energy	101	42210	\$477.09
Fire Department	Electric Utilities	012224	Connexus Energy	101	42210	\$96.57
Fire Department	Electric Utilities	012224	Connexus Energy	101	42210	\$197.79
Fire Department	Information Systems	B240116J	Anoka County Treasury Dept	101	42210	\$75.00
Fire Department	Information Systems	1733	Metro-Inet	101	42210	\$2,733.79
Fire Department	Motor Fuels	CEB012624	Linwood Country Store	101	42210	\$33.07
Fire Department	Motor Fuels	25043693	Mansfield Oil Company	101	42210	\$536.90
Fire Department	Motor Fuels	25043728	Mansfield Oil Company	101	42210	\$256.93
Fire Department	Motor Vehicles Parts	213358	Advanced Graphix Inc.	101	42210	\$185.00
Fire Department	Motor Vehicles Parts	420172	Auto Nation Inc.	101	42210	\$356.57
Fire Department	Motor Vehicles Parts	421571	Auto Nation Inc.	101	42210	\$95.37
Fire Department	Motor Vehicles Parts	113998998	Fleet Pride	101	42210	\$57.14
Fire Department	Motor Vehicles Parts	114105922	Fleet Pride	101	42210	\$93.72
Fire Department	Motor Vehicles Parts	1539-241062	O'Reilly Auto Stores Inc.	101	42210	\$51.56
Fire Department	Motor Vehicles Parts	1539-244677	O'Reilly Auto Stores Inc.	101	42210	\$19.36
Fire Department	Office Equipment Rental	35701624	GreatAmerica Financial Svcs	101	42210	\$125.78
Fire Department	Printing and Duplicating	02 2024	Desiree Stanford	101	42210	\$23.40
Fire Department	Refuse Removal	10163003T067	Ace Solid Waste, Inc.	101	42210	\$92.06
Fire Department	Refuse Removal	10163003T067	Ace Solid Waste, Inc.	101	42210	\$37.84
Fire Department	Safety Supplies	326641	Aspen Mills, Inc.	101	42210	\$109.99
Fire Department	Safety Supplies	326893	Aspen Mills, Inc.	101	42210	\$253.35
Fire Department	Safety Supplies	327158	Aspen Mills, Inc.	101	42210	\$253.35
Fire Department	Safety Supplies	327159	Aspen Mills, Inc.	101	42210	\$253.35
Fire Department	Safety Supplies	327282	Aspen Mills, Inc.	101	42210	\$14.85
Fire Department	Safety Supplies	327288	Aspen Mills, Inc.	101	42210	\$14.85
Fire Department	Small Tools and Minor Equip	INV-49181	Alex Air Apparatus 2 Inc	101	42210	\$2,813.80
Fire Department	Telephone	13864340213820	Midcontinent Communications	101	42210	\$207.57
Fire Department	Telephone	02 2024-1	T MOBILE	101	42210	\$22.76
Fire Department	Telephone	02 2024-2	T MOBILE	101	42210	\$99.70
Fire Department	Telephone	9954529305	Verizon	101	42210	\$560.14
Fire Department	Worker s Comp Insurance Prem	2024	League of MN Cities Ins Trust	101	42210	\$48,499.40
General Govt Buildings/Plant	Bldg/Facility Repair Supplies	26634	Menards - Forest Lake	101	41940	\$148.26
General Govt Buildings/Plant	Bldg/Facility Repair Supplies	8239	Menards Cambridge	101	41940	\$30.07
General Govt Buildings/Plant	Bldg/Facility Repair Supplies	8591	Menards Cambridge	101	41940	\$31.15
General Govt Buildings/Plant	Bldgs/Facilities Repair/Maint	2576	Bill's Quality Cleaning	101	41940	\$380.00
General Govt Buildings/Plant	Bldgs/Facilities Repair/Maint	2580	Bill's Quality Cleaning	101	41940	\$168.00
General Govt Buildings/Plant	Bldgs/Facilities Repair/Maint	19458Taylor1252	Patton Heating and Air	101	41940	\$275.00
General Govt Buildings/Plant	Bldgs/Facilities Repair/Maint	319883317	Premium Waters, Inc.	101	41940	\$42.80
General Govt Buildings/Plant	Bldgs/Facilities Repair/Maint	319903175	Premium Waters, Inc.	101	41940	\$8.64
General Govt Buildings/Plant	Bldgs/Facilities Repair/Maint	35031091785	Wright-Hennepin Coop Electric	101	41940	\$23.95
General Govt Buildings/Plant	Electric Utilities	012224	Connexus Energy	101	41940	\$112.10
General Govt Buildings/Plant	Electric Utilities	012224	Connexus Energy	101	41940	\$716.75
General Govt Buildings/Plant	Electric Utilities	012224	Connexus Energy	101	41940	\$17.36
General Govt Buildings/Plant	Refuse Removal	10163003T067	Ace Solid Waste, Inc.	101	41940	\$80.95
Legal	Legal Fees	01 2024	Eckberg, Lammers, P.C.	101	41610	\$10,213.07
Mayor/City Council	Professional Services Fees	287437	CivicPlus	101	41110	\$3,670.32
Mayor/City Council	Worker s Comp Insurance Prem	2024	League of MN Cities Ins Trust	101	41110	\$92.24



# City of East Bethel

February 12, 2024

## Payment Summary

Park Maintenance	Clothing & Personal Equipment	4181113077	Cintas Corporation	101	43201	\$33.69
Park Maintenance	Clothing & Personal Equipment	4181838905	Cintas Corporation	101	43201	\$33.69
Park Maintenance	Clothing & Personal Equipment	4182546165	Cintas Corporation	101	43201	\$33.69
Park Maintenance	Electric Utilities	012224	Connexus Energy	101	43201	\$29.10
Park Maintenance	Electric Utilities	012224	Connexus Energy	101	43201	\$41.25
Park Maintenance	Electric Utilities	012224	Connexus Energy	101	43201	\$14.50
Park Maintenance	Electric Utilities	012224	Connexus Energy	101	43201	\$14.50
Park Maintenance	Electric Utilities	012224	Connexus Energy	101	43201	\$16.56
Park Maintenance	Electric Utilities	012224	Connexus Energy	101	43201	\$36.33
Park Maintenance	Electric Utilities	012224	Connexus Energy	101	43201	\$14.50
Park Maintenance	Equipment Parts	1002303	Ham Lake Hardware	101	43201	\$45.98
Park Maintenance	Equipment Parts	6706	Hose Pros, Inc.	101	43201	\$164.98
Park Maintenance	Equipment Parts	02-1053409	Lano Equipment, Inc.	101	43201	\$170.90
Park Maintenance	Equipment Parts	02-1053552	Lano Equipment, Inc.	101	43201	\$281.33
Park Maintenance	Information Systems	1733	Metro-Inet	101	43201	\$22.90
Park Maintenance	Lubricants and Additives	P54995	MN Equipment	101	43201	\$52.99
Park Maintenance	Motor Fuels	25043693	Mansfield Oil Company	101	43201	\$460.20
Park Maintenance	Motor Fuels	25043728	Mansfield Oil Company	101	43201	\$494.10
Park Maintenance	Park/Landscaping Materials	58345	Menards Blaine	101	43201	\$28.59
Park Maintenance	Professional Services Fees	M28882	TimeSaver Off Site Secretarial	101	43201	\$167.00
Park Maintenance	Worker s Comp Insurance Prem	2024	League of MN Cities Ins Trust	101	43201	\$21,968.56
Planning and Zoning	Information Systems	1733	Metro-Inet	101	41910	\$635.03
Planning and Zoning	Professional Services Fees	M28882	TimeSaver Off Site Secretarial	101	41910	\$269.00
Planning and Zoning	Worker s Comp Insurance Prem	2024	League of MN Cities Ins Trust	101	41910	\$1,255.58
Recycling Operations	Bldg/Facility Repair Supplies	02-1054592	Lano Equipment, Inc.	226	43235	\$50.24
Recycling Operations	Electric Utilities	012224	Connexus Energy	226	43235	\$69.05
Recycling Operations	General Operating Supplies	INV510524	Ver-Tech Inc.	226	43235	\$952.41
Recycling Operations	Professional Services Fees	02 2024	Cedar East Bethel Lions	226	43235	\$419.72
Recycling Operations	Professional Services Fees	02 2024	Cedar East Bethel Lions	226	43235	\$1,300.00
Recycling Operations	Professional Services Fees	479045	Gregory Cardey	226	43235	\$375.00
Recycling Operations	Refuse Removal	10163003T067	Ace Solid Waste, Inc.	226	43235	\$604.53
Sewer Operations	Electric Utilities	012224	Connexus Energy	602	49451	\$69.94
Sewer Operations	Electric Utilities	012224	Connexus Energy	602	49451	\$182.26
Sewer Operations	Professional Services Fees	0001167854	Metropolitan Council Env Svcs	602	49451	\$6,071.09
Street Maintenance	Bldgs/Facilities Repair/Maint	66102	Aker Doors, Inc.	101	43220	\$3,055.00
Street Maintenance	Bldgs/Facilities Repair/Maint	4181113077	Cintas Corporation	101	43220	\$9.19
Street Maintenance	Bldgs/Facilities Repair/Maint	4181838905	Cintas Corporation	101	43220	\$9.19
Street Maintenance	Bldgs/Facilities Repair/Maint	4182546165	Cintas Corporation	101	43220	\$9.19
Street Maintenance	Bldgs/Facilities Repair/Maint	319883318	Premium Waters, Inc.	101	43220	\$52.20
Street Maintenance	Bldgs/Facilities Repair/Maint	319903176	Premium Waters, Inc.	101	43220	\$4.32
Street Maintenance	Clothing & Personal Equipment	4181113077	Cintas Corporation	101	43220	\$33.68
Street Maintenance	Clothing & Personal Equipment	4181838905	Cintas Corporation	101	43220	\$33.68
Street Maintenance	Clothing & Personal Equipment	4182546165	Cintas Corporation	101	43220	\$33.68
Street Maintenance	Dues and Subscriptions	2024	MSSA	101	43220	\$100.00
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$5.25
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$11.34
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$99.89



# City of East Bethel

February 12, 2024

## Payment Summary

Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$386.26
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$106.04
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$5.25
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$5.25
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$147.05
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$5.25
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$30.06
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$66.95
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$5.25
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$38.30
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$5.25
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$41.16
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$31.21
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$5.25
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$550.95
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$5.25
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$5.25
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$5.25
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$5.25
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$5.25
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$5.25
Street Maintenance	Electric Utilities	012224	Connexus Energy	101	43220	\$5.25
Street Maintenance	Equipment Parts	114221104	Fleet Pride	101	43220	\$183.39
Street Maintenance	Equipment Parts	114221159	Fleet Pride	101	43220	\$20.55
Street Maintenance	Equipment Parts	114358194	Fleet Pride	101	43220	\$9.76
Street Maintenance	Equipment Parts	001-0030211	Force America Distributing LLC	101	43220	(\$26.94)
Street Maintenance	Information Systems	1733	Metro-Inet	101	43220	\$627.40
Street Maintenance	Lubricants and Additives	114207063	Fleet Pride	101	43220	\$189.73
Street Maintenance	Lubricants and Additives	114210646	Fleet Pride	101	43220	\$27.75
Street Maintenance	Motor Fuels	25043693	Mansfield Oil Company	101	43220	\$199.42
Street Maintenance	Motor Fuels	25043728	Mansfield Oil Company	101	43220	\$1,225.35
Street Maintenance	Motor Vehicles Parts	424749	Auto Nation Inc.	101	43220	\$30.80
Street Maintenance	Motor Vehicles Parts	093P7987	BOYER TRUCKS-ST MICHAEL	101	43220	\$227.54
Street Maintenance	Motor Vehicles Parts	093P8226	BOYER TRUCKS-ST MICHAEL	101	43220	\$44.81
Street Maintenance	Motor Vehicles Parts	093P8774	BOYER TRUCKS-ST MICHAEL	101	43220	(\$30.98)
Street Maintenance	Motor Vehicles Parts	114046983	Fleet Pride	101	43220	\$3,413.03
Street Maintenance	Motor Vehicles Parts	114121006	Fleet Pride	101	43220	\$478.92
Street Maintenance	Motor Vehicles Parts	114315076	Fleet Pride	101	43220	(\$112.00)
Street Maintenance	Motor Vehicles Parts	IN001-1794614	Force America Distributing LLC	101	43220	\$475.50
Street Maintenance	Motor Vehicles Parts	331930	PTL Tire & Automotive Ctr	101	43220	\$196.00
Street Maintenance	Motor Vehicles Parts	334154	S & S Industrial Supply	101	43220	\$23.95
Street Maintenance	Motor Vehicles Parts	334203	S & S Industrial Supply	101	43220	\$17.99
Street Maintenance	Motor Vehicles Parts	035539	Winnick Supply	101	43220	\$45.41
Street Maintenance	Professional Services Fees	4010357	Gopher State One-Call	101	43220	\$56.75
Street Maintenance	Refuse Removal	10163003T067	Ace Solid Waste, Inc.	101	43220	\$269.97
Street Maintenance	Refuse Removal	838	P & C Tree Service	101	43220	\$1,900.00
Street Maintenance	Safety Supplies	85232520	Bound Tree Medical, LLC	101	43220	\$123.03



**City of East Bethel**  
**February 12, 2024**  
**Payment Summary**

Street Maintenance	Safety Supplies	1539-242634	O'Reilly Auto Stores Inc.	101	43220	\$56.98
Street Maintenance	Shop Supplies	178561	Metro Products, Inc.	101	43220	\$191.08
Street Maintenance	Shop Supplies	1539-244680	O'Reilly Auto Stores Inc.	101	43220	\$71.88
Street Maintenance	Street Maint Materials	1278463	Compass Minerals	101	43220	\$6,376.54
Street Maintenance	Street Maint Materials	1283506	Compass Minerals	101	43220	\$2,461.89
Street Maintenance	Telephone	02 2024-1	T MOBILE	101	43220	\$22.76
Street Maintenance	Worker s Comp Insurance Prem	2024	League of MN Cities Ins Trust	101	43220	\$28,540.45
TIF 1-2	Professional Services Fees	02 2024	Anoka County	436	43600	\$744.62
TIF 1-2	Professional Services Fees	6232083	Taft Stettinius & Hollister	436	43600	\$875.00
TIF 1-3	Professional Services Fees	02 2024	Anoka County	437	43700	\$744.62
TIF 1-4	Professional Services Fees	02 2024	Anoka County	438	43800	\$744.62
TIF 1-4	Professional Services Fees	6232084	Taft Stettinius & Hollister	438	43800	\$250.00
TIF 1-5	Professional Services Fees	02 2024	Anoka County	439	43900	\$744.62
TIF 1-5	Professional Services Fees	6232085	Taft Stettinius & Hollister	439	43900	\$250.00
Water Utility Operations	Bldg/Facility Repair Supplies	25549	Menards - Forest Lake	601	49401	\$59.99
Water Utility Operations	Bldgs/Facilities Repair/Maint	35031091785	Wright-Hennepin Coop Electric	601	49401	\$42.95
Water Utility Operations	Electric Utilities	012224	Connexus Energy	601	49401	\$268.34
Water Utility Operations	Electric Utilities	012224	Connexus Energy	601	49401	\$1,119.25
Water Utility Operations	Electric Utilities	012224	Connexus Energy	601	49401	\$103.49
Water Utility Operations	Information Systems	1733	Metro-Inet	601	49401	\$297.65
Water Utility Operations	Professional Services Fees	02 2024	Desiree Stanford	601	49401	\$2.93
						<b>\$208,139.39</b>



# City of East Bethel

February 12, 2024

## Payment Summary

Electronic Payroll Payments		
Payroll	PERA	\$9,865.69
Payroll	Federal Withholding	\$5,932.63
Payroll	Medicare Withholding	\$2,133.88
Payroll	FICA Tax Withholding	\$8,157.56
Payroll	State Withholding	\$3,320.85
Payroll	MSRS/H.S.A./HCSP	\$6,780.39
		<b>\$36,191.00</b>

# DRAFT MINUTES: NOT YET APPROVED

## EAST BETHEL CITY COUNCIL WORK MEETING

January 22, 2024

The East Bethel City Council met on January 22, 2024, at 6:00 p.m. for the regular City Council Work meeting at City Hall.

MEMBERS PRESENT: Kevin Lewis Brian Mundle Bob DeRoche  
Tim Miller Jim Smith

ALSO PRESENT: Matt Look, City Administrator  
Carrie Frost, Administrative Coordinator  
Aaron Berg, Community Development Director

### 1.0 – Call to Order

The January 22, 2024, City Council Work Session meeting was called to order by Mayor Lewis at 6:00 p.m.

### 2.0 – Adopt Agenda

Mundle stated I'll make a motion to adopt tonight's agenda. DeRoche stated I'll second. Lewis asked any discussion? To the motion, all in favor say aye. All in favor. Lewis asked any opposed? That motion passes. Motion passes unanimously.

### 3.0 – Paid-on-Call Firefighters Serving on Committees

Look read aloud from the City's current policy regarding 'employees' serving on committees and noted that firefighters were not technically considered an employee of the City.

The Council asked questions on what would determine and constitute a City employee.

The Council reached consensus that it was acceptable to allow a paid-on-call firefighter to serve on City committees because they are not officially an 'employee' of the City.

### 4.0 – Newsletter Options

Administrative Coordinator Frost gave an overview of the feedback that she had received from residents about the newsletters simply getting thrown away. She has also found that if people want to know specific information, they tend to just go on-line to search for the information. She outlined her suggestion to give people an option in the next newsletter, via a QR code, to be able to opt out of receiving a hard copy of the newsletter. She noted that this would also add those individuals to the City's newsflash e-mail list which will give the access to the newsletter in that manner.

Lewis asked about the cost per issue to print and mail the newsletters.

Frost stated that the newsletter is usually 8 or 12 pages, but in election years, it is usually around 16 pages and run in 4 page increments. She stated that for printing of a 12 page newsletter, she would estimate the printing costs to be around \$800-\$900 and postage costs are usually between \$1,100-\$1,300.

DeRoche noted that the City still has an older population that like to read the print copy of the newsletter.

1 Look clarified that anyone who wants to continue receiving a hard copy of the newsletter will still  
2 receive it and this approach being suggested by Administrative Coordinator Frost was just give people  
3 the option to opt out of receiving the hard copy and give them the option to receive it electronically.

4 Lewis suggested that they consider trying to keep the articles more focused on East Bethel and not  
5 include as many extraneous articles because they may help them keep the total pages down to 8  
6 rather than 12 or 16.

7 The Council discussed other content and ways to more fully utilize the Newsflash feature on the  
8 website to publish individual articles more quickly than with a newsletter.

9 The Council reached consensus to include the option for residents to opt out of receiving the hard  
10 copy of the newsletter within the next newsletter.

### 11 **5.0 – Greg Austin Compost Discussion**

12 Look distributed a photo of the corner of 221st and Highway 65 and explained that the property  
13 owner had approached the City with a proposal to build an indoor, state of the art, composting  
14 facility. He asked if the Council was interested in having Mr. Austin come in and present more details  
15 of his proposal to the City.

16 Berg explained that half of this property is zoned B-2 and the other half is Light Industrial and noted  
17 that it is just beyond the MUSA area.

18 Lewis stated that he would be interested in getting more details on this because he doesn't  
19 understand how someone can make a business out of this and noted that there were already free  
20 County landfills for leaves.

21 Look explained that Greg Austin's company runs the County landfill facilities.

22 DeRoche stated that some immediate questions come to his mind related to things like noise, truck  
23 traffic, and what happens on windy days. He stated that the City had looked at something like this up  
24 on 237<sup>th</sup>.

25 Look explained that he had brought this forward because while this will most likely be a very  
26 professionally run enterprise, the location is front and center on Highway 65, so it will be visible.

27 Mundle agreed and noted that he would rather have some other type of business operate in one of  
28 the prominent sections of the City.

29 Berg read aloud the two sentences within the City Code that refers to composting.

30 The Council reached consensus that they were interested in having a presentation by Greg Austin to  
31 give more details about the proposed indoor compost facility.

### 32 **6.0 – Business Licensing**

33 Look stated that a Councilmember had come to him with the idea of a ribbon cutting type ceremony  
34 for a business that was opening. He noted that this led to the thought that the City has no idea of  
35 what businesses are opening up without a Chamber of Commerce type entity. He reviewed what  
36 other cities have done with business licensing which would allow the City to know who was coming  
37 and going and also would allow the Fire Department to inspect the businesses.

38 DeRoche expressed concern about what this kind of licensing would do to home based businesses.

39 Look stated the Council could decide to limit licensing to commercial based businesses and reiterated  
40 that it would allow the City to better track what is in the City, what is coming, and what may be

1 leaving. He explained he was proposing that, at a minimum, they would have businesses fill out  
2 paperwork for a business license in the City, and could determine if they would charge a fee or not.

3 Berg shared an example of a company that had sold a portion of their property to another entity who  
4 then subleased the building out to someone else who was operating a business of car recycling  
5 without the City’s knowledge and that use did not match the zoning ordinance. He explained that if  
6 the City had a general business license in place, they may have known about this business before  
7 someone from the County reported it to them.

8 Frost explained that staff was still working on a survey of the surrounding communities and what they  
9 are doing with business licensing.

10 The Council reached consensus that they would like to staff to begin working on a possible business  
11 licensing process in the City.

12 **7.0 – Dog Licensing**

13 Look noted that many communities are getting out of the dog licensing business and asked if the  
14 Council saw any value in continuing with the current dog licensing practices.

15 Frost explained that in 2023 the City had 88 people get dog licenses and most of those get the license  
16 so they can supply it to their landlord. She stated that if a dog gets picked up and is found not to  
17 have a license with the City, they are not fined in any way.

18 Look stated those numbers shows that the lion’s share of people who own dogs are not getting a dog  
19 license from the City.

20 Lewis stated that he personally didn’t care one way or the other, but feels it may be a good question  
21 to ask City Attorney Larson.

22 The Council reached consensus to consult with City Attorney Larson regarding any possibility liability  
23 issues that may arise by eliminating the City’s dog licensing practices and if not, to look into an  
24 ordinance amendment to make that change.

25 **8.0 – Architectural Standards**

26 Miller explained that this was brought about to either help businesses start up or expand out of the  
27 normal brick and mortar type structure but now feels that it has gotten complicated and he didn’t  
28 think it needed to be. He felt the City was limited some businesses from coming into the City because  
29 they just cannot afford to build the buildings with what has been outlined within the architectural  
30 standards. He noted that he was unaware that this was on the agenda tonight or he would have  
31 brought some of the information he had found and reiterated that the original version was very  
32 simple.

33 Look stated that this item can be placed on a future Work Session agenda for additional discussion

34 Lewis stated that, as a general point to staff, he would also like the Council to know what will be on  
35 the agenda for the Work Sessions, prior to the Council arriving, so they can be prepared for  
36 discussion. He noted that one thing he would like the Council to discuss are barndominiums.

37 The Council reached consensus to bring Architectural Standards back for further discussion at a  
38 future Work Session.

39 **9.0 – Rezoning of Hunters Inn**

40 Berg explained that the City has had a request to rezone the Hunters Inn property. He reminded the  
41 Council that he last time it was functional was in 2018 as a restaurant operating in a residential zone.

1 He reviewed ordinance language for rezoning that is inconsistent with the Comprehensive Plan. He  
 2 noted that the individual who purchased the property through a real estate auction believed that he  
 3 would have a business site to put back on the market, but, according to City Code and State Statute,  
 4 it cannot be reopened as a restaurant because it has reverted back to the underlying zoning, which is  
 5 R-2 because of the discontinued use. He stated that the current owners want to sell it as a  
 6 commercial property for a potential restaurant.

7 The Council discussed the history of this property and details of its past zoning.

8 Look noted that the first question that came to his mind was whether this zoning for property along  
 9 Highway 65 was the highest and best use for the property and outlined possible rezoning scenarios.

10 Berg noted that rezoning this area for commercial use is possible but would need Met Council  
 11 approval.

12 Lewis stated he thinks it is time for the City to take a closer look at the Comprehensive Plan to  
 13 determine if it really fits where the City wants to go in terms of the balance between residential and  
 14 commercial especially along the Highway 65 corridor.

15 Look stated that the Council would need to wrap up their discussion because the Regular Council  
 16 meeting recording would be starting.

17 **10.0 – Retail Sales in Light Industrial (not constructed on site)**

18 **11.0 – Legislative Priorities**

19 **11.0A. ESST Time Relating to Paid-on-Call Firefighters**

20 **11.0B. State Allocation for Hwy 65/Co Rd 22 Study Dollars**

21 **11.0C. Formula Change for Road Dollars**

22 **12.0 – Mobile Home Park Expansion & Utilities Connections, Waste Water Decommissioning**

23 **12.0A. Verification and Certification of System**

24 These items were not discussed.

25 **13.0 – Adjourn**

26 **Lewis adjourned the Council Work Session by general consensus.**

27 Meeting adjourned at 6:57 p.m.

28 Submitted by:

29 Kayla Rokosz

30 *TimeSaver Off Site Secretarial, Inc.*

# DRAFT MINUTES: NOT YET APPROVED

## EAST BETHEL CITY COUNCIL MEETING

January 22, 2024

The East Bethel City Council met on January 22, 2024, at 7:00 p.m. for the regular City Council meeting at City Hall.

MEMBERS PRESENT: Kevin Lewis Brian Mundle Bob DeRoche  
Tim Miller Jim Smith

ALSO PRESENT: Matt Look, City Administrator  
Eric Larson, City Attorney  
Rodney Sanow, Fire Chief  
Aaron Berg, Community Development Director  
Nate Ayshford, Public Works Manager

### 1.0 Call to Order

The January 22, 2024, City Council meeting was called to order by Mayor Lewis at 7:00 p.m.

### 2.0 Pledge of Allegiance

The Pledge of Allegiance was recited.

### 3.0 Adopt Agenda

**Mundle stated I'll make a motion to adopt tonight's agenda with the addition of the supplemental payment summary to the bills list and item F to the Consent Agenda regarding Inspection Services Agreement. Miller stated I'll second.** Lewis asked any discussion? To the motion, all in favor say aye. **All in favor.** Lewis asked any opposed? That motion passes. **Motion passes unanimously.**

### 4.0 Presentations and Public Hearings

#### 4.0 A Housing Study presented by Karen Skepper, Anoka County Director of Community and Governmental Relations

Look welcomed Karen Skepper, Anoka County Director of Community and Governmental Relations, to the meeting.

Ms. Skepper presented the results of the Anoka County Housing Study report, noting the robust growth in the entire Twin Cities area including Anoka County. She explained they also found that there are still labor shortages and a very tight rental market which means there is not enough housing for people. She reviewed details related to housing demand as well as senior housing demand. She explained that Anoka County is a 'jobs exporter' which means that more of their residents leave the County in order to go to work than stay. She noted that the County has many 'cost burden renters' which means they pay more than 30% of their income in rent. She explained that on average, the County's renter households make less than \$35,000 /year which equates to about 82% of those individuals being cost burdened and 60% of them severely cost burdened because they are paying more than half of their income for rent. She reviewed details related to cost burdened homeowners and explained that 18% if all homeowners are cost burdened and 6% are severely cost burdened. She reviewed affordable housing production in the County and explained that an additional 1,935 units were needed in order to meet 2030 demands. She noted that the

1 County has an aging 'Baby Boomer' generation which substantially impacts growth and also shifts the  
2 demand for products other than single family housing.

3 Ms. Skepper shared details from home sales in the County including that the median resale value in  
4 the Twin Cities was \$416,870 which is an increase in 46% since 2018. She outlined the household  
5 growth expectations which are expected to be over 10% over the next decade with an anticipated  
6 population growth of 8.7%. She explained that the average household size in the County, as of 2020,  
7 was 2.8 people and is expected to remain stable to 2030. She shared some statistics associated with  
8 household mobility and noted that she found it interesting that 89% of households did not move in  
9 2021 and of the people that moved, 5.4% of them moved out of the County, but stayed in Minnesota  
10 and 4.1% moved to another County location.

11 Ms. Skepper presented various demographic and employment trends that were revealed in the study.  
12 She explained what they found specifically for East Bethel is that the new market rate rental housing  
13 and senior housing have been well received. They believe there will be a need to increase lot supply  
14 over the next 2 years in order to meet the demand for owned housing and suggested that cluster  
15 housing on smaller lots could target entry level home buyers.

16 Ms. Skepper stated with rental housing in the City, there is demand for 83 units and she would  
17 encourage additional products for low and medium density. She noted that the demand for senior  
18 housing is 159 units for active adult, 70 units for service enriched, and would recommend a focus on  
19 active adult ownership or rental possibilities. She expects the final version of this report will be  
20 available to the City in about 60 days and explained that they strongly encourage the City to review  
21 the information included in their report, especially the recommendations.

22 DeRoche asked if subsidized housing meant just Section 8 type housing. Ms. Skepper clarified that  
23 was not the case and explained that there were a lot of ways to subsidize housing. She noted that  
24 Section 8 and public housing were the two oldest forms of subsidized housing, which were created by  
25 the Federal government. She shared examples of other types of subsidized housing, such as student  
26 housing for a college student, or a local church helping to pay area rents.

27 DeRoche asked for an explanation of income restricted housing. Ms. Skepper explained that income  
28 restricted housing would be a case where their income was looked at one time in order to qualify.

29 Miller asked if the County had one market rate or if it changed from city to city. Ms. Skepper stated  
30 that their 4 buildings each have different rental rates which are based on the community, when it was  
31 built, and interest rates, because they want their buildings to cash flow.

32 DeRoche noted that Ms. Skepper had made a statement during her presentation that Anoka County  
33 workers could not afford housing and asked what she felt the answer to that problem may be. Ms.  
34 Skepper stated she felt there were multiple ways to address this issue, for example, getting a  
35 roommate, side jobs, or renting out a room in your home in order to afford living here. She explained  
36 that statistically, based on the primary source of income versus housing costs, it is really a challenge,  
37 especially if it is new construction.

38 DeRoche asked whether the County would kick someone out if they did some of the things she  
39 mentioned, like take a side job as an Uber driver, because they were making more money. Ms.  
40 Skepper explained she presented statistics that were pulled from the general labor market. She  
41 noted that in the County's 3 senior buildings, they check their income one time, but noted that if it  
42 was a deep subsidy, they would most likely have to certify income on an annual basis and would have  
43 to report all their different sources of income, but noted that there was very little of that type of  
44 affordable housing in this area.

1 DeRoche asked the name of the company who had completed this report for the County. Ms. Skepper  
2 answered that it was Maxfield Research.

3 Lewis thanked Ms. Skepper for her presentation and noted he found it very informative and a bit  
4 alarming in some instances, for example the prices people are paying.

5 Ms. Skepper agreed that some of the numbers were alarming but explained that this is the type of  
6 information that developers, both commercial and residential, want to see and she believed that this  
7 study will be a good tool for the City.

8 **Informational; no action required.**

9 **4.0 B ACSO Monthly Report**

10 Lieutenant Derek Peters presented the December 2023, Sheriff’s Report, stating the Sheriff’s  
11 Department responded to a total of 314 calls for service which was the lowest total for the year.  
12 Deputies responded to 1 burglary, 1 theft report, and 1 assault. There were 17 total arrests made in  
13 East Bethel and Deputies’ traffic enforcement efforts resulted in the issuance of 43 traffic citations on  
14 City roads, which was our highest monthly total in 2023. He gave a brief overview of some of their  
15 notable calls in the month of December. He stated that the total calls for 2023 were 4,797 which was  
16 well below the total calls for 2022 of 5,077, but noted that theft, assault, and alcohol related driving  
17 calls were slightly above past years but traffic crashes were significantly lower.

18 DeRoche asked if Lt. Peters felt the traffic crash numbers being lower was due to the lack of snow. Lt.  
19 Peters confirmed that he believed that the lack of snow affected those numbers.

20 Lewis asked about the theft calls and if they were from cars or residences. Lt. Peters answered that  
21 the one they handled last month was from a residence or structure and explained that if it had been  
22 from a car, it would have been labeled with motor vehicle in the description.

23 Smith asked how many calls there had been to Nexus since they have opened. Lt. Peters stated that  
24 he knows there have been several but would do some digging and bring back specific details for the  
25 City. Smith requested that he send this information via e-mail.

26 **Informational; no action required.**

27 **4.0 C Fire Department Monthly Report**

28 Fire Chief Sanow presented the December 2023 report and noted that they responded 76 calls, of  
29 which 61 were medicals, 1 crash, 5 alarms, 5 burning/smoke, 1 other, 0 fires, and 3 mutual aid. Chief  
30 Sanow stated that in 2023, the Department responded to 962 calls, which was slightly above the 923  
31 calls that they had in 2022. He explained that of the 962 calls, 730 were medicals, 61 accidents, 58  
32 alarms, 38 burning/smoke, 20 fires, and 16 mutual aid calls. He noted that of these, 114 were duty  
33 officer calls and, on average, they had 4.5 firefighters respond per call. The average firefighter  
34 responded to 134 calls for the year which equates to 2.5 calls/week. He explained that the average  
35 firefighter responded to 44% of their calls when they are only required to respond to 30%.

36 Fire Chief Sanow reviewed that yearly training requirements for the firefighters and EMTs. Staffing for  
37 the Department is currently at 2 full-time individuals, 29 paid on-call staff which have years of service  
38 anywhere between 42 years to 22 days. He noted that there are 5 members of the Department that  
39 have over 20 years of service to the Department. He stated that about 22% of the Department is  
40 female of 7 individuals, which is far above the State and National average. He reminded the Council  
41 of the upcoming breakfast at Station #1 on Saturday, January 27<sup>th</sup> from 8:00 a.m. to 11:00 a.m. and  
42 the cost would be \$8/adult and \$4/children (12 and under). He stated that depending on the  
43 weather, they may or may not be able to have the fire trucks out and a helicopter landing.

1 DeRoche asked what type of calls were depicted in the 'other' column. Chief Sanow explained that  
 2 those would be calls that were not classified. Deroche requested that for future reports the purple  
 3 highlighter not be used because it is difficult to read.

4 **Informational; no action required.**

5 **5.0 Public Forum**

6 No one spoke in the Public Forum.

7 **6.0 Consent Agenda**

8 Item A: Approve Bills

9 Item B: Approve Meeting Minutes January 8, 2024 City Council Meeting

10 Item C: Res. 2024-07, Appoint Election Judges for 2024 Presidential Nomination Primary

11 Item D: Res. 2024-08, Designating Data Practices Responsible Authority

12 Item E: Res. 2024-10, Arbor Day Declaration April 26, 2024

13 Item F: Inspection Services Agreement

14 **DeRoche stated I'll make a motion to approve Consent Agenda as amended with supplemental**  
 15 **payment summary to the bills list and item F, Inspection Services Agreement. Mundle stated I'll**  
 16 **second.** Lewis asked any discussion? To the motion, all in favor say aye. **All in favor.** Lewis asked  
 17 any opposed? That motion passes. **Motion passes unanimously.**

18 **7.0 New Business. Commission, Association, and Task Force Reports**

19 **7.0 A Planning Commission**

20 **7.0 A.1 Preliminary Plat: 1788 Viking Blvd NE – Capstone Homes, Inc.**

21 Berg stated presented the request of Capstone Homes, Inc for a Preliminary Plat/Planned Unit  
 22 Development (PUD) for 1788 Viking Blvd. He noted on November 28, 2023, a Preliminary Plat and  
 23 PUD application from Capstone Homes, INC. for the redevelopment of Viking Meadows was received.  
 24 The proposal shows the redevelopment of 155 acres of land which spans across the zoning  
 25 classifications of Mixed Use and Single Family Residential. The proposal shows 95 acres of  
 26 developable land will contain a proposed 242 lots. In addition, the proposal contains 60 acres of open  
 27 space which also includes over 10 acres of park and recreation space. Berg presented the following  
 28 details:

- 29 • At the June 27, 2023 Planning Commission Meeting a Public Hearing was held and feedback was  
 30 provided to the developer on a Concept Plan proposal.
- 31 • At the July 24, 2023 City Council Meeting the Concept Plan proposal was presented to the City  
 32 Council for feedback.
- 33 • On August 22, 2023 a revised Concept Plan was presented to the Planning Commission and by a 6-  
 34 1 vote, a recommendation of approval was forwarded to the City Council.
- 35 • On August 28, 2023 the revised Concept/PUD Plan was presented to the City Council along with  
 36 the Planning Commission's Recommendation. The City Council unanimously voted to approve the  
 37 Concept Plan by Resolution 2023-61.
- 38 • On November 28, 2023 the Preliminary Plat and PUD application was presented to the Planning  
 39 Commission and by a 5-1 vote, a recommendation of approval was forwarded to the City Council.  
 40 Only one (1) property owner spoke and was in support of the Preliminary Plat.
- 41 • At the January 4, 2024 meeting between the City Staff and the Anoka County Highway  
 42 Department resulted in an Addendum to the Traffic Impact Study to focus on the intersection of  
 43 Viking Blvd and Sandhill Parkway.

1 Berg noted the addendum results reported: "In summary, we assumed no signal (existing conditions)  
2 at TH 65/187th with 98% of the background traffic going north on Sandhill to Viking to access TH 65.  
3 2028 Build traffic operations are acceptable but westbound right turn queuing does increase at TH  
4 65/Viking. Operations at the TH 65/187th Lane RCI are acceptable with the reduction of traffic. This  
5 information is included in tonight's agenda packet.

6 Berg stated Mn/DOT was provided the Addendum Results along with the Modeling information used.  
7 Although not a formal comment letter, a Mn/DOT Metro North Traffic Safety Area Manager  
8 representative advised that the addendum will likely no longer require an Intersection Control  
9 Evaluation (ICE) as was identified in their initial January 8, 2024 review of the Traffic Impact Study.  
10 This information is included in tonight's agenda packet.

11 Berg stated a Fiscal Impact Study was requested by the Mayor. City Staff in combination with the  
12 Mayor compiled the potential forecasted impacts. This information is included in tonight's agenda  
13 packet.

14 Berg stated staff have determined that the proposal, with the approval of a Home Owners  
15 Association, is in compliance with 2040 Comprehensive Plan, zoning ordinance, and official zoning  
16 map. Additionally the proposed Preliminary Plat and PUD meets the intent of the criteria for granting  
17 a PUD based on ordinance Section 56.

18 Berg stated the developer, City Engineer, Public Works Manager, and City staff have met with and are  
19 continuing to work in conjunction with the Anoka County Highway Department to evaluate and  
20 address the overall traffic considerations of the area. The independent contracted traffic study results  
21 have been presented to the City Council and Staff. All comments from the City Engineer must be  
22 satisfied prior to the application of a Final Plat. Any and all ACHD Engineering comments must be  
23 satisfied prior to application of a Final Plat, including but not limited to a Plan Review, right-of-way  
24 (ROW) Access Permit and County Ditch Review.

25 Berg explained that after the additional reviews of subsequent information along with the original  
26 request, City Council may consider the Planning Commission's formal recommendation, and consider  
27 approval of the Preliminary Plat and PUD as presented.

28 **Mundle stated I'll make a motion to adopt Resolution 2024-04, Approving Preliminary Plat Viking**  
29 **Meadows. Lewis stated I'll second.** Lewis asked any discussion?

30 Mundle asked if there had been any more conversations about having commercial along Sandhill.  
31 Lewis noted that when he met with Administrator Look, Community Development Director Berg, and  
32 Public Works Manager Ayshford, they did look at the 15.66 acres on the southeast corner of Viking  
33 Boulevard and Highway 65. He stated that they wanted to know current information on how useable  
34 it is for commercial property.

35 Lewis noted when they met with Capstone, they mentioned Mr. Voss' concern about the  
36 development encroaching right up to Sandhill Parkway and wondered if it was possible to lop off the  
37 one cul-de-sac and preserve 10-15 acres. Lewis stated he believes he would be correct in saying that  
38 they were pretty adamant that they would have to make up for the loss of those homes somewhere,  
39 such as the 30 acres that was previously part of this that was outside of the Metropolitan Urban  
40 Service Area (MUSA), but explained that the City had viewed expansion of the MUSA as more  
41 egregious than the loss of that potential commercial property that abuts Sandhill Parkway, especially  
42 in light of the precedent of Elevage, which he had opposed, and had used a considerable amount of  
43 the available commercial property. Lewis clarified that of the two choices, they felt that would be the  
44 poorer choice.

1 Miller stated that he was all about what Capstone was trying to do in this location and explained that  
2 he liked both the concept plans and the development plans and had voted for them in the past;  
3 however, he was seeing something that he did not feel good about. Miller explained that the Council  
4 was tasked with making important decisions that affect the wellbeing and the future of the City. The  
5 decisions the Council makes are based on Ordinances which are in place to ensure safety and  
6 prosperity for the community. However, in recent times, they have been faced with the challenge of  
7 a concept plan presented by the builders that tend to push the boundaries and maximize profits  
8 while selling 'their' vision to the City rather than what he would consider 'ours'.

9 Miller stated he understands that growth and development are crucial for the success of their City.  
10 He also has to consider the plans and how they align with the best interests of the community, as a  
11 whole. Miller asked if all the concerns and potential issues were thoroughly addressed in the concept  
12 plans or if there were still unanswered questions. Miller stated if there were still unanswered  
13 questions, he would asked if it was fair to proceed without proper clarity, noting he had been elected  
14 to the Council by residents who trusted him to make the proper decisions.

15 Miller explained that he did not think the responsibility was just about making the right decisions and  
16 is also about ensuring that the public is informed and aware of the decisions being made. He felt that  
17 they had been adamant through this whole process and was also why the Council had tabled some  
18 things, because they needed answers. Miller asked if the residents who had elected him would be  
19 comfortable with the choices that are being made if they didn't have all the answers and didn't know  
20 things like who was responsible for the HOA, grass clippings, keeping the trails nice, and snow  
21 removal. He stated that realistically, the 'open spaces' in this plan are ponds that have a trail around  
22 them and are not truly what he would consider open spaces. Miller explained that when he sees  
23 open spaces in other communities, he sees things like park benches, swing sets, and places for  
24 families to gather and what he sees in this plan is a holding pond for storm run-off that has a trail  
25 around it.

26 Miller stated that he did not want to make a hasty decision without thoroughly considering all the  
27 aspects and wished there had been more input from the City because as he has gone around talking  
28 to people, he has gotten various comments that vary between loving it and hating it. Miller stated  
29 East Bethel needs development, but they are also looking into the face of criticism on social media  
30 and giving preliminary approvals without the full picture is insufficient. He believes the Council must  
31 act and be steadfast when they act in the best interest of the City. Miller noted he understood that in  
32 some cases time is of the essence, but sacrificing the well-being and the quality of life in the City is  
33 not an option.

34 Miller explained that this decision is not an easy one because there will always be opposing views and  
35 criticism, but, at the end of the day, it is the City itself that is what truly matters. Miller noted his job  
36 as a member of the City Council is for this plan or criticizes it, they are all on the same page because  
37 they hope for and want what is best for the City. Miller stated to achieve this goal, every decision the  
38 Council makes should contribute to the progress and betterment of the City.

39 Miller reiterated that fast action without all the answers equates to poor leadership and explained  
40 that he refused to have that be a label associated with this name. Miller stated he had questions that  
41 he wants answered about this development but clarified that did not necessarily mean he wanted to  
42 throw it all out of the window. Miller gave the example of calling something an open space and if  
43 they do that, it should truly be an open space.

44 Miller explained that if the City has rules and Ordinances that they go by, he thinks they need to  
45 examine some of the cul-de-sacs because he believes that 7 or 8 houses is too much and is shoving

1 too many houses in. Miller reiterated that he did not want this plan to walk away but does want the  
2 developer to pick up their eraser and change a few things. Miller stated that there were a lot of things  
3 that the Council was saying okay to and there will be more approvals coming in the future but noted  
4 that he would love to see it keep going in the right direction because he wants to be part of Capstone,  
5 and believes that the City felt the same way. Miller reiterated that the plans, in his opinion, as  
6 presented, are not quite there yet.

7 DeRoche asked if the City had gotten all the responses that MnDOT and the County had asked for or  
8 if they were still waiting for information. Berg explained he had received preliminary information but  
9 was still awaiting a formal document from MnDOT. Berg explained that Viking Boulevard is a County  
10 road and Sandhill Parkway is a City street, noting MnDOT's preliminary approval has made him feel a  
11 bit more comfortable that they aren't putting as much stock in it because they are not tying up 187<sup>th</sup>  
12 and Highway 65 like what was examined in the first study. Berg reiterated that with the preliminary  
13 approval with MnDOT saying that they likely would not require that additional study at 187<sup>th</sup> and  
14 Highway 65, he felt more comfortable moving forward.

15 DeRoche stated that his understanding is that Capstone will put the roads in and then the City will  
16 take them over. Berg agreed that it would be handled like any other development in the City.  
17 DeRoche asked if that meant the roadways would all have curb and gutter. Berg confirmed that the  
18 roads would have curb and gutter. DeRoche stated that the homes will all be pretty close to each  
19 other and he believes that in the City you cannot park on the lawn, nor can you park overnight on the  
20 roads. Ayshford clarified that from November 1st to March 31st you cannot park overnight on the  
21 roadways.

22 DeRoche explained that this made him question where people would park and how the City would be  
23 able to plow the streets safely and asked if these things had been considered. Berg stated that he  
24 understood this concern, but from his perspective, the streets will be engineered to City standards,  
25 which means there are two driving lanes and two adjacent lanes for street parking and as stated, the  
26 City does have a snow ordinance that applies from November to March. Berg noted that is a City-  
27 wide ordinance that would apply to the entire City, including this development. Berg reiterated that  
28 the streets will have curb and gutter. Berg explained that just like any other urban city, the streets  
29 have been designed to hold the number of cars for an urban city standard.

30 DeRoche asked how the City dealt with the 'no parking' situation because any MSA road that the City  
31 has done has 'no parking' signs. DeRoche asked if it allowed for parking on one side and not on the  
32 other. Ayshford stated that he believed Councilmember DeRoche was referring to State Aid roads.  
33 These roads would not be in that category and would be an urban design similar to what they have in  
34 Whisper Aspen or Viking Preserve. Ayshford stated that means there is parking allowed on the street  
35 during the day, overnight during the summertime, with nothing allowed overnight from November 1<sup>st</sup>  
36 through March 31<sup>st</sup>.

37 Ayshford explained that when they do plow, which would be anytime there is a 2 inch snowfall, that  
38 would also mean no parking on the roadways for any street in the City. If they do come across a  
39 vehicle parked that causes a problem, they will call the deputies who can ticket the vehicle, and if it is  
40 blocking the street, they can tow it as well. Ayshford explained that this does not happen very often  
41 and noted they try to work with the homeowners when possible, including knocking on doors, if  
42 necessary.

43 DeRoche stated that initially these will not be an MSA road, but will become the City's and asked  
44 what would happen if they want to use any State funding for it. Ayshford clarified that the City would

1 not be able to use State funding for it and MSA funding has to be for arterial and main connection  
2 type roads that are higher volume, which would not include a residential street such as this.

3 Smith commended Councilmember Miller for his statement because he put a lot of thought into what  
4 he said and he also agreed with him. Smith stated that the cul-de-sacs have been an issue for him all  
5 along and noted that if there is another winter like they had last year, they will not be able to pile the  
6 snow in the middle like people say. Smith expressed concern with being able to get emergency  
7 vehicles in a cul-de-sac that has 7 or 8 homes on it and stated if there was snow, he did not think it  
8 would be possible.

9 Lewis asked if this issue had been addressed within the engineer's report. DeRoche stated he has  
10 read through a lot and did not think he had seen anything about that. Lewis stated that he also had  
11 not seen this addressed and noted that, at this point, it was the only concern that he had. Berg  
12 stated that he, Public Works Manger Ayshford, the City Engineer, and Capstone have gone over cul-  
13 de-sacs on multiple occasions in their weekly meetings. Berg explained that Capstone has provided  
14 them with information on cul-de-sacs that are similar in nature to what they are proposing and  
15 suggested they present this information to help alleviate some of the concerns about things like snow  
16 storage.

17 Lewis asked if the Fire Chief had reviewed these plans. Berg confirmed that the Fire Chief had  
18 reviewed the plans and had no comments other than creating an emergency exit at 189<sup>th</sup>.

19 Matt Barker, Capstone, stated that following their discussions regarding cul-de-sacs, they have gone  
20 back and reviewed those details. He and explained that cul-de-sacs are actually smaller than what  
21 they are proposing here. Also, they have more homes on them which have also gone through the last  
22 few winters, which have been pretty severe.

23 Barker explained there was enough placement areas as they are making the rounds with the  
24 snowplows and noted that they are all on public streets. Barker clarified that the cul-de-sacs have  
25 not caused an issue which was the information they had shared with the City and explained that they  
26 were proposed a 50 foot radius design which is a bit larger than what they had designed in most of  
27 their other developments so he was confident that there would be ample room for snow storage.  
28 Barker stated that he believed there were various snow removal techniques that were budgeted for  
29 in the City and reminded the Council that this will have an HOA, which gives them the ability to work  
30 with the City if there is a need for some snow abatement. Barker explained that last year had large  
31 snowfalls and some of their 45 foot cul-de-sac didn't even have any problems.

32 DeRoche asked what packet these design details were included in. Berg clarified that they were in  
33 the November 28<sup>th</sup> packet.

34 Barker thanked Councilmember Miller for his comments and thoughts and noted that he had jotted  
35 down a few things while he was talking. Barker stated that one of the things he heard was concern  
36 about the open spaces and referenced the last rendition that had been included in the Park plans  
37 which shows a bit in the landscaping plans. He believes that they are preserving hole #8 or hole #9 as  
38 an open space, so it will be green open space, not a pond, and the City will be getting 10 acres of  
39 green space that will be connected by trails.

40 Barker stated that he could try to answer any other questions the Council may have. Miller stated  
41 that he would like to know where the other cul-de-sacs were located that Capstone has referenced  
42 because he would like to drive through and look at them. Barker stated he can send him that  
43 information and listed off Andover, Ramsey, and Cottage Grove.

1 Lewis asked if he was correct in understanding that the Fire Chief, City Engineer, Public Works  
2 Manager Ayshford, and City staff had reviewed the cul-de-sac layout, as proposed, and did not see  
3 any problems with snow removal or access of emergency vehicles. Berg stated that was correct and  
4 explained the only concern that has surfaced in their conversations with the City Engineer were  
5 related to the radius of the curve on this street in relation to the City Code because they would need  
6 to make an exception in the PUD language for its radius. But this was not related to the cul-de-sacs.

7 Smith asked what the HOA would be responsible for within the development. Barker stated that  
8 there will be a few components to the HOA that he felt would be beneficial including one central  
9 garbage hauler, green space throughout the development, improvements to welcome people into  
10 the community such as the entrances that will be irrigated and maintained by the HOA, central  
11 mailboxes, as well as overall architectural improvements. Barker assured the Council that the  
12 possibility of the HOA going is almost none because it is very difficult.

13 Lewis asked if Capstone would actually be involved in the HOA or if it was something that the  
14 residents would manage themselves. Barker stated that Capstone remains involved until the last  
15 home is sold.

16 Lewis explained that he was very concerned about the traffic impact this development would have,  
17 especially on top of Elevage regardless of what Mr. Osborne does with his property. Lewis noted he  
18 had very closely studied the traffic study, including the technical documents and appendices that he  
19 had requested from the applicant as part of his due diligence. Lewis explained he had stated at an  
20 earlier meeting that he was an economist by trade which means he is data and analysis oriented and  
21 looks at whether the assumptions and techniques are correct because if they are, you can believe the  
22 results to the best of their ability.

23 Lewis stated he had originally been concerned about this development but noted that he had come  
24 around and wants to see the City have a consistent approach to development projects which means  
25 asking whether they conform with the City's Comprehensive Plan and zoning ordinances and if those  
26 reflect what the current residents of the City want in terms of development in the City. Lewis  
27 explained that you cannot do it every year, but would like to know every 5 years or so what people  
28 actually want.

29 Lewis noted that the second thing to look at is the traffic impact analysis which was done and had  
30 also taken an extra step. Lewis explained what had bugged him about Elevage, which was the first  
31 thing that he dealt with when he was on the City Council in November of 2022; he voted against it  
32 twice. Lewis explained that one of the reasons he voted against it was because he thought the traffic  
33 study included something at 187<sup>th</sup> and Highway 65 and noted that they ended up taking that light out  
34 and had an addendum to the traffic study done. Lewis explained that both Capstone and the City  
35 agreed to pay half of the additional costs in order to double check the traffic impacts because they  
36 were that concerned about it.

37 Lewis stated that he has been persuaded and noted that he had called Katie Schmidt, CEO of SSTS,  
38 who did the study and explained that he mentioned this because he feels they have really gone pillar  
39 to post in their due diligence. Lewis stated that he had directly questioned Ms. Schmidt on the study  
40 and noted that she even admitted to being surprised by the results. Lewis explained that they had  
41 also done the fiscal impact study and is the third phase of what he would like to see as a consistent  
42 method of looking at development proposals.

43 Lewis clarified that he would like them to look at the Comprehensive Plan and zoning ordinances;  
44 traffic impact study; and a fiscal impact study which will show that the net financial impact will be on

1 the City of the developments. Lewis stated that the fiscal impact study information had been  
2 included in the packet which suggests that near term, there will be a strong positive impact and  
3 depending on how many kids come in, then downstream there will be the cost of educating those  
4 children which is just part of the reality of having development in the City.

5 Lewis stated that with all of this, he looked at also the fact that they have worn out staff and  
6 Capstone with all of their questions. He stated he plans to vote in favor of moving forward tonight  
7 and would urge the rest of the Council to also vote in favor of it. Lewis stated that if they have any  
8 questions, the City will insist that they be answered and if there is a nagging problem, they plan to  
9 keep bugging the developer, for example, the cul-de-sac situation.

10 Lewis reiterated that as a data oriented person, he has been persuaded that on a net basis this will be  
11 a benefit to the City. Lewis stated that for the people who own Viking Meadows, the City does not  
12 have the right to stop legal property owners from selling their property or unnecessarily encumbering  
13 that process. Lewis clarified that the City does have the right to say, for example, that they do not  
14 want a nuclear waste facility in the City. Lewis stated that they want East Bethel to be a place that  
15 encourages business for owners and developers of properties, but on the other hand, they do not  
16 have to go to extraordinary lengths to encumber the people of East Bethel to make sure that  
17 property owners get the maximum dollars they can for the property which means that everything is a  
18 balancing act. Lewis explained that in this case, he believes it is good for the people who own the  
19 property and want to sell it after many years of owning it and will be good, on net, for the people of  
20 East Bethel.

21 Miller noted that moving forward, he thinks the Council will need to take a look at some zoning  
22 issues. Lewis agreed that, as a City, they will have to look at amending the Comprehensive Plan  
23 because there is a fair amount of residential that has come in and, on a fiscal impact basis, businesses  
24 pay twice the property tax rate as residents do and businesses do not come with children that need  
25 to be educated. Lewis stated that those are just the cold, hard facts and in terms of MUSA, he feels  
26 that they can certainly stand for more commercial/industrial type development in that area which  
27 will hopefully include the 15.66 acres that the owners of Viking Meadows will still have.

28 City Attorney Larson explained that he had been in the development area for most of his career and  
29 felt the Council questions were 'spot on' and were very helpful to him because when, and if, this is  
30 approved, one of the requirements is that the developer enter into a developer agreement with the  
31 City. So, many of the issues with respect to how it is built, constructed, used, and operated were very  
32 helpful for him. Larson explained that he was taking notes because he wants to keep them in mind  
33 when this goes to a development agreement to ensure that there are appropriate terms and  
34 conditions.

35 Larson explained that during the discussion he had walked over and spoken to Community  
36 Development Director Berg where he made the comment that he will repeat to the Council that most  
37 everything that was referenced tonight was very important and can, and should, be addressed within  
38 the development agreement to make sure that there are no adverse impacts. He shared examples of  
39 making sure that there was an HOA and they would take financial responsibility for operation and  
40 upkeep of the common areas.

41 Lewis thanked Mr. Larson for his comments and stated that he felt his development experience  
42 would serve the City well. Larson explained that he also agreed with Councilmember Miller that the  
43 City should revisit the Comprehensive Plan and zoning to make sure that there is a better alignment  
44 between the two.

1 To the motion, all in favor say aye. **Mundle and Lewis in favor.** Lewis asked any opposed? **DeRoche,**  
2 **Miller, and Smith opposed.** That motion failed. **Motion failed 2-3.**

3 Lewis asked what the next steps would be. Mundle stated he believed the Council would not need to  
4 vote on Resolution 2024-05. Berg explained that the City will have to respond to the developer with a  
5 Findings of Fact for the reasons of denial. He explained that he would need information from those  
6 who voted against the motion so staff can draft the Findings of Fact.

7 Larson explained that the City will have until the end of February to respond to the developer  
8 because this is under the 1599 but alternatively, if those that voted against this would like to have  
9 this placed back on the agenda for reconsideration by that date, that would also be an appropriate  
10 motion. Lewis explained that if they chose not to make that motion, then the decision to deny the  
11 Preliminary Plat, as voted on tonight, would be final. He clarified that the Council had voted not to  
12 approve Resolution 2024-04 and the next step would be for staff to prepare the report and resolution  
13 setting forth the Findings of Fact for adoption at the next Council meeting. He explained that either  
14 now, or at that Council meeting, they could vote to reconsider the initial denial and bring it back for  
15 potential adoption.

16 **DeRoche stated I'll make a motion to reconsider the Preliminary Plat for Viking Meadows on or**  
17 **before February 26, 2024. Smith stated I'll second.** Lewis asked any discussion?

18 Miller stated that he was all for this development if it can be tweaked. DeRoche asked who the  
19 Council would direct their questions and concerns to about this project. Berg explained that either  
20 City Administrator Look or himself can field all of the remaining outstanding questions and work to  
21 provide the answers.

22 City Administrator Look explained that in terms of the vote for reconsideration, the Council can make  
23 a motion for reconsideration at the next meeting in order to bring it back up for a vote. He explained  
24 that the Council would not necessarily make that motion this evening, unless they have their  
25 questions tonight that the developer can answer.

26 Mundle stated that it sounds like they can just plan to put this on their next meeting agenda and do  
27 not need to make any additional motions tonight.

28 DeRoche questioned if his motion stands for this to be brought up at the next meeting. Larson  
29 clarified he believed that this would just be direction to staff for the City Administrator to go ahead  
30 and place it on the next meeting agenda. **Staff was directed as stated, and a vote was not taken.**

31 Steve Bona, Capstone, introduced himself and stated they appreciate the time and energy the City  
32 was putting into their project. Bona noted that they have provided answers for all of the questions  
33 that have been asked of Capstone that they have been made aware of and have communicated them  
34 to City staff. He did not believe they had been found to be objectionable. Bona asked if there were  
35 other specific questions other than the ones, for example raised by Councilmember Miller earlier in  
36 the meeting.

37 Miller stated that he does and had also planned to reformulate a few of the ones he had already  
38 asked. Miller explained that basically, to him, there is a lack of the true use of mixed use space which  
39 has to do with looking at the high density that would be going in there. Miller stated in the City's  
40 Comprehensive Plan, which they have talked about making some changes in the future, under Use of  
41 Land, the first goal the City has set forth is to not be urbanized and this plan is asking for setbacks  
42 that are 25 feet instead of 30. Miller noted he had never seen a cul-de-sac with anything more than 6  
43 homes and cannot imagine having 7 or 8. Miller noted that people say you might like this type of

1 housing, but you can find this type of housing in downtown Minneapolis and this will be a big chunk  
2 that is located right in the middle of the City and once it is there, it is there, and will never go  
3 anywhere.

4 Miller clarified that he did not want to be misinterpreted because he appreciated the efforts with the  
5 parks and things they were trying to include in their plans, because since the sewer system, the City  
6 has been cash dry for its park systems and the residents have suffered. Miller explained that he did  
7 not want to see something get put up hastily that doesn't fit with what the City is trying to do and, in  
8 his opinion, there are only minor issues here, which is why he feels the Council saying that they can  
9 come back so this can be revisited would be perfect.

10 Miller noted they had received more information on the HOA tonight that they had only gotten bits  
11 and pieces of before. He stated there are most likely additional questions that they have not yet  
12 thought about and explained that when Capstone sells the last lot, they will leave and things will  
13 become the City's responsibility so he wants to make sure those are all covered. Miller noted there  
14 are a lot of 'ifs' included in the packet materials because there are a lot of people who need to give  
15 Capstone answers in order for them to give answers to the City.

16 Miller reiterated that he likes what Capstone is doing and thinks the City needs this, but it is a big deal  
17 and needs to be done right and is simply asking for them to take a look at some of the things they  
18 have brought up. Miller stated he thinks they can live with the different setbacks that are needed, but  
19 if he were building a house somewhere, he would have to abide by every ordinance in place, or come  
20 before the Council and ask for variances. He asked Capstone to look at how many houses in their  
21 plans would have to do that.

22 Miller noted they require residents to abide by the rules that have been set up and if the City doesn't  
23 help themselves by making sure Capstone follows the rules, he felt they would be setting a bad  
24 example for all the other developers coming to the City. Miller explained that he understood the  
25 desire to maximize their dollar in what Capstone is trying to do, but at the same time, they may be  
26 maximizing it too much. Miller stated that, to him, it just doesn't feel right yet.

27 Bona stated that part is concerning for him because they have already removed 104 lots from their  
28 plans. Bona stated that when they spoke with Mayor Lewis and City staff, they told them that they  
29 were open to retail, but would have to replace any units that they lose because at this point, they  
30 cannot drop another unit without replacing it. Bona stated if they look at where this started and  
31 where it is now, which is removal of 104 lots and \$450,000 per home on those lots, about \$45 million  
32 in revenue that has been removed.

33 Miller stated it was removed by taking out 30 acres that couldn't really be developed properly and 15  
34 acres of commercial up front that is not being touched. Miller explained he understood the different  
35 things that were going on with this project, but also understands that he has a job to do for the City.

36 Miller questioned why Mr. Bona had to remove houses from their plans because the City had  
37 ordinances and zoning codes set up already for what developers can maximize and do on these  
38 properties. So, if that doesn't match what someone is trying to build, he questioned why they would  
39 even put together a concept plan. Miller stated that he was trying very hard to give the okay to this  
40 project and find every possible reason he can give himself to say that this is a good thing for East  
41 Bethel.

42 Miller stated he realizes that the numbers looks good, but he has also looked at this and feels they  
43 are asking for too many variances. He thinks about 80% of the homes would not match City code.

1 Bona stated that was not right and explained they will address the Council’s concerns and asked that  
2 they just give them specific questions.

3 Miller assured Mr. Bona that he would have his questions in writing by the end of the week and  
4 reiterated that he wanted to work with Capstone the best he can.

5 **7.0 A.2 Final Plat: Strandlund Farm – Carrington Development**

6 Berg presented the request of Carrington Development for approval of the Final Plat for Strandlund  
7 Farm, Carrington Homes, LLC. He noted that on December 3, 2023, by Resolution 2023-72 a  
8 Preliminary Plat for the proposed Strandlund Farm Rural Residential Development was approved. On  
9 January 4, 2024, the Final Plat application and accompanying materials were received by city staff.

10 Berg advised that the proposed Final Plat is consistent with the approved Preliminary Plat and is in  
11 conformity with the comprehensive plan and zoning ordinance. It consists of 20 buildable single-  
12 family rural residential lots on 73.90 acres. Of the proposed lots, one lot is at the minimum of 2.00  
13 acres with the average lot size of 3.27 acres, therefore all lots meet City code requirements. Berg  
14 presented the following details:

15 Street Access

16 This subdivision will be accessed off of Luan Drive NE / Anoka County Highway 74 by the creation of  
17 a new section of 219<sup>th</sup> Ave NE. The new section of 219<sup>th</sup> Ave NE will be constructed to the city’s  
18 minimum design standards.

19 Anoka County Transportation Division.

20 The Anoka County Transportation was sent the Final Plat for review. Their comments from the  
21 October 19, 2023 during the Preliminary Plat were resent as a response to the Final Plat indicating  
22 that those comments were reviewed and stand. Therefore any and all comments from the Anoka  
23 County Highway Department will need to be satisfactorily addressed prior to any site grading.

24 Public Works

25 The Public Works Department reviewed the Final Plat and stand by the comments sent on October  
26 14<sup>th</sup>, 2023 in response to the Preliminary Plat.

27 City Engineer

28 The City Engineer was sent the Final Plat for review on January 5<sup>th</sup>, 2024 and explained that when he  
29 put together the report he had not received comments from the City Engineer, but when he arrived  
30 at City Hall this evening, there was a letter from him in his e-mail. He noted that he had made a copy  
31 of this letter and had presented to each of the Councilmembers. The Final Plat will not be released for  
32 filing until any and all comments from the City Engineer are satisfactorily addressed.

33 Park Dedication

34 The Parks Commission reviewed the Preliminary Plat at their November 14<sup>th</sup>, 2023 meeting and made  
35 a recommendation of park fees in lieu of land with the possible exception of providing a trail  
36 easement from the cul-de-sac to 221st Ave NE. The park dedication fee is \$2,000.00 per single family  
37 lot. Park dedication fees will need to be paid prior to the release of the Final Plat for filing with Anoka  
38 County.

39 Berg stated staff recommends that City Council consider adoption of Resolution 2024-09, Approval of  
40 the Final Plat for Strandlund Farm, with the conditions set forth in the resolution.

41 **DeRoche stated I’ll make a motion to adopt Resolution 2024-09, Approval of the Final Plat for**  
42 **Strandlund Farm, with the conditions set forth in the Resolution. Miller stated I’ll second. Lewis**

1 asked any discussion? To the motion, all in favor say aye. **All in favor.** Lewis asked any opposed?  
 2 That motion passes. **Motion passes unanimously.**

3 **7.0 B Economic Development Authority**

4 None.

5 **7.0 C Park Commission**

6 None.

7 **8.0 Department Reports**

8 **8.0 A Community Development**

9 None.

10 **8.0 B Engineer Report**

11 None.

12 **8.0 C City Attorney**

13 None.

14 **8.0 D Finance**

15 None.

16 **8.0 E Public Works**

17 **8.0 A.1 2024 JPA Street Maintenance Projects**

18 Ayshford stated the Council is being asked to consider approving the listed projects to be bid as part  
 19 of the 2024 North Metro Street Maintenance Program Joint Powers Agreement (JPA) Street  
 20 Maintenance Projects. Ayshford provided background, indicating the cities of Coon Rapids, Andover,  
 21 Anoka, Brooklyn Center, Columbia Heights, Ham Lake, Mahtomedi, and Fridley entered into a JPA on  
 22 February 1, 2005 for the purpose of collectively bidding certain street maintenance services. The  
 23 North Metro Street Maintenance Program JPA allows smaller cities to achieve more economies of  
 24 scale in the bidding process and potentially achieve lower bids from contractors for crack sealing, seal  
 25 coating, striping and other street maintenance services. The City East Bethel joined the group in  
 26 February 2008.

27 The City of Coon Rapids is the lead agency for this group. As the lead agency, they draft the  
 28 specifications, solicit bids and provide the necessary documents for member cities to sign to  
 29 participate in the program. The agreement is structured such that it permits each member city to  
 30 accept or reject the bids for their portion of the proposed contract. Each city will pay the contractor  
 31 directly for their share of the work and contracts will be awarded separately for the various items.

32 Ayshford presented details regarding the process that will be followed:

- 33 1. The City of East Bethel submits the quantities for crack sealing, seal coating and striping to the  
 34 City of Coon Rapids for inclusion in the collective bid.
- 35 2. The City of Coon Rapids develops all bid specifications and solicits bids for all quantities  
 36 submitted by member cities. Bid specifications follow MnDOT guideline requirements.
- 37 3. Each City may modify the quantities they have submitted to maintain budgets for these  
 38 projects after the low bid has been identified.
- 39 4. Bids for these projects will be opened on March 15, 2024. The City of East Bethel is required  
 40 to submit a letter of concurrence to the City of Coon Rapids by April 15, 2024 authorizing the  
 41 City's level of participation in the program for 2024. The bid award date will be May 7, 2024.

42 Ayshford noted the City of East Bethel has realized savings of up to 20% over previous costs for these  
 43 services through participation in the JPA Street Maintenance Program. He explained the 150,000 LF

1 of pavement markings and 100,000 LF of crack sealing projects are recommended to be bid as part of  
2 the 2024 JPA Street Maintenance program. These projects have been identified in the 2024-2028  
3 Street Capital Improvement Plan (CIP).

4 Ayshford explained the estimated cost for crack sealing and striping the above listed quantities is  
5 \$65,000 to \$90,000 and \$100,000 has been budgeted in the 2024 Roads Capital Improvement Fund to  
6 cover these projects with the remaining funds to be used towards 2024 asphalt overlay projects. Bids  
7 for the work will be received in early March and presented to City Council for final consideration at  
8 the March 25, 2024 meeting.

9 Ayshford stated City staff recommends the City Council approve the proposed City projects for  
10 bidding as part of 2024 North Metro Street Maintenance Program JPA.

11 **DeRoche stated I'll make a motion to approve the proposed City projects for bidding as part of**  
12 **2024 North Metro Street Maintenance Program JPA. Miller stated I'll second.** Lewis asked any  
13 discussion? To the motion, all in favor say aye. **All in favor.** Lewis asked any opposed? That motion  
14 passes. **Motion passes unanimously.**

15 **8.0 A.2 2024 Class 5 Gravel Road Resurfacing Projects**

16 Ayshford explained that the Council is being asked to consider the 2024 Class 5 Gravel Road  
17 Resurfacing Projects. He provided background on this project, noting in 2006 the City began a six-  
18 year cycle of gravel road resurfacing for the 14.5 miles of unpaved roads within our system. This  
19 cycle allows up to 5 of the City's 30 gravel roads to be overlaid with new material each year of the  
20 rotation sequence.

21 Ayshford noted that \$40,000 was budgeted for gravel road resurfacing for 2023. The costs for these  
22 projects are for material and delivery. The Public Works Department does the grading, compaction,  
23 and finishing of this material. Ayshford explained that prior to the placement of any new Class 5  
24 material, Public Works staff will reclaim the shoulders and reshape the existing road surface.

25 Ayshford stated in 2023, the City of East Bethel resurfaced the following gravel roads with Class 5:  
26 4,950 feet of 241<sup>st</sup> Avenue and London Street; 2,000 feet of Durant Street; and 1,400 feet of Palisade  
27 Street. Ayshford stated the recommended roads for 2024 Class 5 resurfacing are as follows:

- 28 1. Xylite Street and 216<sup>th</sup> Avenue 4,500 feet
- 29 2. Zumbrota Street and 219<sup>th</sup> Avenue 3,750 feet
- 30 3. Kissel Street 1,250 feet

31 Ayshford noted staff is also recommending an application of chloride to Klondike Drive. Based on  
32 previous years bid pricing, the estimated project costs of the chloride and Class 5 will be covered in  
33 the \$40,000 budget. Ayshford stated City staff recommends City Council approve the proposed  
34 gravel roads for Class 5 resurfacing in 2024.

35 **Mundle stated I'll make a motion to approve the proposed gravel roads for Class 5 resurfacing in**  
36 **2024, as presented, as well as chloride application to Klondike Drive. DeRoche stated I'll second.**  
37 Lewis asked any discussion? To the motion, all in favor say aye. **All in favor.** Lewis asked any  
38 opposed? That motion passes. **Motion passes unanimously.**

39 **8.0 F Fire Department**

40 None.

41 **8.0 G City Administrator Report**

42 **8.0 G.1 SRWMO 2025 Budget**

1 Look stated the Council was being asked to consider the Sunrise River Watershed Management  
2 Organization's (SRWMO) proposed 2025 Budget. He reviewed that the SRWMO is a joint powers  
3 organization consisting of Columbus, East Bethel, Ham Lake, and Linwood. The SRWMO Joint Powers  
4 Agreement provides rules and procedures for operation of the SRWMO. Membership in Watershed  
5 Management Organizations and Watershed Management Districts is mandated by the Minnesota  
6 Bureau of Soil and Water Resources (BSWR) for all municipalities in the seven county Metro area. He  
7 noted that the budget would be increasing by about \$3.00 which he felt was very reasonable for the  
8 work that they do.

9 **Mundle stated I'll make a motion to approve the Sunrise River Water Management Organization's**  
10 **2025 budget, as presented. Miller stated I'll second.** Lewis asked any discussion? To the motion, all  
11 in favor say aye. **All in favor.** Lewis asked any opposed? That motion passes. **Motion passes**  
12 **unanimously.**

## 13 9.0 Other Items

### 14 9.0 A Staff Report

15 Look noted the last few weeks have been rather busy and they were currently working on the end of  
16 year audit preparations alongside Abdo. He stated that they are having to report to various agencies  
17 such as the County, State, and the IRS.

18 Look noted they have also been working on the deferred/outstanding Code enforcement issues and  
19 trying to negotiate outcomes where everyone can be reasonably happy. He stated that he has been  
20 able to speak with Mr. Linder who had spoken at the last City Council meeting and was able to talk  
21 through some of the definitional issues between the two sides and assured the Council that they  
22 were attempting to work towards positive outcomes for these issues.

### 23 9.0 B Council Reports

24 Smith stated that in the future when the Council is talking about Capstone, he would like staff to keep  
25 the Council informed about meetings that they are having with them beforehand, if at all possible. He  
26 stated for example, when the Council had brought up the questions on the HOA tonight, he felt the  
27 representatives from Capstone seemed shocked. He noted that in the engineering report, there are a  
28 host of things that are important which got him to questioning how the City makes sure that they  
29 follow everything they are supposed to be doing. He explained that he has worked in construction  
30 for about 50 years and has learned that everyone needs to be babysat through the process. He  
31 stated that he would like to know how the City handles this to make sure that a builder doesn't just  
32 come in and do whatever they want to and reiterated he has learned that many times that you really  
33 have to be on top of it to make sure it is done right.

34 DeRoche stated he believes that after the debacle of the water/sewer thing when people were  
35 watching people make decisions and taking votes on things that nobody had a clue about, perhaps  
36 the pendulum has swung a bit too much. However, it may be better to be safe rather than sorry  
37 because as Councilmember Miller stated earlier in the meeting, once something is here, it is here. He  
38 stated felt that City Administrator Look has been doing a 'bang up' job on following up on things.

39 Mundle reminded everyone about the Fire Department breakfast on Saturday, January 27, 2024 at  
40 Station #1.

### 41 9.0 C Other

42 None.

## 43 10.0 Adjourn

1           **DeRoche stated I'll make a motion to adjourn. Mundle stated I'll second.** To the motion, all in favor  
2           say aye. **All in favor.** Lewis asked any opposed? That motion passes. **Motion passes unanimously.**

3           Meeting adjourned at 9:05 PM.

4   Submitted by:

5   Kayla Rokosz

6   *TimeSaver Off Site Secretarial, Inc.*

**CITY OF EAST BETHEL  
EAST BETHEL, MINNESOTA**

**RESOLUTION 2024-14**

**APPROVING A TEMPORARY LIQUOR SALES LICENSE  
FOR WAT LAO XAYABHOUMMARAM AT 4904 217<sup>TH</sup> AVE NE**

**WHEREAS**, Wat Lao Xayabhoummaram has made an application for liquor sales at a festival event to be held on June 21-23, 2024 at their temple located at 4904 217<sup>th</sup> Avenue NE, East Bethel, MN 55011; and

**WHEREAS**, section 6-64 of the East Bethel Code of Ordinances restricts the purchase and consumption of 3.2 malt liquor or intoxicating liquor in any place of public gathering in the City, but allows the city council to waive this restriction when it finds that to do so appears in the interest of the public.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF EAST BETHEL, MINNESOTA** that the restriction of liquor sales shall be waived for Wat Lao Xayabhoummaram for the festival on June 21-23, 2024 at their temple located at 4904 217<sup>th</sup> Avenue NE, East Bethel, MN 55011.

Adopted this 12<sup>th</sup> day of February, 2024 by the City Council of the City of East Bethel.

CITY OF EAST BETHEL

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Kevin Lewis, Mayor

ATTEST:

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Matt Look, City Administrator

**CITY OF EAST BETHEL  
COUNTY OF ANOKA  
STATE OF MINNESOTA**

**RESOLUTION NO. 2024-11**

**AMENDING RESOLUTION 2022-42, THE FINAL PLAT FOR “PRAIRIE HILLS,” FOR  
PROPERTY LEGALLY DESCRIBED AS:**

THE EAST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER, SECTION 14,  
TOWNSHIP 33, RANGE 23, ANOKA COUNTY, SUBJECT TO THE FOLLOWING  
EXCEPTIONS: EASEMENTS, ENCUMBERANCES, RESTRICTIONS AND COVENANTS  
OF RECORD, IF ANY

**WHEREAS**, TH Construction of Anoka has requested approval of a final plat for Prairie Hills;  
and

**WHEREAS**, the East Bethel Review Committee reviewed the final plat; and

**WHEREAS**, the final plat conforms to the conditions approved as part of the preliminary plat.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of East Bethel  
hereby approves the final plat of Prairie Hills with the following conditions:

1. Prior to final plat cording at Anoka County, a Development Agreement acceptable to the City Attorney must be executed by the Developer and filed with Anoka County, including the Vehicle Maintenance Access Agreements, Storm water Maintenance Agreement and Covenants.
2. Park dedication fees in the amount of \$30,700.00 must be paid prior to the release of the final plat and filing with Anoka County.
3. Letter of Credit or escrow must be established prior to the release of the final plat. The City Engineer will determine the amount of the financial guarantee.
4. All City Engineer comments shall be satisfactorily addressed prior to the release of the final plat and filing with Anoka County.

Adopted by the City Council of the City of East Bethel this 12<sup>h</sup> day of February, 2024.

CITY OF EAST BETHEL

\_\_\_\_\_  
Kevin Lewis, Mayor

ATTEST

\_\_\_\_\_  
Matt Look, City Administrator

**ANOKA COUNTY MINNESOTA**  
**Document No.: 2390265.002 ABSTRACT**  
**05/09/2023 09:43 AM**  
**Fees/Taxes in the Amount of: \$46.00**  
**Pamela J. LeBlanc**  
**Anoka County Property Records and Taxation**  
**Property Tax Administrator and**  
**Recorder/Registrar of Titles**  
**Deputy: amschmit**

# **AGREEMENT**

## DEVELOPMENT AGREEMENT

**AGREEMENT**, made this 1 day of May, 2023, between the City of East Bethel, a municipal corporation under the laws of the State of Minnesota, (“City”) and T.H. Construction of Anoka, Inc., a corporation under the laws of the State of Minnesota, (“Developer”).

1. **Request for Plat Approval.** The Developer has requested that the City approve a plat entitled **Prairie Hills**, (hereinafter the “Plat”), the subject land being legally described as:

The East Half of the East Half of the Northwest Quarter of Section Fourteen (14), Township Thirty-three (33), Range Twenty-three (23), Anoka County, Minnesota.

2. **Conditions of Plat Approval.** The City agrees to approve the Plat on condition (i) that the Developer enter into this Agreement and perform the undertakings and furnish the security required herein; (ii) that the Developer comply with all requirements of the City’s approval of the preliminary plat of PRAIRIE HILLS; and (iii) that the Developer comply with all requirements of the City’s ordinances for final plat approval.

3. **Right to Proceed.** Within the plat of PRAIRIE HILLS or the land to be platted, the Developer may not construct any single-family residential homes until all the following conditions have been satisfied: (i) this Agreement has been fully executed by all parties and filed with the City offices and Anoka County; (ii) all conditions contained in the Agreement have been met; and (iii) the security required pursuant to Section 12 hereof has been received by the City.

4. **Development Plans.** The plat of PRAIRIE HILLS will be developed in accordance with the plans on file in the Community Development office of the City of East Bethel and the conditions stated below. If the plans vary from the written terms of this Agreement, the written terms will control. The plans (hereinafter the “Development Plans”) are:

- A. Preliminary Plat of PRAIRIE HILLS, prepared by E.G. Rud and Sons, Inc., dated 8-5-2022.
- B. Sheet C0 - Title Sheet, Legend, & Existing Conditions prepared by Plowe Engineering, Inc., dated 7-1-2022.
- C. Sheets C1.1 and C1.2 – Street Plan & Profile, prepared by Plowe Engineering, Inc., dated 7-1-2022.
- D. Sheets C2.1 and C2.2 – Grading, Drainage and Erosion Control Plan, prepared by Plowe Engineering, Inc., dated 7-1-2022.
- E. Sheets C2.3 – Intersection Details, prepared by Plowe Engineering, Inc., dated 7-1-2022.
- F. Sheets C2.4 and C2.5 – Street Cross-Sections, prepared by Plowe Engineering, Inc., dated 7-1-2022.
- G. Sheets C3.2 and C3.2 – Details & Notes, prepared by Plowe Engineering, Inc., dated 7-1-2022.

- H. Sheets C4.1 and C4.2 - SWPPP, prepared by Plowe Engineering, Inc., dated 7-1-2022.
- I. Sheets C5.1 and C5.2 – Right Turn Lane Plans, prepared by Plowe Engineering, Inc., dated 8-22-2022.

All written comments and requirements of the City Engineer prior to the date of this Agreement also are part of the plans and documents and are incorporated herein by reference, including but not limited to the City Engineer, Hakanson Anderson Reviews Nos. 1 2, 3, and 4 dated April 4, 2022, May 17, 2022, June 15, 2022, and July 15, 2022, respectively, and on file in the Community Development office at City Hall, 2241 221<sup>st</sup> Avenue NE, East Bethel MN 55011.

In the case of any dispute regarding the Development Plans and the Developer's obligations under the Plans and this Agreement, the decision of the City Engineer will control and be final.

5. **Improvements.** The Developer will perform, install, and pay for all improvements (hereinafter the "Improvements") as shown in the Development Plans. Security will be provided for the remaining Improvements listed below:

- A. Street and Storm Sewer Construction
- B. Site grading and restoration; and
- C. As-Built grading plan; and
- D. Set lot corners

The Improvements will be installed in accordance with City ordinances and standards and the Development Plans. The Developer will obtain all necessary permits. The City will provide adequate field inspection personnel to assure acceptable quality control which will allow certification of the final grading work. The City, when reasonably required to do so and at the Developer's expense, may have one or more City inspectors and a soil engineer inspect the work. Within 30 days after the completion of the Improvements, and before any security is released, the Developer will supply the City with a complete set of final "As-built" plans, including lowest floor elevations for each lot.

The Developer must pay for all required street and traffic signs and controls and all related services for engineering and inspection, including all construction staking.

The construction of the Improvements will be guaranteed and secured as provided in Section 12.

Developer will provide the City with a letter and or map from the respective utility company that indicates how each lot will be served by gas, electric and telephone utilities.

6. **Right of Entry and Final Inspection.** The Developer hereby grants to the City, its agents, employees, officers, and contractors, the right of entry to enter the Plat to perform any and all work and inspections necessary pursuant to this Agreement or deemed appropriate by the

City during the installation of the Improvements by the Developer or the City or to make any corrective action deemed necessary by the City.

At such time as the Developer believes the Improvements have been completed, the Developer will petition the City in writing for a preliminary final inspection of the Improvements and the preparation of a punch list of items of work that must be corrected or are incomplete. The City will perform the inspection and furnish the punch list within 30 days of receipt of the petition. The Developer will promptly undertake correction/ completion of all items on the list and notify the City in writing when all such work has been completed. The City will perform a final inspection of the Improvements within 15 days of receipt of such notice.

7. **Erosion Control** – The Developer is required to provide adequate erosion control as required by the City Engineer. The Developer shall control soil erosion ensuring:

- A. All development shall conform to the natural limitations presented by the topography and soil of the subdivision in order to create the best potential for preventing soil erosion. The Developer shall submit an erosion control plan, detailing all erosion control measures to be implemented during construction, said plan shall be approved by the City prior to the commencement of site grading or construction.
- B. Erosion and siltation control measures shall be coordinated with the different stages of development. Appropriate control measures as required by the City Engineer shall be installed prior to development and as may be necessary to control erosion.
- C. Land shall be developed in increments of workable size such that adequate erosion and siltation controls can be provided as construction progresses. The smallest practical area of land shall be exposed at any one period of time.
- D. Where the topsoil is removed, sufficient arable soil shall be set aside for re-spreading over the developed area. The topsoil shall be restored to a depth of at least four (4) inches and shall be of a quality at least equal to the soil quality prior to development.

8. **Grading As-Built and Iron Monuments** – Grading will be in accordance with the approved plans. The Developer will provide the City with an “As Built” grading plan including certification by a registered Land Surveyor or Engineer that final elevations are complete and ready for house construction. The Developer shall place iron monuments at all lot and block corners and at all other angle points on boundary lines. Iron monuments if disturbed by grading shall be replaced after all grading in order to preserve the lot markers.

9. **Clean Up** – The Developer will promptly clean any and all dirt and debris from streets resulting from construction work by the Developer, its agents, or assigns. Warning signs shall be placed when hazards develop in streets to prevent the public from traveling on same and directing attention to detours. The repair of any damage done to the streets or public utilities by Developer or any of its Contactors or Subcontractors shall remain the financial responsibility of

the Developer. The repair of any damage done to the streets or public utilities by Developer or any of its Contractors or Subcontractors, shall remain the financial responsibility of the Developer

10. **Park/Trail Dedication** – The Developer must pay a cash contribution of \$30,700 in satisfaction of the City’s Park dedication requirements for the subject property. The contribution must be paid before the City signs the final plat.

11. **Final Plat** – Upon execution by the City the Final Plat shall be recorded in the office of Anoka County. The Developer shall also prepare and record the required documents for the Vehicle Maintenance Assess.

12. **City Surety Requirements**

A. Prior to the City’s execution of this Developer’s Agreement, the Developer will provide the City with an irrevocable letter of credit as security that the obligations of the Developer to the City under this Agreement shall be performed. Said letter of credit or surety shall be in the amount of \$179,265.00 said amount calculated as follows:

Wear Course Paving	\$70,945.00
Grading and Restoration	\$15,000.00
Lot Corners	\$ 1,500.00
Turn Lane Construction	\$26,565.00
<u>Record Drawing</u>	<u>\$ 5,500.00</u>
Total – Includes 150% of Total	\$179,265.00

B. Said letter of credit or surety must meet the approval of the City Attorney as to form and issuing bank (the issuing bank must be an FDIC insured bank located within 100 miles of City of East Bethel, and must be available in its entirety to fulfill the obligations of the Developer under this Agreement. The letter of credit to the City shall contain language requiring its automatic renewal prior to December 31 of each calendar year, unless the City specifically approves cancellation of the letter of credit in writing.

The letter of credit shall automatically renew for successive one-year terms unless, at least forty-five (45) days prior to the next annual renewal date (which shall be December 31 of each calendar year), the financial institution issuing the letter of credit delivers written notice to the party requiring the security that it intends to modify the terms of, or cancel, this letter of credit. Written notice is effective if delivered to, or sent by certified mail, postage prepaid, and deposited in the U.S. Mail, at least forty-five (45) days prior to the next annual renewal date addressed to, the party requiring the letter of credit as outlined in Notice section of this Agreement, and is actually received by the City at least thirty (30) days prior to the renewal date.

- C. **Drawing on Letter of Credit.** The City may draw on its letter of credit or surety after a default by Developer hereunder. The City may use such drawn upon funds to complete work not performed by Developer as required in this Agreement including, but not limited to, Infrastructure Improvements, described above, erosion control, and other such measures, to pay liens on any property to be dedicated to the City, to reimburse itself for costs incurred in the drafting, execution, administration or enforcement of this Agreement, to repair or correct deficiencies or other problems which occur to the improvements during the warranty period, to reimburse itself for costs incurred by the City Engineer or City Attorney, or to otherwise fulfill the obligations of Developer under this Agreement.
- D. **Deficient Letter of Credit.** In the event that any cash, irrevocable letter of credit, or other surety referred to herein is ever utilized and found to be deficient in amount to pay or reimburse the City in total as required herein, the Developer agrees that upon being billed by the City, Developer will pay within thirty (30) days of the mailing of said billing, the said deficient amount. If there should be an overage in the amount of utilized security, the City will, upon making said determination, refund to the Developer any monies which the City has in its possession which are in excess of the actual costs of the project as paid by the City.
- E. **Special Assessment/Certification.** Developer hereby agrees to allow the City to specially assess and/or certify to Developer's property any and all costs incurred by the City in enforcing any of the terms of this Agreement should Developer's letter of credit or surety prove insufficient or should Developer fail to maintain said letter of credit or surety in the amount required above within 30 days of mailing of written request by the City. Should the City assess Developer's property for said costs, Developer agrees not to contest or appeal such assessment and waives all statutory rights of appeal under Minnesota Statutes.
- F. **Renewal of Letter of Credit.** In the event any surety referred to herein is in the form of an irrevocable letter of credit, which by its terms may become null and void prior to the time at which all monetary or other obligations of the Developer are paid or satisfied, it is agreed that the Developer shall provide the City with a new letter of credit or other surety, acceptable to the City, at least forty-five (45) days prior to the expiration of the original letter of credit. If a new letter of credit is not received as required above, the City may without notice to Developer declare a default in the terms of this Agreement and thence draw in part or in total, at the City's discretion, upon the expiring letter of credit to avoid the loss of surety for the continued obligations. The City Attorney shall approve the form of any irrevocable letter of credit or other surety prior to its issuance.
- G. **Bankruptcy.** In the event the Developer files bankruptcy or in the event a bankruptcy proceeding is filed against Developer by others and is not dismissed within 60 days, or in the event a court appoints a receiver for the Developer, the City may draw on its respective letter of credit or surety in its full amount to secure its surety position. The City shall then release the remainder of said letter of credit or

surety to the bankruptcy court or receiver in the same manner that it would be required to release the letter of credit under this Agreement.

13. **Warranty of Title** – By its execution hereof Developer hereby warrants and represents that it has the exclusive and marketable fee title to the subject property. Developer further warrants and represents that there are no liens or encumbrances against the title and that it is fully authorized to execute this agreement as the fee owner of the subject lands.

14. **Warranty.** The Developer warrants all work performed and materials furnished by the Developer within the Plat against poor material, faulty workmanship, and defects for a period of two years commencing on that date on which the City Council gives final acceptance to all improvements required within the Plat. All grass and sod is warranted to be alive, of good quality, and disease free for three months after planting. Any replacements will be warranted for one year from the time of planting. All drainage facilities must remain functional and free of dirt and debris during the warranty period, which will be the obligation of the Developer. The Developer (a) guarantees and (b) agrees to repair any damages and maintain the quality and stability of all work performed and materials furnished and installed in connection with the installation of all the Improvements within and furnishing access to the Plat for a period of two years after that date on which the City Council has given final acceptance to all required improvements.

15. **Responsibility for Costs.**

- A. The Developer will hold the City and its officers and employees harmless from claims made by itself and third parties for damages sustained or costs incurred resulting from Plat development. The Developer will indemnify the City and its officers and employees for all costs, damages, or expenses which the City may pay or incur in consequence of such claims, including attorney's fees;
- B. The Developer will pay in full all bills submitted to it by the City for obligations incurred under this Agreement within 30 days after receipt. If the bills are not paid on time, the City may halt all Plat development work and construction, until all bills are paid in full. Bills not paid within 30 days will accrue interest at the rate of 10% per year.

16. **Developer's Default.** In the event of default by the Developer as to any of the work to be performed by it hereunder, the City, at its option, may perform the work and the City may then draw down the security established in Paragraph 12 to pay for any work undertaken, provided the Developer is first given notice of the work in default, not less than seven days in advance. This notice provision does not apply if the work performed by the City or its contractors is of an emergency nature, as determined at the sole discretion of the City. Should such emergency work be required, the City will make all reasonable efforts to notify the Developer as soon as possible. When the City does any such work, the City, in addition to its other remedies, may assess the cost in whole or in part pursuant to any applicable statutes or ordinances and the Developer hereby waives any and all objection and right to appeal in connection with any such assessment.

17. **Binding Effect** – The terms and provisions hereof shall be binding upon and insure to the benefit of the heirs, representatives, successors and assigns of the parties hereto and shall be binding upon all future owners of all or any part of the subdivision and shall be deemed covenants running with the land. References herein to Developer, if there be more than one, shall mean each and all of them. The Agreement, at the option of the City, shall be placed on record so as to give notice hereof to subsequent purchasers and encumbrances of all or any part of the Subdivision and all recording fees, if any, shall be paid by the Developer.

18. **Notices** – Notices to the City will be in writing and will be either hand delivered to the Community Development Department or mailed to the City by registered mail at the following address, Attention:

Community Development Director  
City of East Bethel  
2241 221<sup>st</sup> Ave NE  
East Bethel, MN 55011

Notices to Developer will be in writing and will be either hand delivered to the Developer, its employees or agents, or mailed to the Developer by registered mail at the following address:

Anthony Hennen, President  
T.H. Construction of Anoka, Inc.  
617 East Main Street Suite 3  
Anoka, MN 55303

.CITY OF EAST BETHEL

BY:

  
IT'S MAYOR

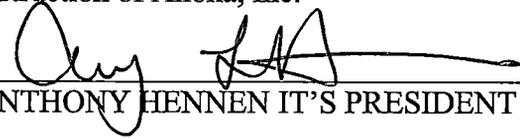
BY:

  
IT'S CITY ADMINISTRATOR

DEVELOPER

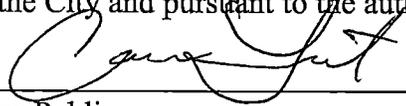
T.H. Construction of Anoka, Inc.

BY:

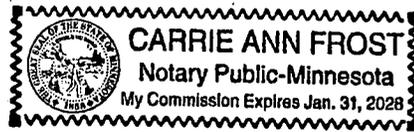
  
ANTHONY HENNEN IT'S PRESIDENT

STATE OF MINNESOTA )  
 ) ss.  
COUNTY OF ANOKA )

The foregoing instrument was acknowledged before me this 1<sup>st</sup> day of May, 2023, by Tim Harrington and Jack Davis, the Mayor and City Administrator of the City of East Bethel, a Minnesota municipal corporation, on behalf of the City and pursuant to the authority of the City Council.



Notary Public

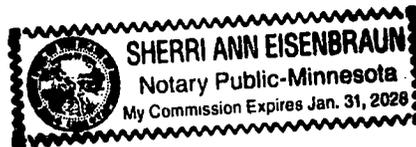


STATE OF MINNESOTA )  
 ) ss.  
COUNTY OF ANOKA )

The foregoing instrument was acknowledged before me this 1 day of May, 2023, by T.H. Construction of Anoka, Inc., a corporation under the laws of the State of Minnesota, by Anthony Hennen its President.



Notary Public



# **AGREEMENT**

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**AMMENDMENT TO DEVELOPERS AGREEMENT**

This Amendment to Development Agreement (this “**Amendment**”) dated this \_\_\_\_ day of February, 2024, is entered into by and between the CITY OF EAST BEHEL, a Minnesota municipal corporation (the “**City**”), and TH CONSTRUCTION OF ANOKA, INC., a Minnesota limited liability company (the “**Developer**”). The City and the Developer may be collectively referred to as the “Parties” or individually as a “Party.”

WITNESSES:

WHEREAS, the City and the Developer entered into a Developers Agreement dated May 1st, 2023 and recorded with the Anoka County Recorder’s office on May 9, 2023 as document number 2390265.002 (“Developers Agreement”) setting for its general development plan to develop the land legally described on the attached Exhibit A (the “Property”);

WHEREAS, the Developer has elected to impose seventeen (17) Protective Covenants on the Property as presented to and approved by the City;

WHEREAS; the City and the Developer wish to amend the Developers Agreement as provided in this Amendment.

WHEREAS; the City and the Developer have both duly authorized this Amendment.

NOW, THEREFORE. The Developers Agreement is amended as provided herein.

1. Definitions. Capitalized terms used in this Amendment and not otherwise defined herein will have the meanings assigned to such terms in the Developers Agreement.
  - a. Additional Recitals. The following recitals shall be added to the Developers Agreement immediately after Section 11:
    - A. T.H. Construction of Anoka, Inc. hereby imposes seventeen (17) Protective Covenants
    - B. The Protective Convents imposed are identified in EXHIBIT B, titled PRAIRIE HILLS DECLARATION OF PROTECTIVE COVENANTS.
    - C. **Severability and supremacy.** Chapter 66-18. is not intended to abrogate any easements, restrictions, or covenants relating to the use of land within the city by private declaration or agreement, but where the provisions of this chapter are more restrictive than any such easement, restriction, or covenant, or the provision of any private agreement, the provisions of this chapter shall prevail.
2. **No Other Change** Except as otherwise expressly provided in the Agreement, all of the terms and conditions of the Contract remain unchanged and in full force and effect.
3. To the extent there is any conflict between this Amendment and the Developers Agreement, this Agreement controls. Except as modified by this Amendment, the Developers Agreement remains unchanged and shall continue in full force and effect.
4. This Amendment may be executed in any number of identical counterparts each of which shall be deemed to be an original and all, when taken together, shall constitute one and the same instrument.

{Remainder of this page intentionally left blank}

IN WITNESS WHEREOF the City and the Developer have caused this Amendment to be duly executed on the date first written above.

CITY OF EAST BETHEL

\_\_\_\_\_  
Kevin Lewis, Mayor

\_\_\_\_\_  
Matt Look, City Administrator

STATE OF MINNESOTA    )  
  ) ss.  
COUNTY OF ANOKA        )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2024, by Kevin Lewis, Mayor and Matt Look, City Administrator of the City of East Bethel, a Minnesota municipal corporation, on behalf of the City and pursuant to the authority of the City Council.

\_\_\_\_\_  
Notary Public

**This is a signature page to the Amendment to the Developers Agreement by and among the City of East Bethel and T. H. Construction of Anoka, Inc.**

**DEVELOPER**

**T.H. Construction of Anoka, Inc.**

By: \_\_\_\_\_  
Anthony Hennen, President

STATE OF MINNESOTA    )  
  ) ss.  
COUNTY OF ANOKA     )

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2024, by T.H. Construction of Anoka, Inc., a corporation under the laws of the State of Minnesota, by Anthony Hennen, its President.

\_\_\_\_\_  
Notary Public

**This is a signature page to the Amendment to the Developers Agreement by and among the City of East Bethel and T. H. Construction of Anoka, Inc.**

**EXHIBIT A**

**DEVELOPERS AGREEMENT**

DRAFT

**EXHIBIT B**

PRAIRIE HILLS DECLARATION OF PROTECTIVE COVENANTS

DRAFT

PRAIRIE HILLS  
DECLARATION OF PROTECTIVE COVENANTS

The undersigned fee owner of the following described land (hereinafter referred to as "Declarant") make THIS DECLARATION this 24th day of January, 2024:

Lots 1, 2, 3, 4, 5, 6, 7, and 8 Block 1, Prairie Hills, Anoka County, Minnesota,

Lots 1, 2, 3, 4, 5, 6, 7 and 8 Block 2, Prairie Hills, Anoka County, Minnesota

WHEREAS, Declarant hereby imposes upon and subjects said Lots, for the benefit of said Lots only and the present and future owners thereof, to the following conditions, restrictions, reservations and covenants which shall operate as restrictions passing with the conveyance of every Lot and shall apply to and bind every successor in interest.

**DEFINITIONS.** The following words or terms used in this Declaration shall have the meanings herein ascribed to them.

- a. **"Developer"** means T.H. Construction of Anoka, Inc., a Minnesota corporation, its successors and assigns.
- b. **"Lot"** means any Lot included within the scope of this Declaration and as shown upon the recorded subdivision plat of Prairie Hills, in Anoka County, Minnesota.
- c. **"Lot Owner"** means the record owner, whether one or more persons or entities, of title to any Lot subject to these covenants, including vendees of a contract for deed.
- d. **"Zoning Ordinance"** means the zoning ordinance adopted by the City of East Bethel as amended from time to time.
- e. **"Committee"** means the Architectural Review Committee.

1. **Architectural Review-** No building shall be erected, place, or altered on any lot until the construction plans and specifications have been approved in writing by the Architectural Review Committee as the quality of workmanship, materials, harmony of external design with existing structures and external colors. No fence or wall shall be erected, placed, or altered on any lot unless approved by Committee. All plans, specifications, etc. should be emailed to [thofanoka@gmail.com](mailto:thofanoka@gmail.com).

2. **Architectural Review Committee (ARC)**- An Architectural Review Committee shall govern and approve every structure that is built on any lot. The Committee will be any officer of T.H Construction of Anoka, Inc., a Minnesota corporation, who is the Developer. A designated representative may be appointed by the committee at any time. The committee shall have the right and duty to plan orderly development and construction of homes and provide for the overall wellbeing of the residences. The committee may for good causes as they see fit alter or amend any of the requirements and restrictions of these covenants at any time for any reason. The committee shall terminate upon the last primary structure being built upon the last lot to be built upon or sooner as committee sees fit. The committee members and said companies shall be held harmless for any and all losses of any type from any decision, approval, non-activity, negligence, or loss thereof from anyone.
3. **Procedure of Architectural Review Committee**- The committee shall approve or reject all plans submitted to it within 30 days of submission. No excavating, construction or alteration upon any lot shall be permitted without written approval of committee.
4. **Land Use and Building type**- Each lot shall be used primarily for residential purposes. Prefabricated or modular type structures or dome homes shall not be permitted. All building shall be approved prior to construction by the Committee. Front tuck under garages by approval only. All accessory building must conform to zoning ordinances. Pole sheds may be allowed with exterior steel colored with similar colors to primary structure. All accessory buildings over 200 square feet must have at least a 1-foot rake on gable ends and a 2-foot soffit on all roofs. A primary focus of the Committee will be front facades looking for accent and details incorporated for maximum curb appeal. Plain fronts will not be allowed. Every home shall have brick or stone on the front facade. Roof pitch on primary roofs shall be minimum 6/12 pitch. Pitch of front gables, viewable from the street is recommended to be 8/12 pitch. Architectural Shingle must be used; no three-tab flat shingle allowed.
 

Homes must meet the following minimum square footage requirements:

  - Ramblers minimum of 1,450 square feet finished on main level.
  - Two Story minimum of 2,150 square feet finished above grade.
  - Split Levels minimum of 1,500 square feet finished above grade.

5. **Driveway**-All primary driveways to front of house garage shall be hard surfaced.
6. **Antennas** - No satellite dish or antennas larger than 36 inches are allowed. No free-standing tower for antennas are allowed unless approved by ARC committee.
7. **Vehicle/trailer/RV/Boat Storage**- No vehicle, trailer, boat or RV or any other personal use item shall be stored anywhere closer to street than front of the house. When feasible items need to be unseen from the street view or passing neighbors. Any item covered with tarp needs to be out of sight from street. Property owners will follow all rules and regulations of city ordinances on these items. No inoperable vehicles or vehicles not currently licensed shall be permitted to stand upon streets, roadways or described lots in said plat for a period of more than 48 hours.
8. **Easements**- Easements for installation and maintenance of utilities and drainage are reserved as shown on the recorded final plat. The property owners shall maintain all areas not erecting any structures or blocking or altering grads in any easement areas.

9. **Nuisances-** Obnoxious or offensive trade or activity shall not be carried on upon any lot nor shall anything be done thereon which may be annoying to the neighborhood. Neighborhood is defined as three or more adjacent neighbors who come to the same conclusion. No accumulation of junk, garbage, junk cars or debris may be kept or allowed on any lot.
10. **Animals-** Animals per the City of East Bethel ordinance per acre are allowed. Any fenced area for any animal that is worn down to bare dirt shall not be visible from the street. Dog kennels shall not be visible from the street. Dogs barking excessively is not allowed.
11. **Grading-** House location must correspond to that of the drainage plan of Prairie Hills. If the house is located elsewhere it must be approved ARC committee. All lots are to be graded and maintained by the homeowner in accordance with the approved grading plan on file at the city.
12. **Trees-** Every lot owner on non-wooded lots are responsible to install 2-yard trees, of 2.5" caliber size, visible from the street within 6 months of original certificate of occupancy.
13. **Landscaping-** Every lot owner is responsible to seed or sod grass into all disturbed areas of lot and apply topsoil if needed within 90 days of occupancy during warm weather or by August 1<sup>st</sup> if occupied during winter construction.
14. **Terms-** The covenants are to run with the land and all the persons claiming under them for a period of 30 years from the date these covenants are first filed or recorded.
15. **Mailboxes-** Each lot owner is responsible for their own mailbox which must be consistent with or better than appearance of majority of mailboxes in development, at the discretion of the Committee.
16. **Enforcement-** If there are violations or an attempt to violate any of these covenants, or restrictions, the ACC or any person owning any real property in this subdivision may bring suit in law or equity for damages or injunctive relief or both. In addition to damages or injunctive relief, any person being found to have violated any of these covenants or restrictions shall be liable for attorney fees and other costs necessarily incurred to obtain damages or injunctive relief.
17. **Severability-** If any of these covenants or restrictions are found by any court to be invalid, the invalidity of any covenant or portion thereof shall not affect the validity of the remaining covenants which shall remain in full force and effect.

IN WITNESS WHEREOF, Declarant has executed this Declaration as of the day and year first set forth above.

**T.H. Construction of Anoka, Inc.**

By: \_\_\_\_\_

Its: \_\_\_\_\_

STATE OF MINNESOTA

COUNTY OF ANOKA

On this 24<sup>th</sup> day of January, 2024 before me, a Notary Public within and for said County, personally appeared Anthony L. Hennen the President of T.H. Construction of Anoka, Inc., a Minnesota corporation, who acknowledge the foregoing instrument to be the free act and deed of said corporation.

\_\_\_\_\_  
Notary Public

THIS INSTRUMENT WAS DRAFTED BY:  
T.H. Construction of Anoka, Inc.  
617 E Main St #3  
Anoka, MN 55303  
763-422-8809  
thofanoka@gmail.com

**CITY OF EAST BETHEL  
EAST BETHEL, MINNESOTA**

**RESOLUTION NO. 2024-15**

**RESOLUTION APPROVING PLANS AND SPECIFICATIONS AND  
ORDERING ADVERTISEMENT FOR BIDS**

**WHEREAS**, the City Engineer has prepared plans and specifications for the 2024 Street Surface Improvement Project and has presented such plans and specifications to the council for approval.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF  
EAST BETHEL MINNESOTA:**

1. Such plans and specifications, dated February 8, 2024 a copy of which is attached hereto and made a part hereof, are hereby approved.
2. The city clerk shall prepare and cause to be inserted in the official paper and in the Finance and Commerce, an advertisement for bids upon the making of such improvement under such approved plans and specifications. The advertisement shall specify the work to be done, shall state that bids will be opened and read at 10:00 a.m. on Tuesday March 12, 2024, in the council chambers of the city hall. No bids will be considered unless submitted electronically in accordance with the ad for bid. The bid must be accompanied by a bid bond payable to the clerk for five percent of the amount of such bid.

Adopted this 12<sup>th</sup> day of February, 2024 by the City Council of the City of East Bethel.

CITY OF EAST BETHEL

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Kevin Lewis, Mayor

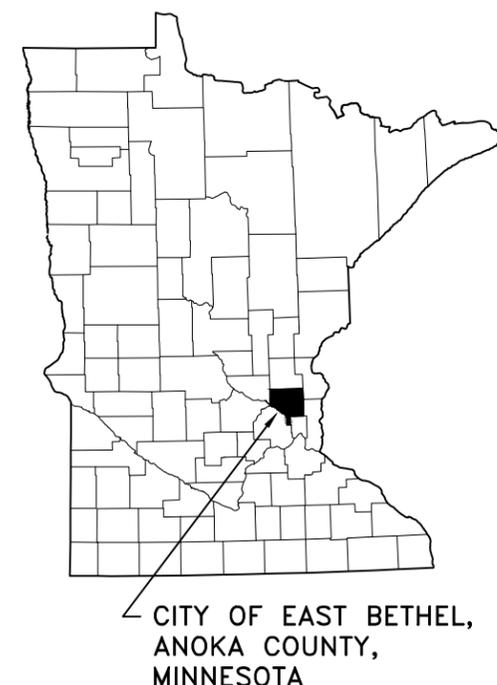
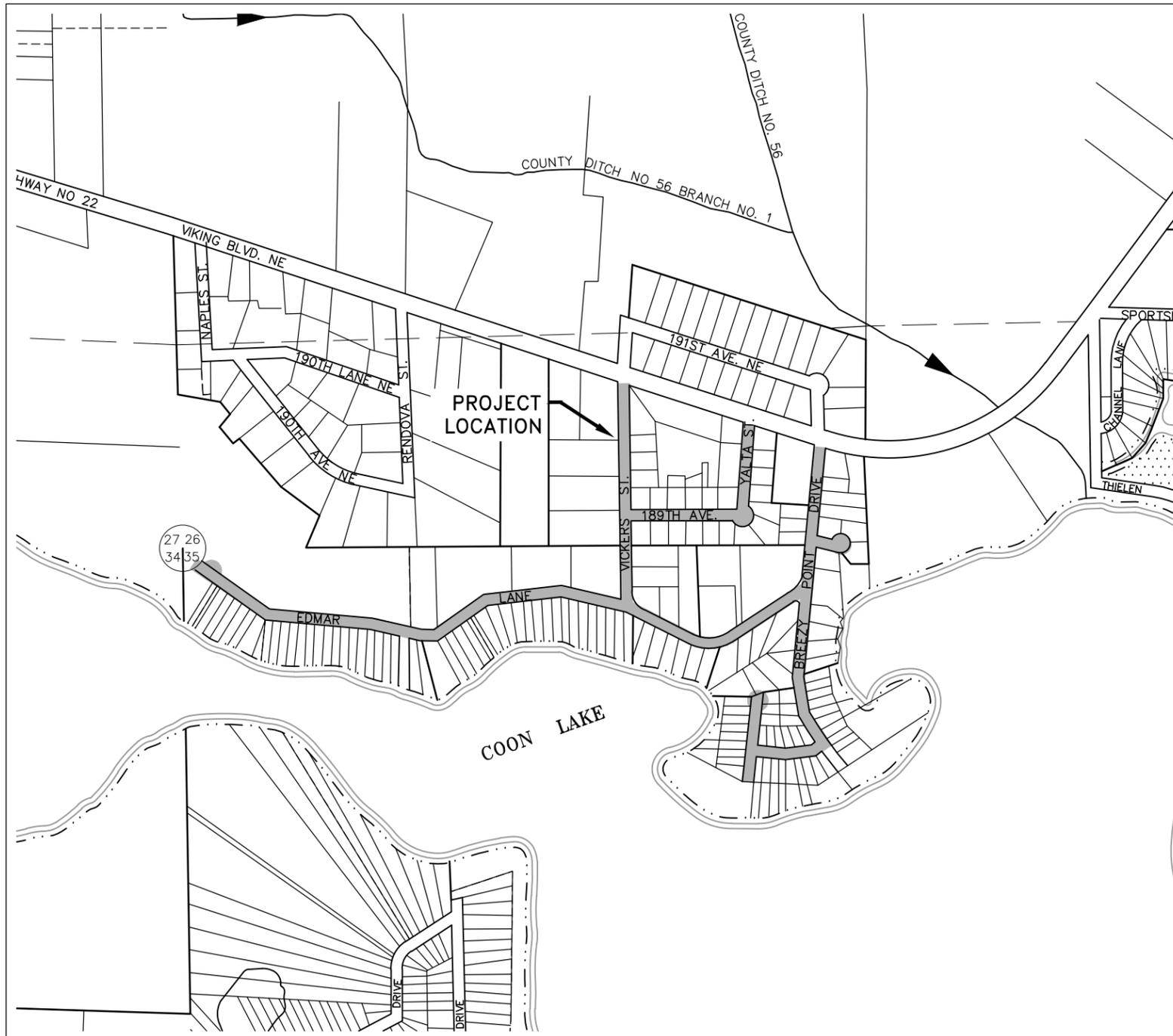
ATTEST:

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Matt Look, City Administrator

# 2024 STREET SURFACE IMPROVEMENT PROJECT

## CITY OF EAST BETHEL



Feb 07, 2024 - 5:23pm K:\MUNICIPAL\EB363\ENGINEERING\PLAN DWG\EB363 TITLE.dwg



THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-2, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

### GOVERNING SPECIFICATIONS

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL APPLY.

ALL FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, AND ORDINANCES SHALL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.

ALL TRAFFIC CONTROL DEVICES AND SIGNING SHALL CONFORM TO THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, INCLUDING THE LATEST FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS.

ALL REQUIREMENTS OF THE PROJECT MANUAL FOR THE 2024 STREET SURFACE IMPROVEMENT PROJECT.

### SHEET INDEX

THIS PLAN CONTAINS 20 SHEETS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	ESTIMATED QUANTITIES, SCHEDULES AND CONSTRUCTION NOTES
3	TYPICAL SECTIONS AND DETAILS
4	DETAILS
5-15	CONSTRUCTION PLANS
16-17	PLAN AND PROFILE
18	TRAFFIC CONTROL PLAN
X1-X2	CROSS SECTIONS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Craig J. Jochum*  
CRAIG J. JOCHUM, P.E.  
HAKANSON ANDERSON  
DESIGN ENGINEER

23461 LIC. NO. DATE 2/8/24

DATE	REVISION

GENERAL CONSTRUCTION NOTES:

1. SALVAGING AND INSTALLING MAILBOXES OR SIGNS IF REQUIRED FOR CONSTRUCTION SHALL BE INCIDENTAL.
2. CONTRACTOR SHALL TAPER/RAMP THE MILL AT ALL MATCH POINTS. ON THE DAY THE PAVEMENT WILL BE CONSTRUCTED AT EACH MATCH POINT THE CONTRACTOR SHALL PROVIDE A STRAIGHT PERPENDICULAR MILL AND REMOVE THE TAPER/RAMP. TAPERING/RAMPING AND PROVIDING A PERPENDICULAR MILL AT ALL MATCH POINTS SHALL BE INCIDENTAL.
3. ALL DISTURBED AREAS AT REMOVAL LOCATIONS AND DRIVEWAYS SHALL BE SEEDED, FERTILIZED AND MULCHED WITH HYDRAULIC BONDED FIBER MATRIX AT THE RATES SHOWN ON THE BASIS OF ESTIMATED QUANTITIES. CONTRACTOR SHALL SALVAGE AND REPLACE ALL EXISTING TOPSOIL. REMOVAL AND DISPOSAL OF EXISTING MATERIALS AND SOIL SHALL BE INCIDENTAL. ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED TO ESTABLISHING TURF SHALL BE INCLUDED IN THE ITEMS PROVIDED ON THE BID FORM. SALVAGING TOPSOIL SHALL BE INCIDENTAL. TOPSOIL FURNISHED AND INSTALLED TO MATCH CUL-DE-SACS AND DRIVEWAYS SHALL BE PAID PER ITEM 2574--COMMON TOPSOIL BORROW.
4. BITUMINOUS AND CONCRETE ITEMS DISTURBED BY CONSTRUCTION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF IN ACCORDANCE WITH MN/DOT SPEC. 2104.
5. PERFORMANCE GRADE (PG) ASPHALT BINDER PG 58S-28, SPEC. 3151, SHALL BE USED FOR ALL BITUMINOUS MIXES IN THIS PROJECT. SPECIFIC PG GRADES SHALL BE STATED IN THE SPECIAL PROVISIONS AND AT THE END OF THE MIX DESIGNATION NUMBER SHOWN ON THE TYPICAL SECTION.
6. THE BITUMINOUS MIXTURES SHALL MEET THE REQUIREMENTS OF SPECIFICATIONS 2360 AND 3139.
7. CONTRACTOR SHALL SWEEP STREETS PRIOR TO PLACING ANY PATCHING MATERIAL AND PRIOR TO PLACING THE WEARING COURSE. THIS WORK SHALL BE INCIDENTAL.
8. CONTRACTOR SHALL TAPER THE BITUMINOUS OVERLAYS TO MATCH THE EXISTING BITUMINOUS FLUMES UNLESS SHOWN ON THE PLANS FOR REMOVAL. THIS WORK SHALL BE INCIDENTAL. REMOVAL OF FLUMES SHALL BE PAID PER ITEM 2104 REMOVE BITUMINOUS PAVEMENT.
9. ANY DEWATERING REQUIRED TO COMPLETE THE WORK SHALL BE INCIDENTAL.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL IN LOCATES AND COORDINATE WITH THE SMALL UTILITIES (GAS, PHONE, ELECTRIC, ETC.) AS REQUIRED TO COMPLETE THE WORK.
11. ALL MILLING SHALL BE PAID PER ITEM 2232--MILL BITUMINOUS SURFACE AND IS NOT DEPTH DEPENDANT.
12. ALL DISTURBED AREAS SHALL BE RESTORED WITH TYPE 1 COMMERCIAL FERTILIZER, SEED MIX 25-131, AND HYDRAULIC FIBER BONDED MATRIX AT THE RATES SHOWN ON THE BASIS OF ESTIMATED QUANTITIES. THIS WORK SHALL BE MEASURED BY THE SQUARE YARD AND PAID PER ITEM 2575--SITE RESTORATION.

BASIS OF ESTIMATED QUANTITIES	
AGGREGATE BASE CLASS 5	100 lbs/yd <sup>2</sup> /in
NON WEARING BITUMINOUS COURSE MIXTURE	110 lbs/yd <sup>2</sup> /in
WEARING COURSE BITUMINOUS MIXTURE	110 lbs/yd <sup>2</sup> /in
BITUMINOUS MATERIAL FOR TACK COAT - NEW ASPHALT	0.06 gal/yd <sup>2</sup>
BITUMINOUS MATERIAL FOR TACK COAT - OLD ASPHALT	0.07 gal/yd <sup>2</sup>
BITUMINOUS MATERIAL FOR TACK COAT - MILLED ASPHALT	0.08 gal/yd <sup>2</sup>
HYDRAULIC FIBER BONDED MATRIX	3500 lbs/acre
SEED MIX 25-131	220 lbs/acre
TYPE 1, COMMERCIAL FERTILIZER	300 lbs/acre

STANDARD PLATES	
THESE STANDARD PLATES AS APPROVED BY THE FHWA SHALL APPLY	
PLATE NO.	DESCRIPTION
3133D	RIPRAP AT RCP OUTLETS
4026A	CONCRETE ENCASED CONCRETE ADJUSTING RINGS
4108F	ADJUSTING RINGS FOR CATCH BASINS AND MANHOLES
4149C	GRATE CASTING FOR CATCH BASIN - CASTING NO. 810
4160D	CURB BOX CASTING FOR CATCH BASIN - CASTING NO. 823A AND 833A
7100H	CONCRETE CURB AND GUTTER (DESIGN B AND DESIGN V)
7111J	INSTALLATION OF CATCH BASIN CASTINGS (CONCRETE CURB AND GUTTER)
8000K	TEMPORARY CHANNELIZERS (3 SHEETS)

ESTIMATED QUANTITIES

ITEM NO.	REF. NOTES	Mn/DOT SPEC. NO.	ITEM DESCRIPTION	UNIT	TOTAL ESTIMATED QUANTITY	EDMAR LANE	VICKERS STREET	KARENS COURT	189TH AVENUE	YALTA STREET	BREEZY POINT DRIVE
						TOTAL ESTIMATED QUANTITY					
1		2021.501	MOBILIZATION	LUMP SUM	1	0.34	0.10	0.03	0.08	0.07	0.38
2		2104.502	REMOVE CATCH BASIN	EACH	6				2	2	2
3		2104.503	SAWING CONCRETE PAVEMENT - FULL DEPTH	LIN FT	917	317	122	86	93	30	269
4		2104.503	SAWING BITUMINOUS PAVEMENT - FULL DEPTH	LIN FT	973	407	88		116	75	287
5		2104.503	REMOVE SEWER PIPE (STORM)	LIN FT	339	241					98
6		2104.504	REMOVE BITUMINOUS PAVEMENT	SQ YD	1752	389	146	33	141	82	961
7		2104.504	REMOVE CONCRETE PAVEMENT	SQ YD	619	259	108	44	83	28	97
8		2211.509	AGGREGATE BASE CLASS 5	TON	647	156	61	19	54	26	331
9		2232.604	MILL BITUMINOUS SURFACE	SQ YD	587	165	84	98	37	33	170
10		2301.503	INTEGRANT CURB DESIGN B6	LIN FT	120				40	40	40
11		2357.506	BITUMINOUS MATERIAL FOR TACK COAT	GALLONS	1827	787	253	65	127	117	478
12		2360.504	TYPE SP 9.5 WEARING COURSE MIXTURE (2.B) 3.0" THICK	SQ YD	1110	389	146	33	141	82	319
13		2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (2.B)	TON	2478	1067	343	88	173	158	649
14		2360.509	TYPE SP 12.5 NON WEARING COURSE MIXTURE (2.B)	TON	102						102
15		2501.502	15" CS PIPE APRON	EACH	2	2					
16		2501.503	15" CS PIPE CULVERT	LIN FT	24	24					
17		2501.602	12" PIPE APRON	EACH	1	1					
18		2502.503	12" PIPE	LIN FT	468	229					239
19		2506.502	CASTING ASSEMBLY	EACH	9				2	2	5
20		2506.503	CONSTRUCT DRAINAGE STRUCTURE DESIGN H	LIN FT	12				3	3	6
21		2506.503	CONSTRUCT DRAINAGE STRUCTURE DESIGN 48-4020	LIN FT	20				4	4	12
22		2511.504	GEOTEXTILE FILTER TYPE 7	SQ YD	17	17					
23		2511.507	RANDOM RIPRAP CLASS II (FIELD STONE)	CU YD	3	3					
24		2531.503	CONCRETE CURB AND GUTTER DESIGN B418	LIN FT	300						300
25		2531.504	7" CONCRETE DRIVEWAY PAVEMENT	SQ FT	619	259	108	44	83	28	97
26		2563.601	TRAFFIC CONTROL	LUMP SUM	1	0.34	0.10	0.03	0.08	0.07	0.38
27		2574.507	COMMON TOPSOIL BORROW	CU YD	280	119	39	7	18	22	75
28		2575.604	SITE RESTORATION	SQ YD	6705	2847	933	156	436	533	1800

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DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Craig J. Jochum*  
**CRAIG J. JOCHUM, P.E.**  
 Date 2/8/24 Lic. No. 23461

DESIGNED BY: CJJ  
 DRAWN BY: DMS  
 CHECKED BY: CJJ



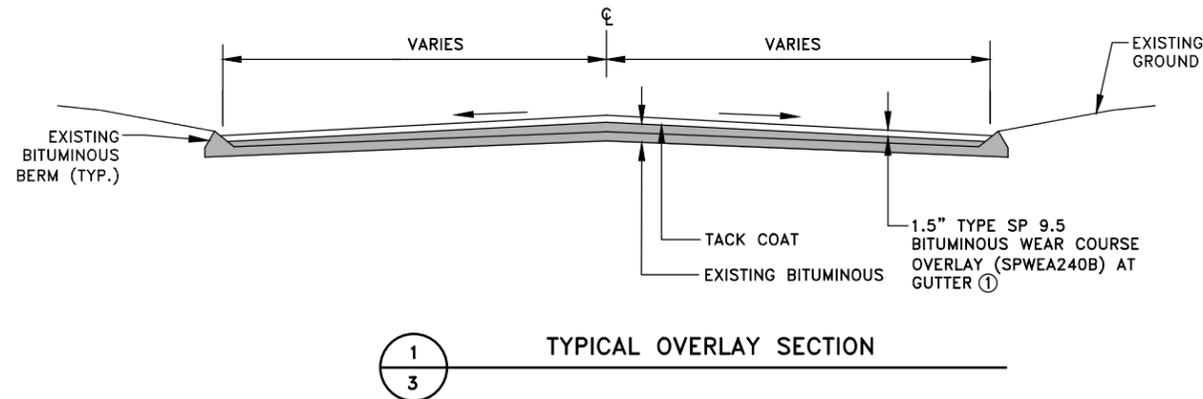
**Hakanson Anderson**  
 Civil Engineers and Land Surveyors  
 3601 Thurston Ave., Anoka, Minnesota 55303  
 763-427-5860 FAX 763-427-0520  
 www.hakanson-anderson.com

**2024 STREET SURFACE IMPROVEMENT PROJECT**

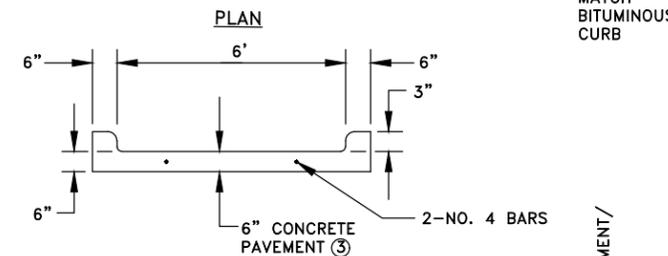
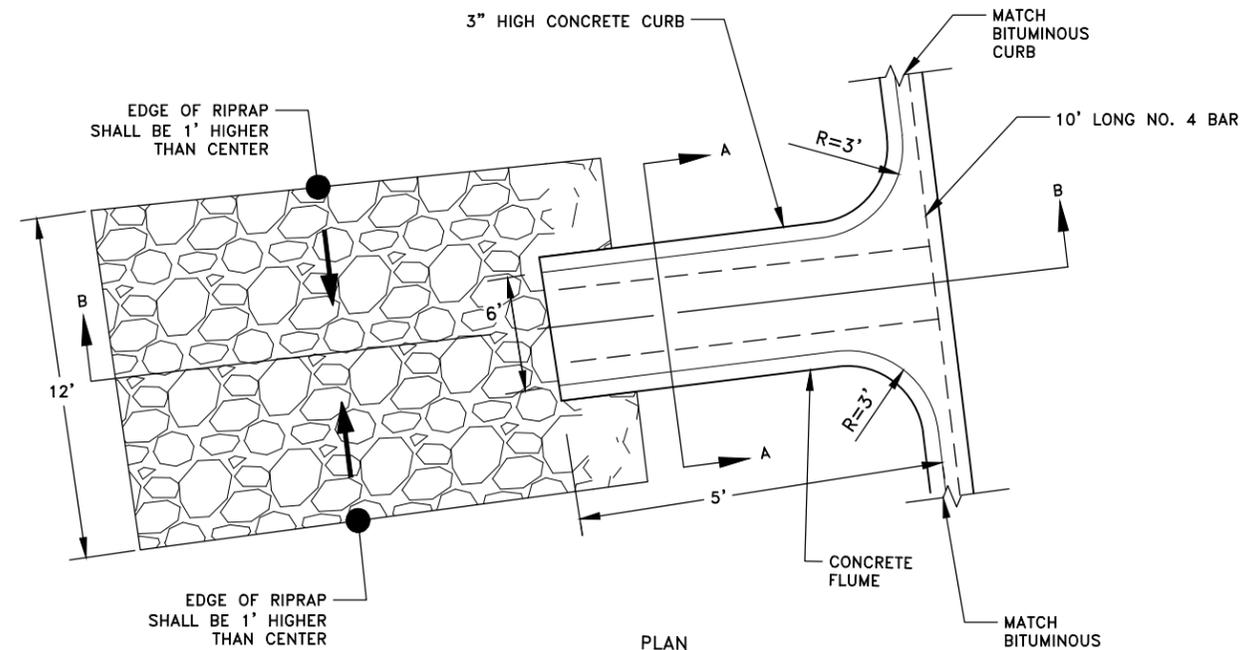
**ESTIMATED QUANTITIES, SCHEDULES AND CONSTRUCTION NOTES**

CITY OF EAST BETHEL

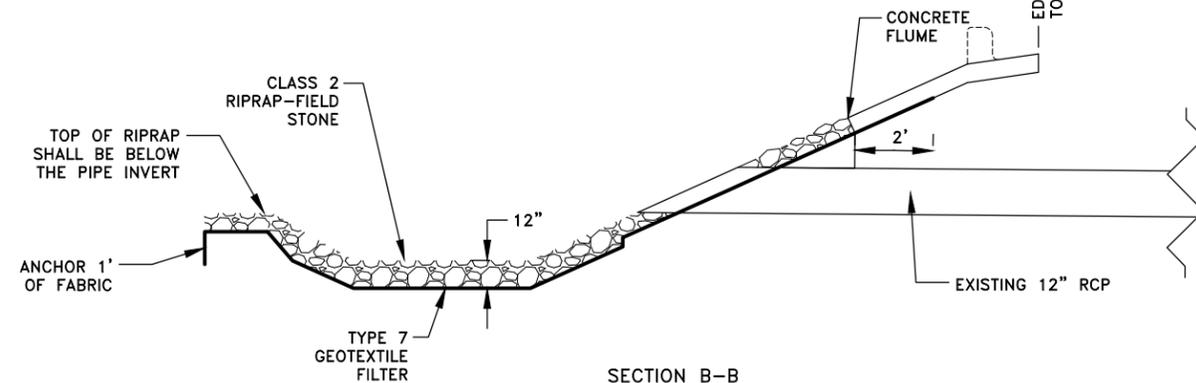
SHEET 2 OF 18 SHEETS



1  
3  
TYPICAL OVERLAY SECTION



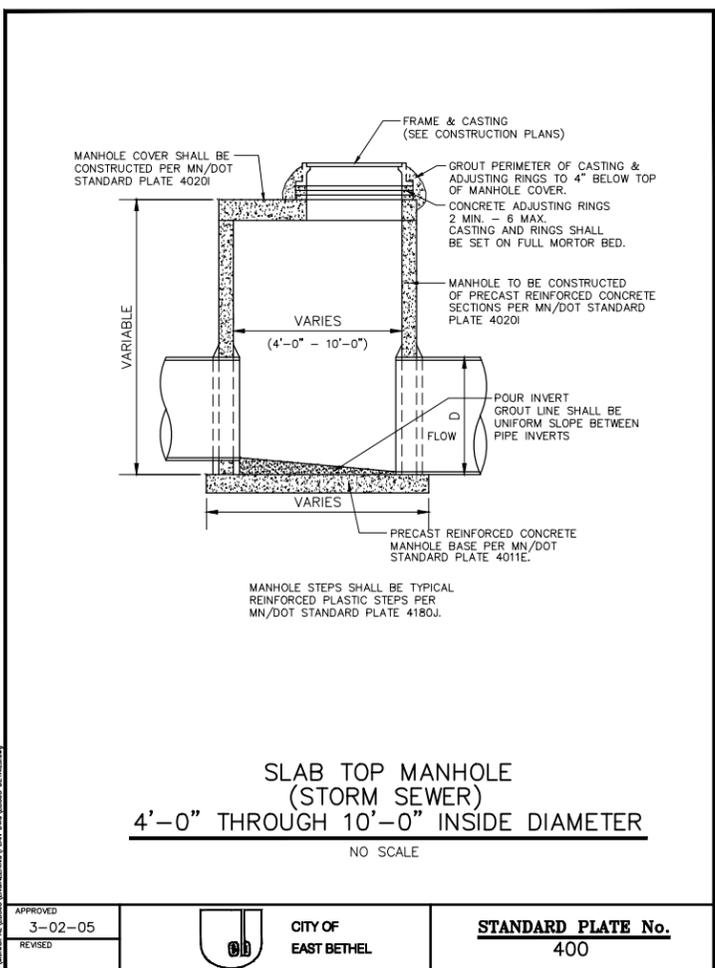
SECTION A-A



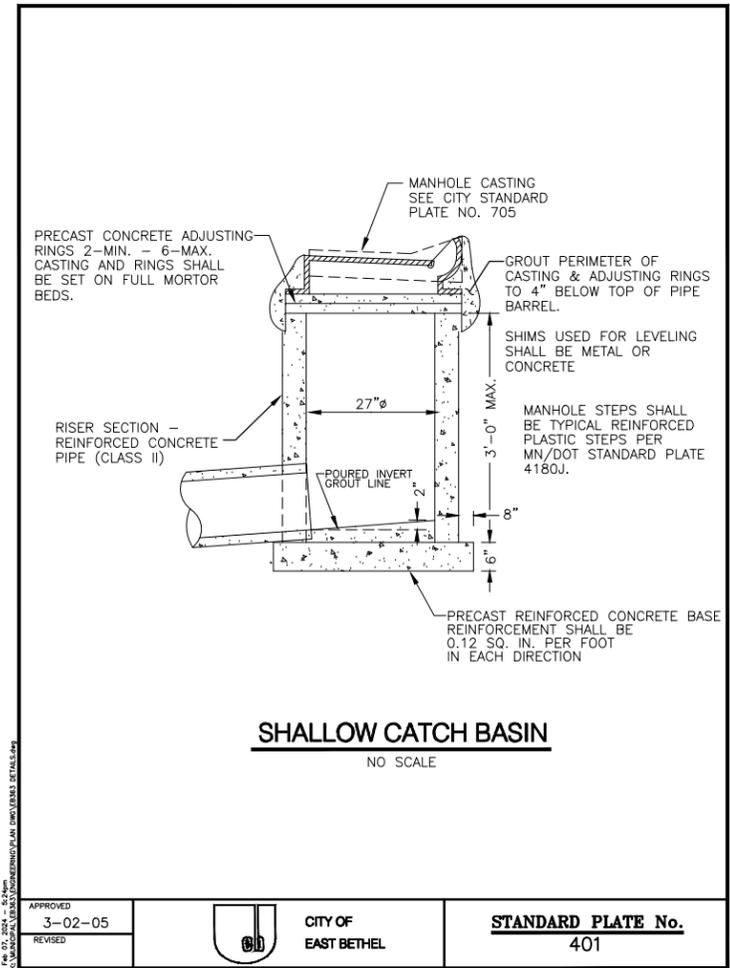
SECTION B-B

2  
3  
CONCRETE FLUME DETAIL ②  
NO SCALE

- REFERENCE NOTE:
- ① PRIOR TO CONSTRUCTION OF THE BITUMINOUS OVERLAY THE CONTRACTOR SHALL PATCH ALL PAVEMENT POTHOLES THAT ARE 1/2 INCH OR DEEPER. PATCH WILL BE PAID BY ITEM 2360 TYPE 4.75 BITUMINOUS MIXTURE FOR PATCHING. IN LARGE AREAS THAT HAVE POT HOLES, MIX SHALL BE SPREAD BY GRADER, SKID STEER OR OTHER APPROPRIATE EQUIPMENT. PATCH MATERIAL SHALL BE COMPACTED WITH A STEEL DRUM ROLLER. PATCH SHALL BE TACK COATED PRIOR TO PLACEMENT. TACK COAT WILL BE PAID PER THE BID ITEM.
  - ② ALL MATERIAL, LABOR, AND EQUIPMENT REQUIRED TO CONSTRUCT THE FLUME AND RIPRAP, INCLUDING EXCAVATION AND DISPOSAL OF EXCESS MATERIAL, SHALL BE PAID PER THE ITEMS INCLUDED ON THE BID FORM.
  - ③ CONSTRUCTION OF ALL CONCRETE WORK ON THE FLUME SHALL BE PAID PER ITEM 2411-CONCRETE FLUME.



SLAB TOP MANHOLE  
(STORM SEWER)  
4'-0" THROUGH 10'-0" INSIDE DIAMETER  
NO SCALE



SHALLOW CATCH BASIN  
NO SCALE

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APPROVED	3-02-05		CITY OF EAST BETHEL	STANDARD PLATE No. 400
REVISED				

APPROVED	3-02-05		CITY OF EAST BETHEL	STANDARD PLATE No. 401
REVISED				

DATE	REVISION

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CRAIG J. JOCHUM, P.E.  
Date 2/8/24 Lic. No. 23461

DESIGNED BY: CJJ  
DRAWN BY: DMS  
CHECKED BY: CJJ

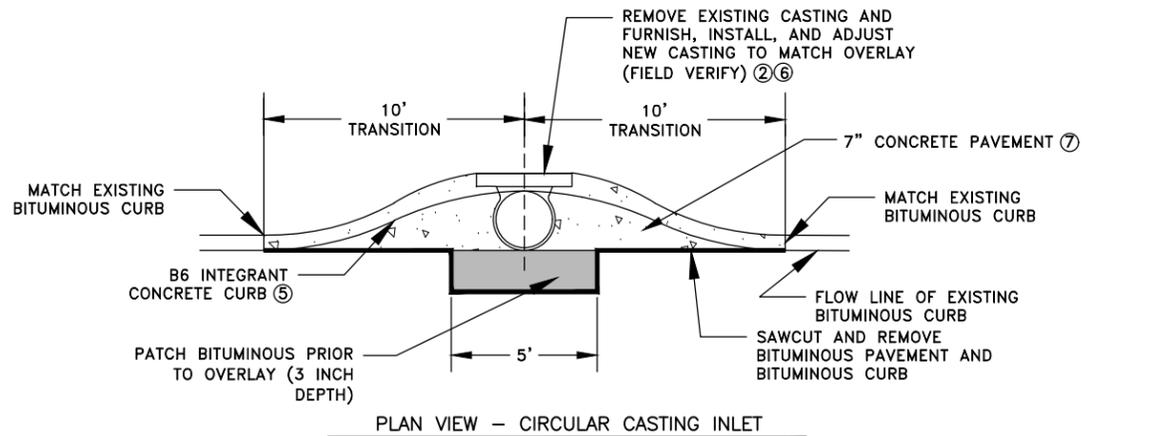


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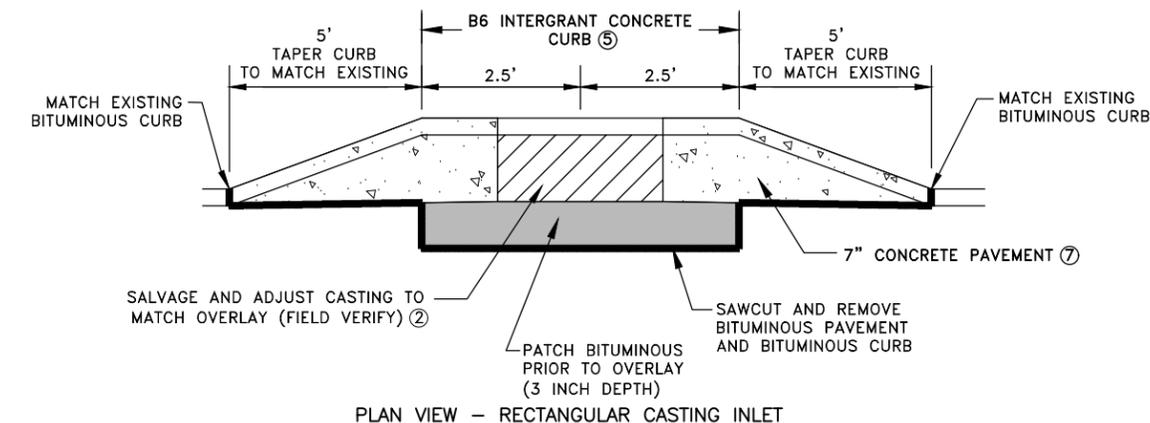
2024 STREET SURFACE IMPROVEMENT PROJECT

TYPICAL SECTIONS AND DETAILS  
CITY OF EAST BETHEL

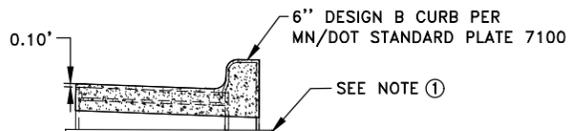
SHEET 3 OF 18 SHEETS  
EB363



PLAN VIEW - CIRCULAR CASTING INLET



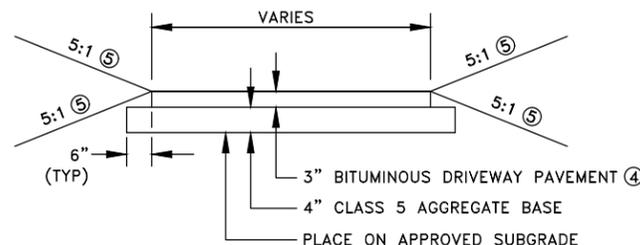
PLAN VIEW - RECTANGULAR CASTING INLET



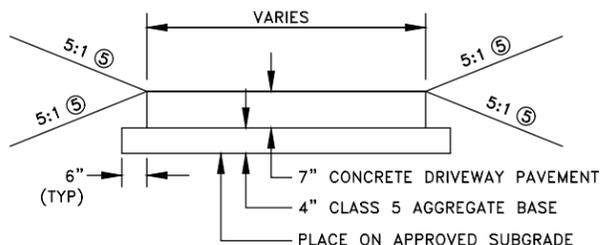
CURB PROFILE (DESIGN B CURB)



1 ADJUST FRAME & RING CASTING 3  
4 NO SCALE



2 BITUMINOUS DRIVEWAY SECTION  
4 NO SCALE



3 CONCRETE DRIVEWAY SECTION  
4 NO SCALE

**INLET ASSEMBLY**  
NEENAH FOUNDRY NO. R-3250-1 OR APPROVED EQUAL.  
SEE CITY STANDARD PLATE 703 FOR CURB & GUTTER CONSTRUCTION AT CATCH BASIN.  
ESS BROTHERS CASTING 801M MODIFIED IS AN APPROVED EQUAL.

**INLET CASTING**  
NO SCALE

APPROVED 3-02-05		CITY OF EAST BETHEL	STANDARD PLATE No. 705
REVISED			

**PAVING AT CURB DETAIL**  
NO SCALE

**PAVING AT VALVE BOX DETAIL**  
NO SCALE

**PAVING AT MANHOLE DETAIL**  
NO SCALE

APPROVED 3-02-05		CITY OF EAST BETHEL	STANDARD PLATE No. 706
REVISED			

REFERENCE NOTES:

- ① GROUT PERIMETER OF CATCH BASIN AND ADJUSTING RINGS PER MN/DOT STANDARD PLATE 4026.
- ② CONTRACTOR SHALL REMOVE OR SALVAGE EXISTING CASTING AS NOTED AND REMOVE ALL EXISTING RINGS AND RAISE CASTING USING NEW CONCRETE ADJUSTING RINGS TO MATCH NEW OVERLAY. AFTER ADJUSTING THE CASTING, RE-GROUT THE NEW RINGS AND ALL DOGHOUSES.
- ③ PAY ITEM 2506-ADJUST FRAME AND RING CASTING SHALL INCLUDE ALL LABOR, EQUIPMENT, AND MATERIALS TO SAWCUT AND REMOVE BITUMINOUS, ADJUST AND INSTALL CASTING, GROUT RINGS AND DOGHOUSES, AND PATCH BITUMINOUS.
- ④ BITUMINOUS DRIVEWAY PAVEMENT SHALL BE PAID PER ITEM 2360-TYPE SP 9.5 WEARING COURSE MIXTURE (2,B) 3.0" THICK.
- ⑤ PAID PER ITEM 2301-INTEGRANT CURB DESIGN B6.
- ⑥ NEW CASTINGS SHALL MEET THE REQUIREMENTS OF CITY STANDARD PLATE 705 SHOWN ON THIS SHEET.
- ⑦ THIS ITEM SHALL BE PAID PER ITEM 2531-7" CONCRETE DRIVEWAY PAVEMENT.

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CRAIG J. JOCHUM, P.E.  
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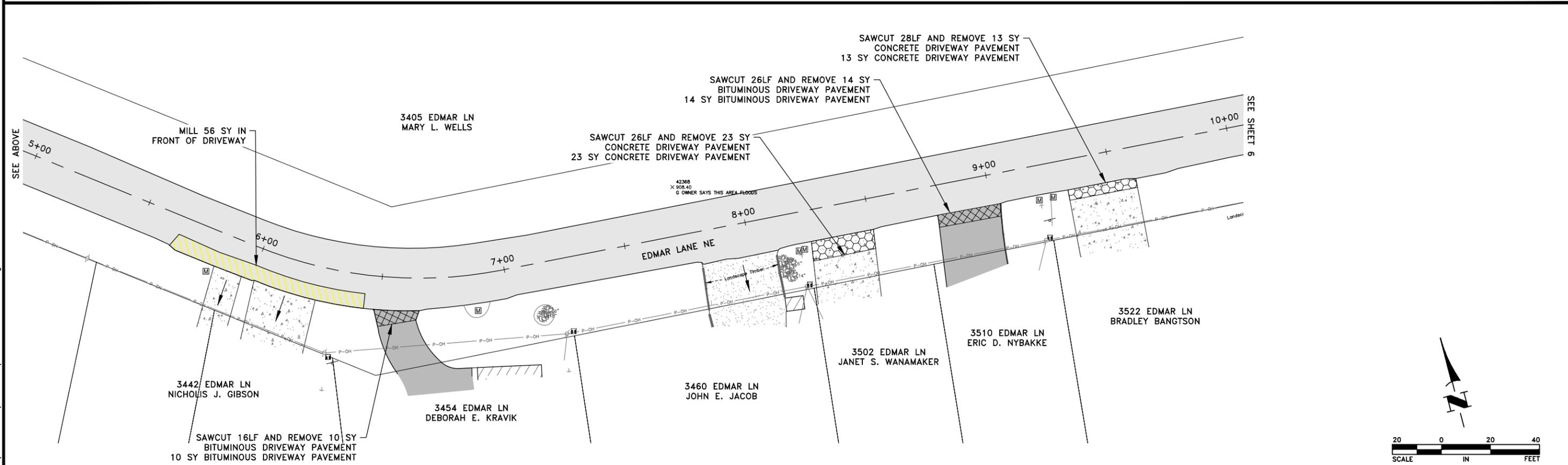
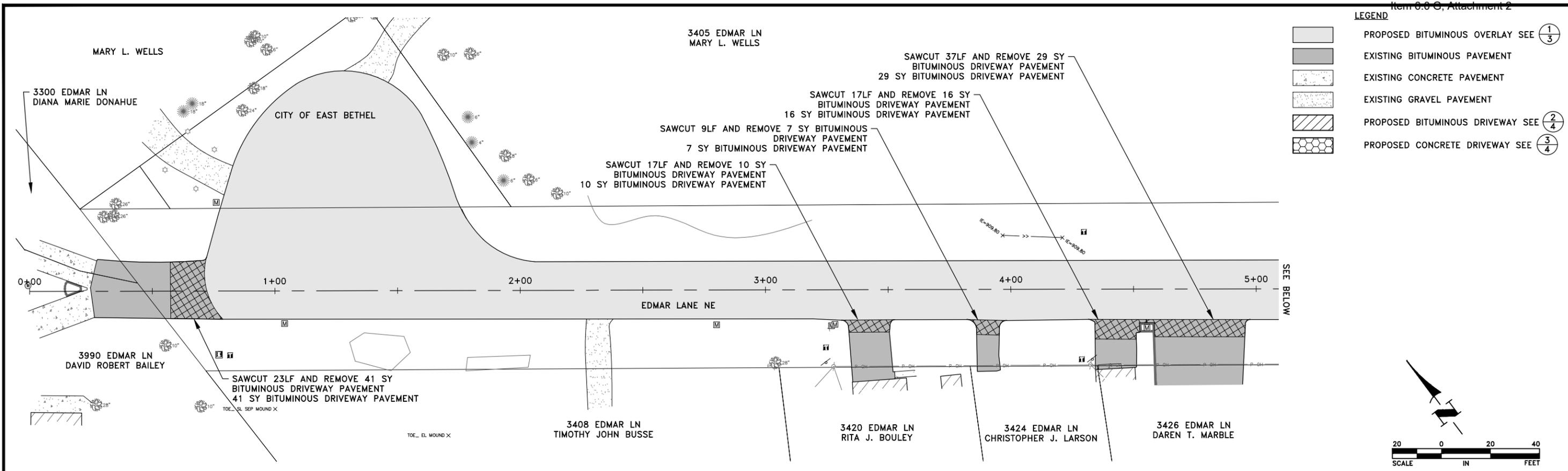
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DRAWN BY: DMS  
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2024 STREET SURFACE IMPROVEMENT PROJECT

DETAILS  
CITY OF EAST BETHEL

SHEET 4 OF 18 SHEETS



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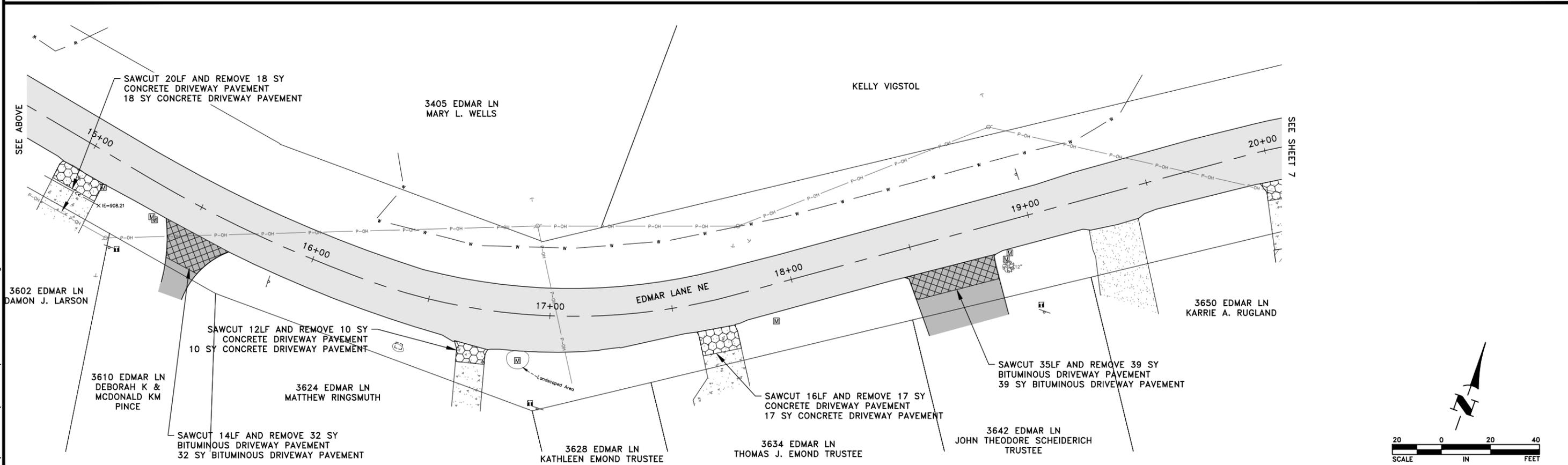
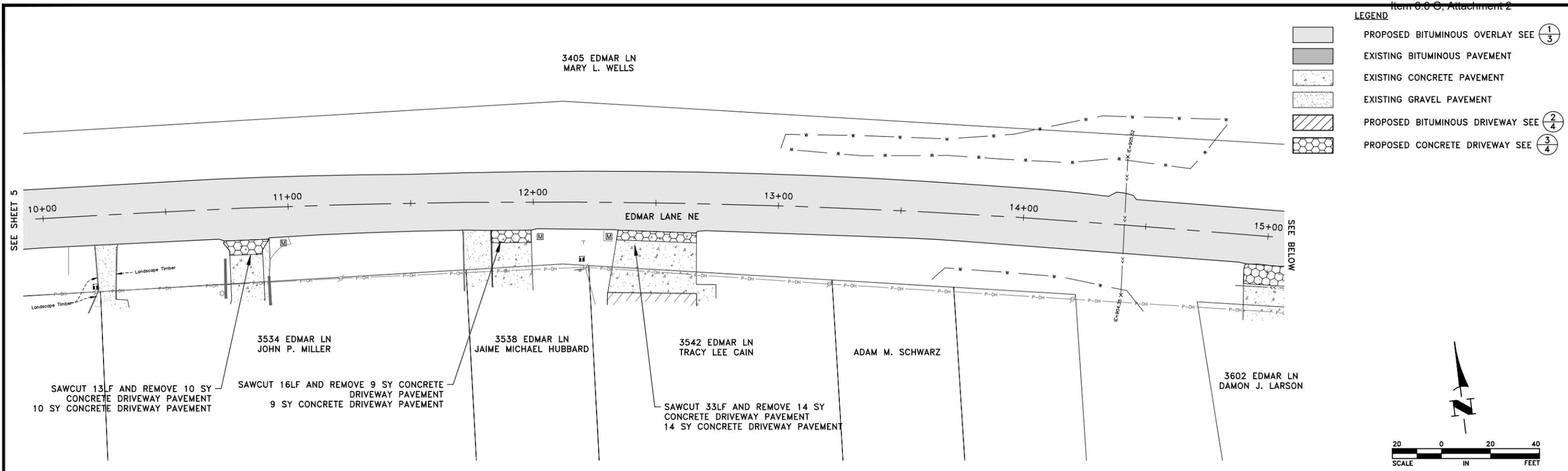
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**2024 STREET SURFACE IMPROVEMENT PROJECT**

**CONSTRUCTION PLAN**  
 EDMAR LANE NE  
 CITY OF EAST BETHEL

SHEET 5 OF 18 SHEETS

- LEGEND**
-  PROPOSED BITUMINOUS OVERLAY SEE  $\frac{1}{3}$
  -  EXISTING BITUMINOUS PAVEMENT
  -  EXISTING CONCRETE PAVEMENT
  -  EXISTING GRAVEL PAVEMENT
  -  PROPOSED BITUMINOUS DRIVEWAY SEE  $\frac{2}{4}$
  -  PROPOSED CONCRETE DRIVEWAY SEE  $\frac{3}{4}$



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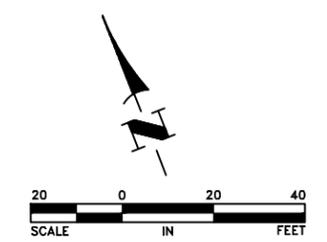
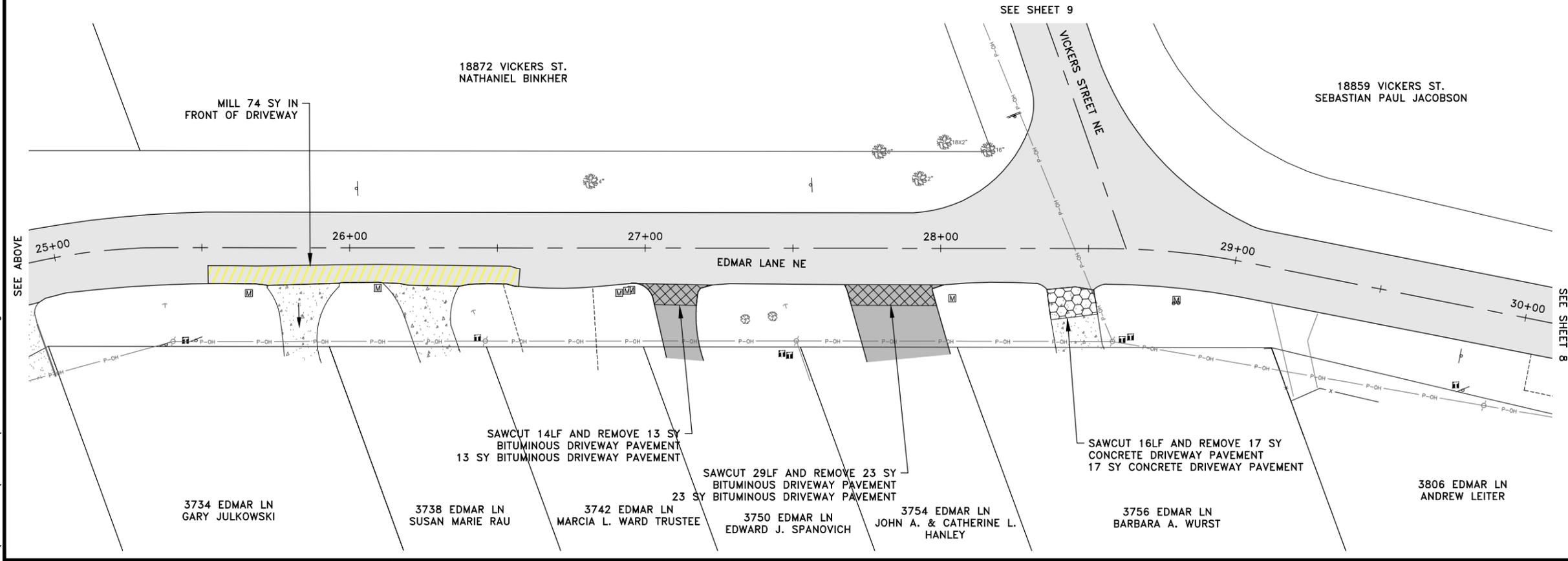
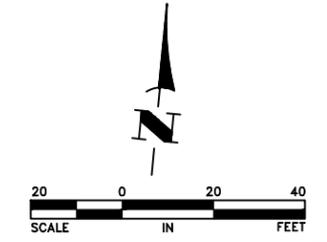
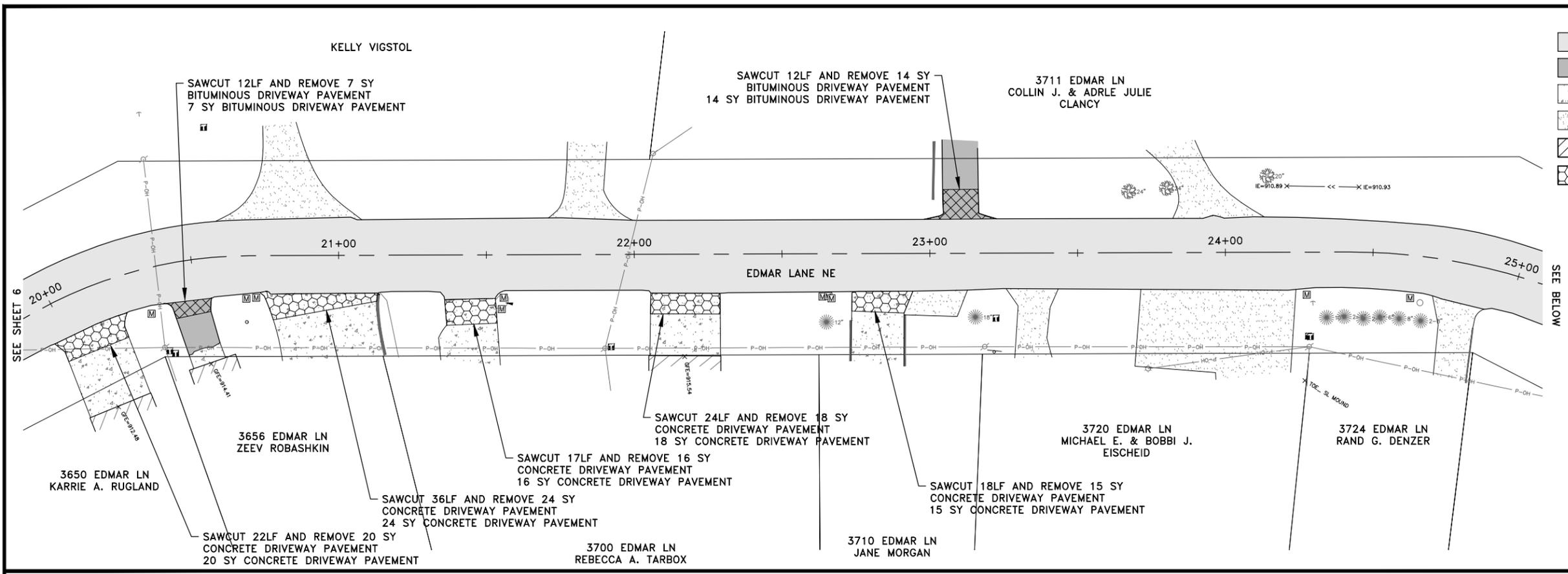
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**2024 STREET SURFACE IMPROVEMENT PROJECT**

**CONSTRUCTION PLAN**  
 EDMAR LANE NE  
 CITY OF EAST BETHEL

SHEET 6 OF 18 SHEETS

- LEGEND**
-  PROPOSED BITUMINOUS OVERLAY SEE  $\frac{1}{3}$
  -  EXISTING BITUMINOUS PAVEMENT
  -  EXISTING CONCRETE PAVEMENT
  -  EXISTING GRAVEL PAVEMENT
  -  PROPOSED BITUMINOUS DRIVEWAY SEE  $\frac{2}{4}$
  -  PROPOSED CONCRETE DRIVEWAY SEE  $\frac{3}{4}$



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**2024 STREET SURFACE IMPROVEMENT PROJECT**

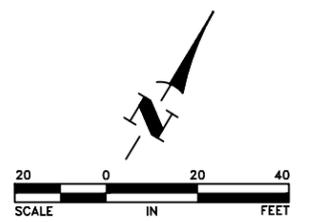
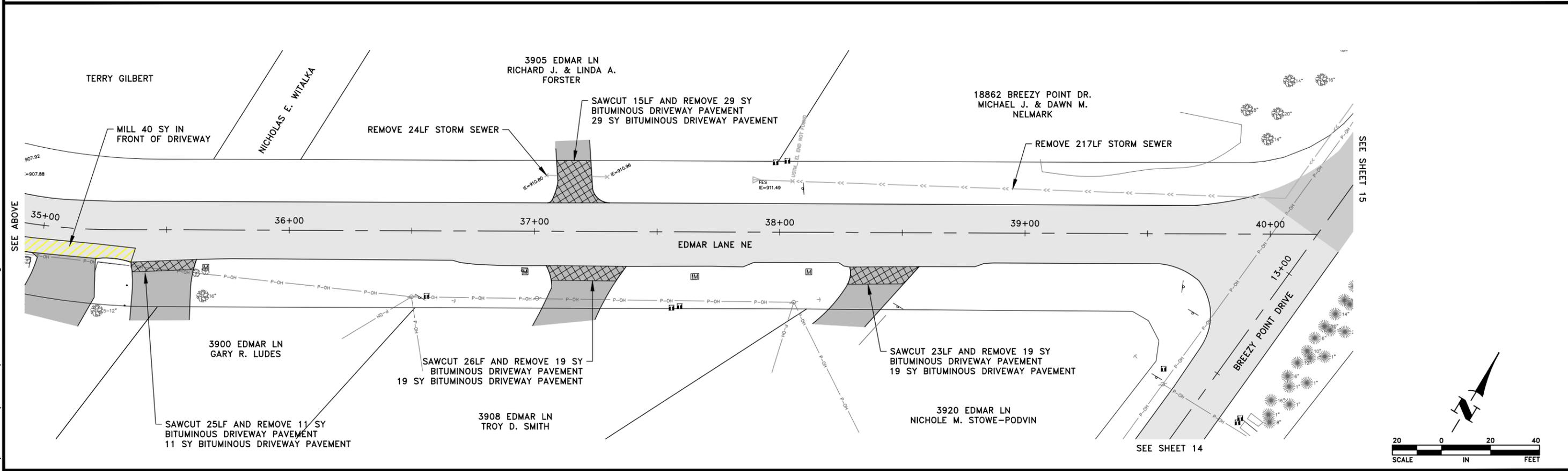
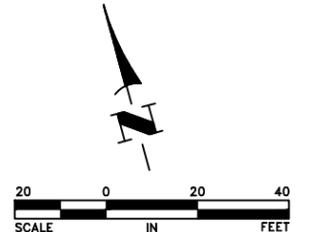
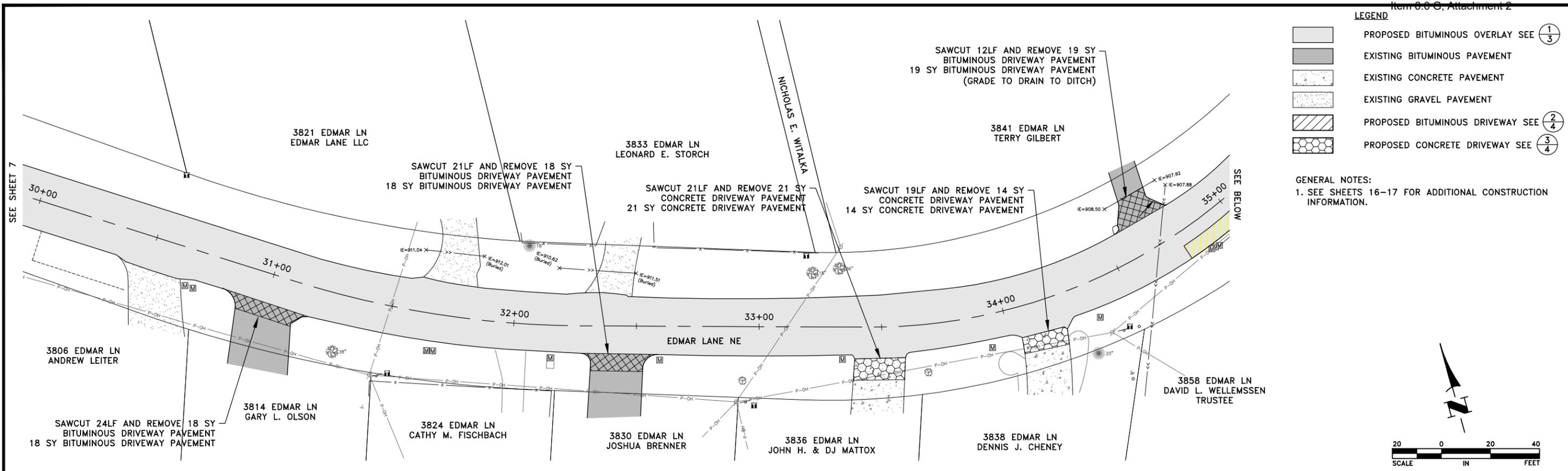
**CONSTRUCTION PLAN**  
 EDMAR LANE NE  
 CITY OF EAST BETHEL

SHEET 7 OF 18 SHEETS

LEGEND

-  PROPOSED BITUMINOUS OVERLAY SEE ①/③
-  EXISTING BITUMINOUS PAVEMENT
-  EXISTING CONCRETE PAVEMENT
-  EXISTING GRAVEL PAVEMENT
-  PROPOSED BITUMINOUS DRIVEWAY SEE ②/④
-  PROPOSED CONCRETE DRIVEWAY SEE ③/④

GENERAL NOTES:  
1. SEE SHEETS 16-17 FOR ADDITIONAL CONSTRUCTION INFORMATION.



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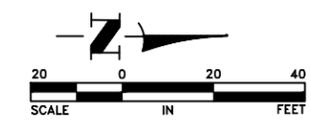
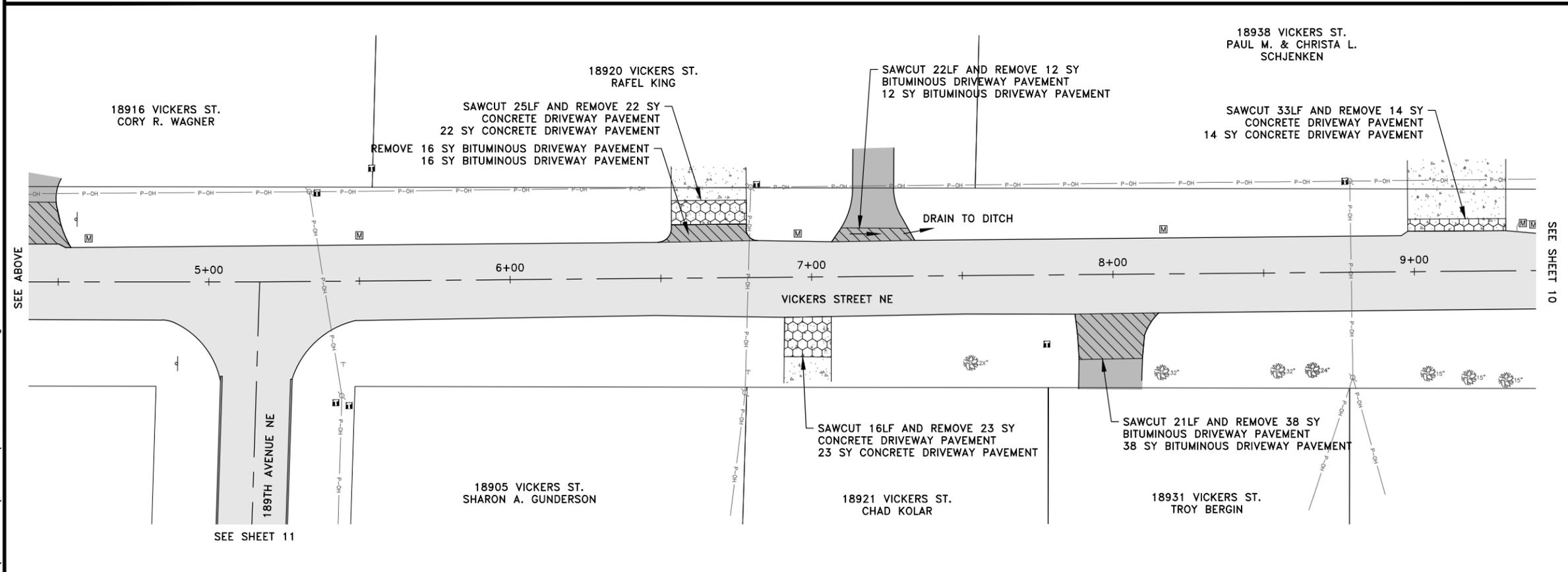
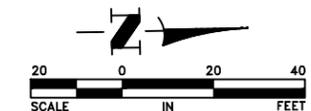
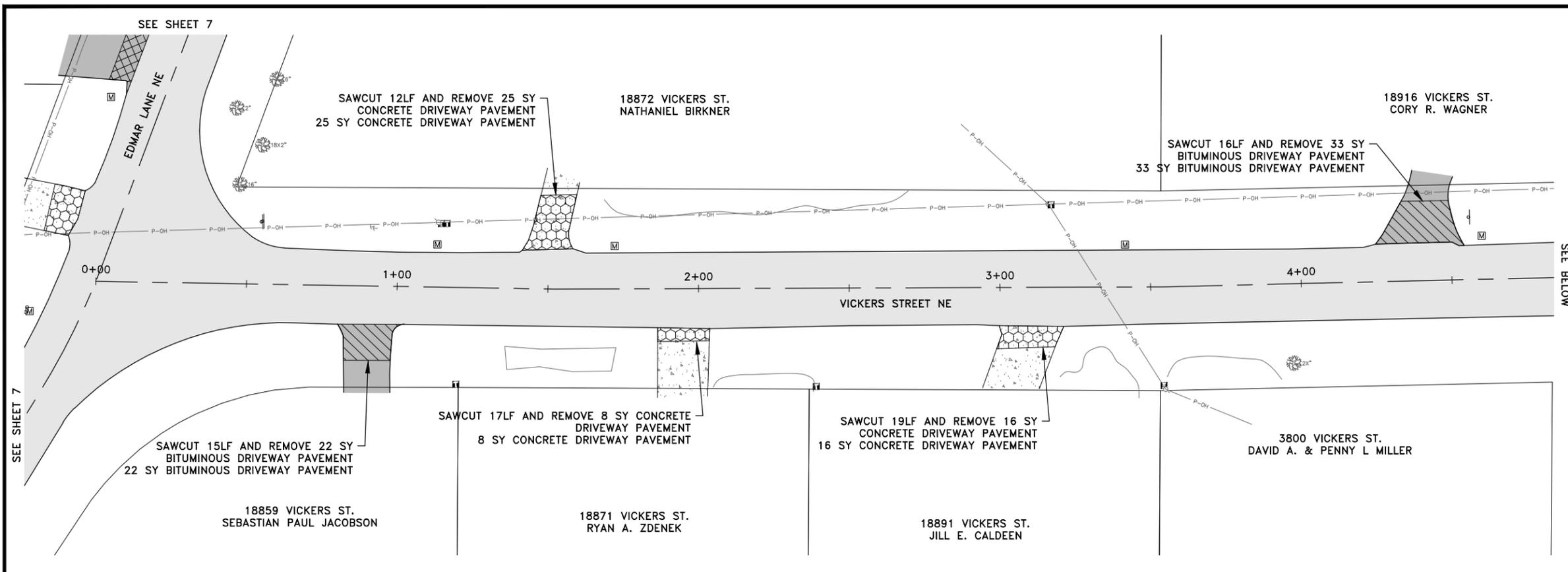
**2024 STREET SURFACE IMPROVEMENT PROJECT**

**CONSTRUCTION PLAN**  
EDMAR LANE NE  
CITY OF EAST BETHEL

SHEET 8 OF 18 SHEETS

LEGEND

-  PROPOSED BITUMINOUS OVERLAY SEE ①/③
-  EXISTING BITUMINOUS PAVEMENT
-  EXISTING CONCRETE PAVEMENT
-  EXISTING GRAVEL PAVEMENT
-  PROPOSED BITUMINOUS DRIVEWAY SEE ②/④
-  PROPOSED CONCRETE DRIVEWAY SEE ③/④



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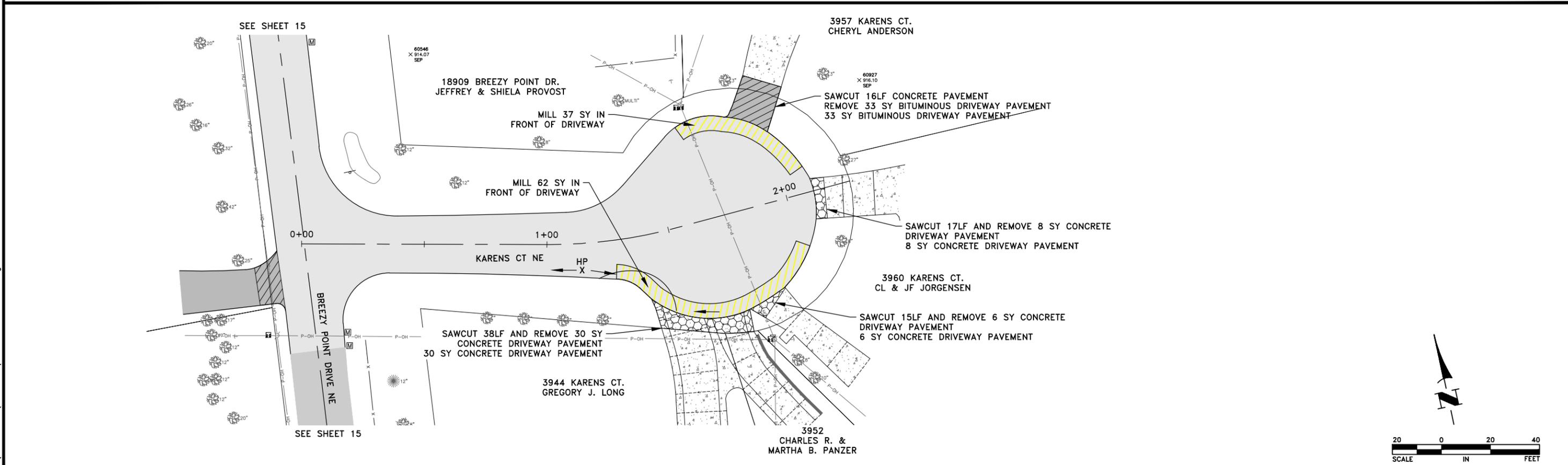
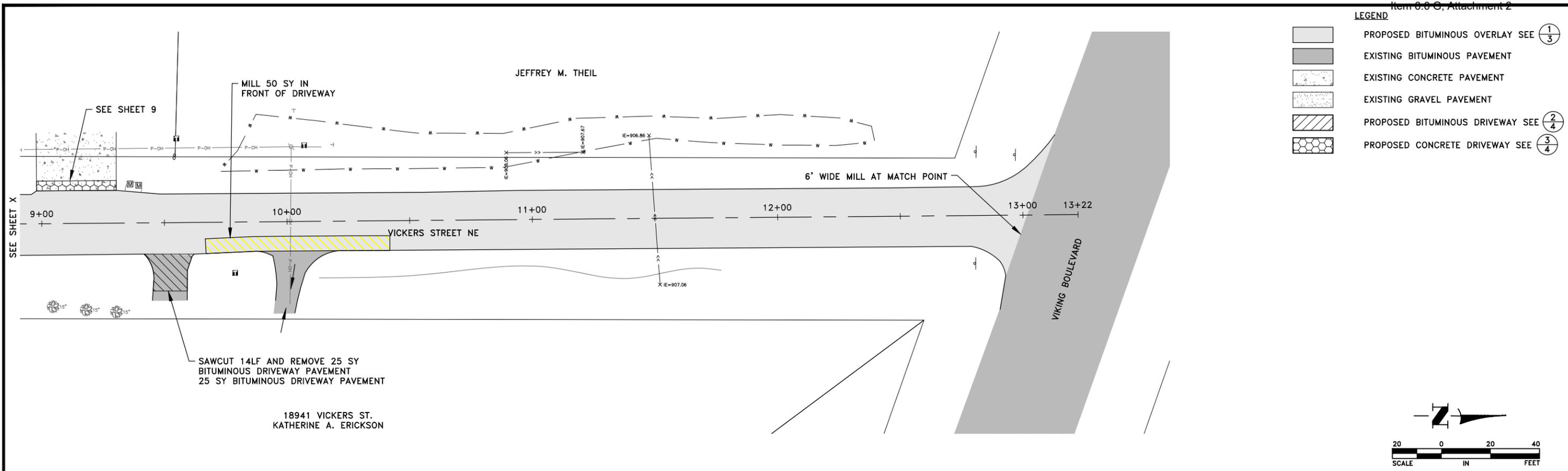
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**2024 STREET SURFACE IMPROVEMENT PROJECT**

**CONSTRUCTION PLAN**  
**VICKERS STREET NE**  
**CITY OF EAST BETHEL**

SHEET 9 OF 18 SHEETS

-  PROPOSED BITUMINOUS OVERLAY SEE  $\frac{1}{3}$
-  EXISTING BITUMINOUS PAVEMENT
-  EXISTING CONCRETE PAVEMENT
-  EXISTING GRAVEL PAVEMENT
-  PROPOSED BITUMINOUS DRIVEWAY SEE  $\frac{2}{4}$
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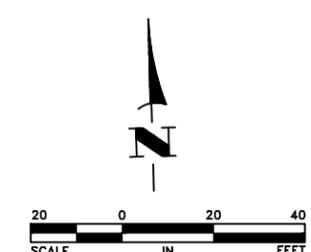
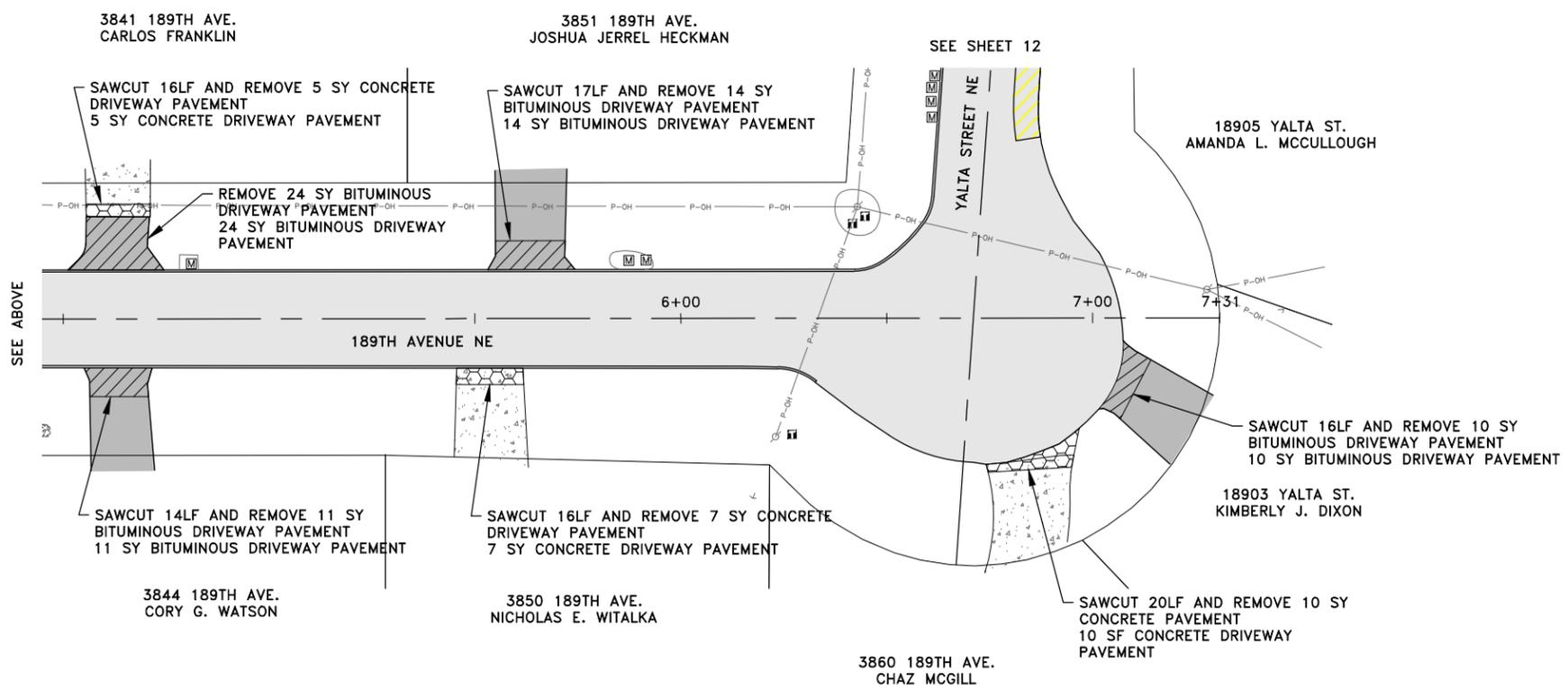
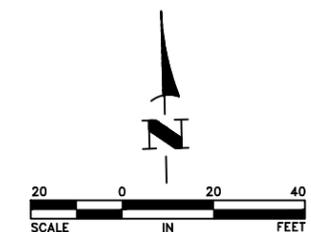
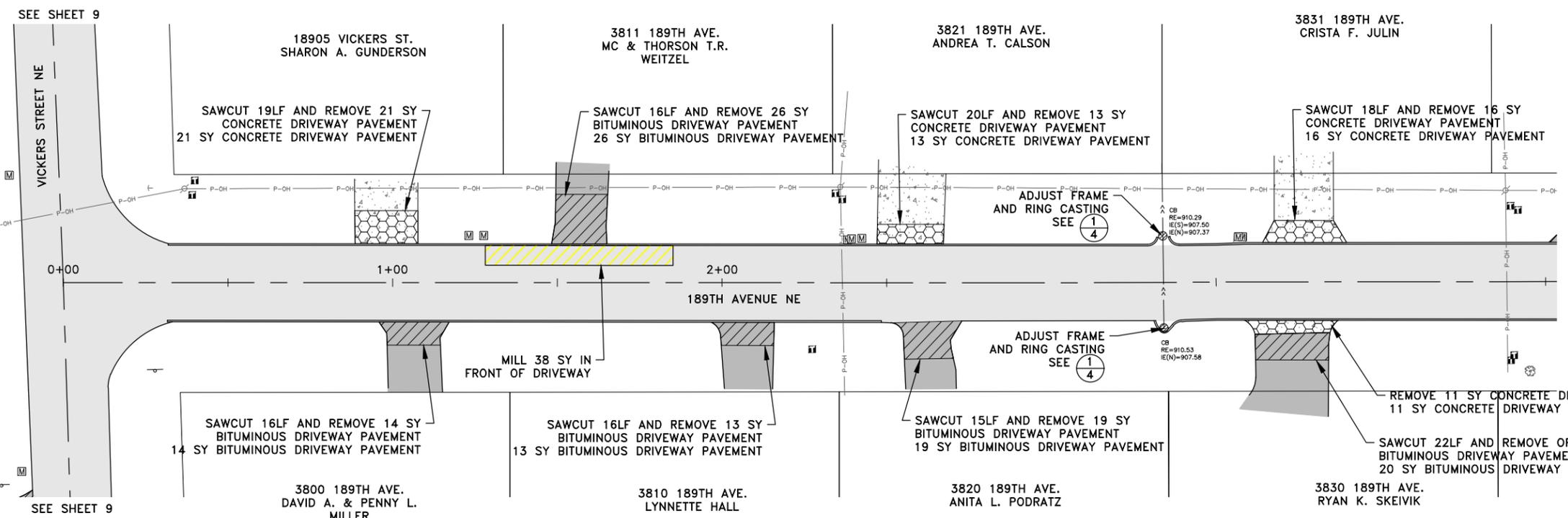
2024 STREET SURFACE IMPROVEMENT PROJECT

CONSTRUCTION PLAN  
 VICKERS STREET NE AND  
 KARENS COURT NE  
 CITY OF EAST BETHEL

SHEET 10 OF 18 SHEETS

LEGEND

-  PROPOSED BITUMINOUS OVERLAY SEE ①/③
-  EXISTING BITUMINOUS PAVEMENT
-  EXISTING CONCRETE PAVEMENT
-  EXISTING GRAVEL PAVEMENT
-  PROPOSED BITUMINOUS DRIVEWAY SEE ②/④
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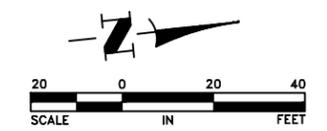
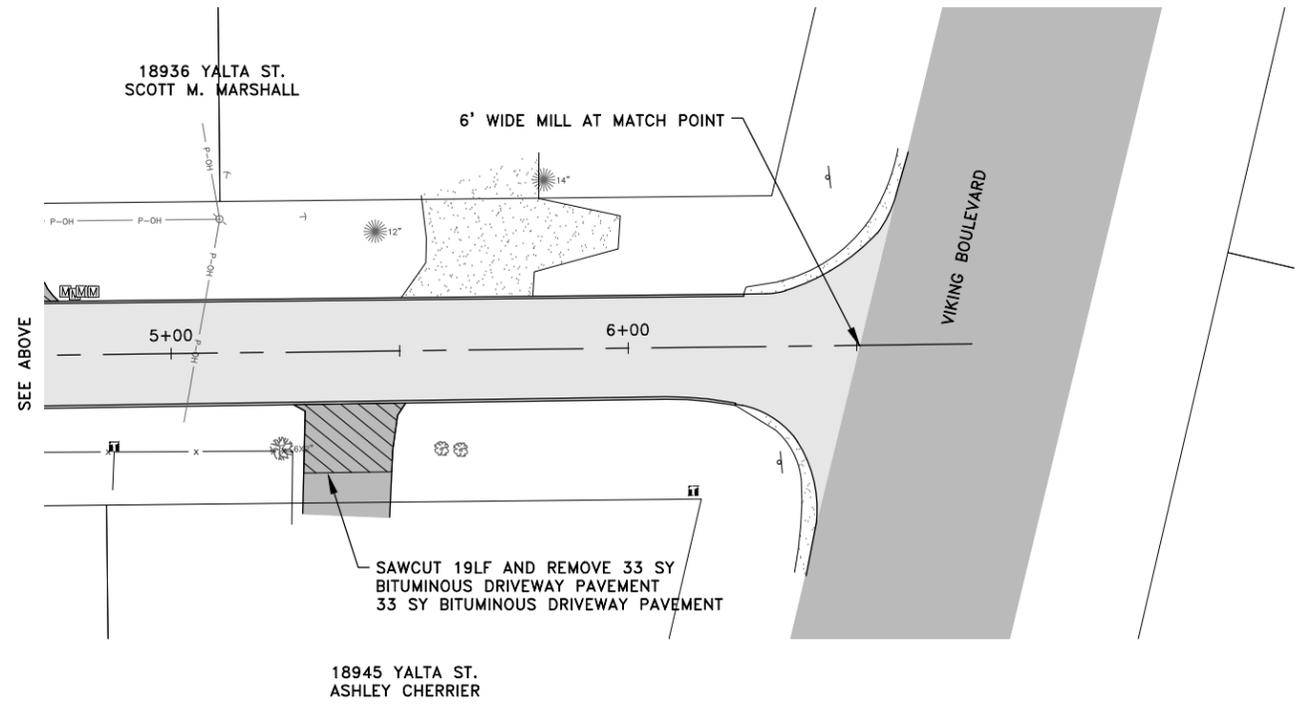
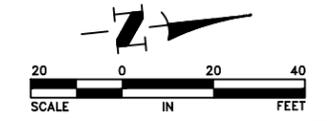
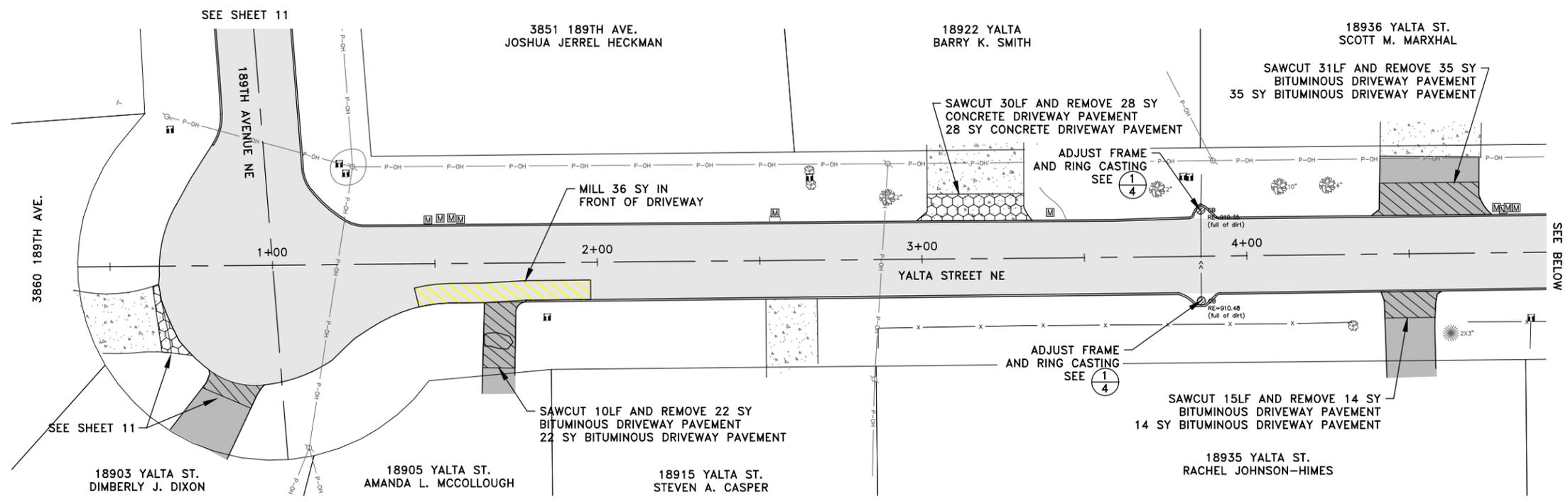
**2024 STREET SURFACE IMPROVEMENT PROJECT**

**CONSTRUCTION PLAN**  
 189TH AVENUE NE  
 CITY OF EAST BETHEL

SHEET 11 OF 18 SHEETS

LEGEND

-  PROPOSED BITUMINOUS OVERLAY SEE ①/③
-  EXISTING BITUMINOUS PAVEMENT
-  EXISTING CONCRETE PAVEMENT
-  EXISTING GRAVEL PAVEMENT
-  PROPOSED BITUMINOUS DRIVEWAY SEE ②/④
-  PROPOSED CONCRETE DRIVEWAY SEE ③/④



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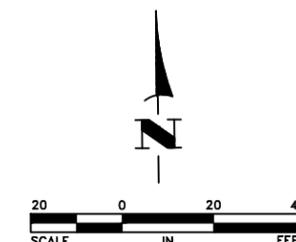
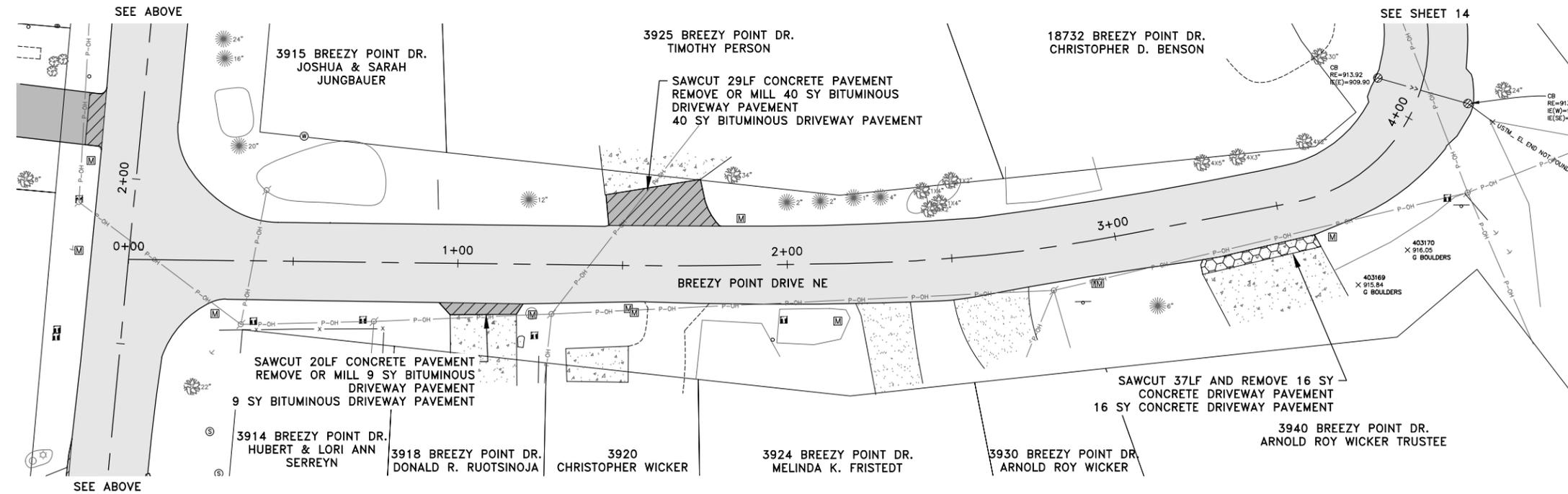
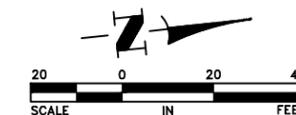
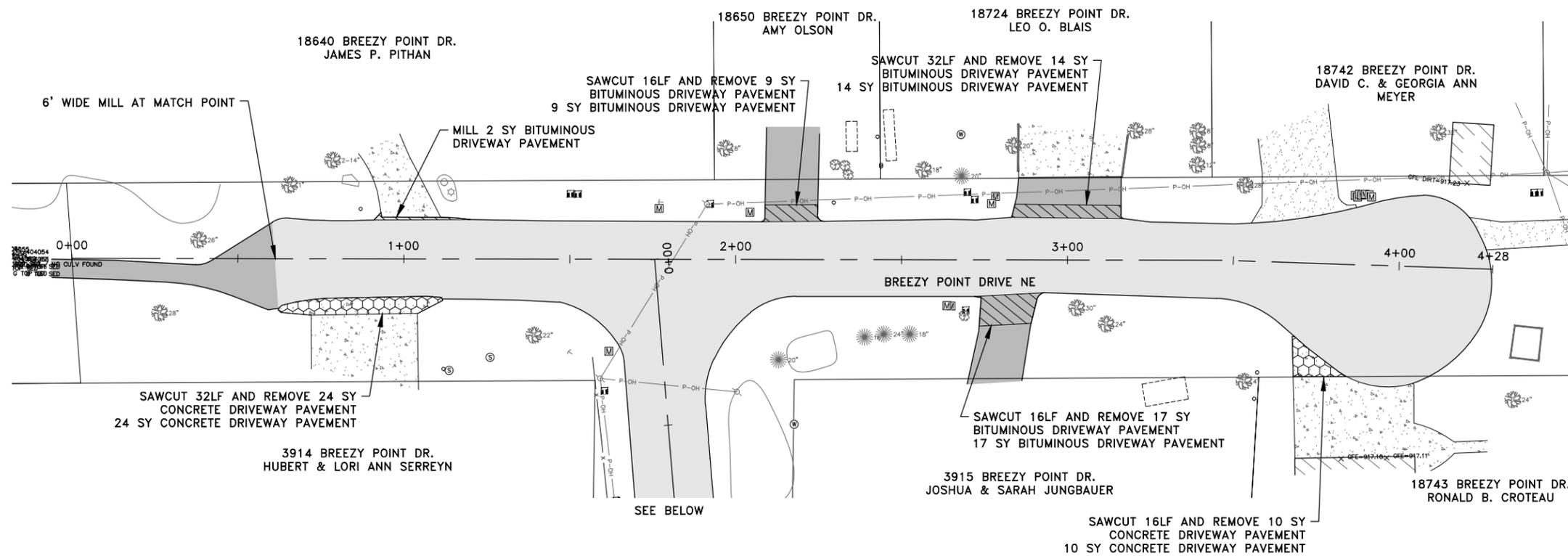
**2024 STREET SURFACE IMPROVEMENT PROJECT**

**CONSTRUCTION PLAN**  
 YALTA STREET NE  
 CITY OF EAST BETHEL

SHEET 12 OF 18 SHEETS

LEGEND

-  PROPOSED BITUMINOUS OVERLAY SEE  $\frac{1}{3}$
-  EXISTING BITUMINOUS PAVEMENT
-  EXISTING CONCRETE PAVEMENT
-  EXISTING GRAVEL PAVEMENT
-  PROPOSED BITUMINOUS DRIVEWAY SEE  $\frac{2}{4}$
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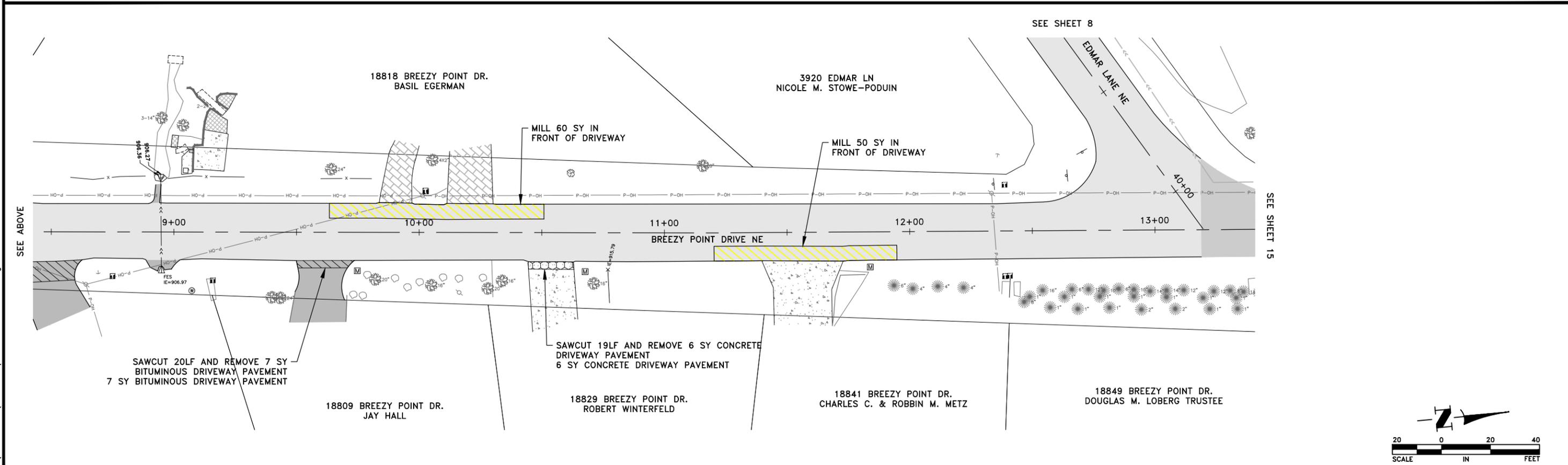
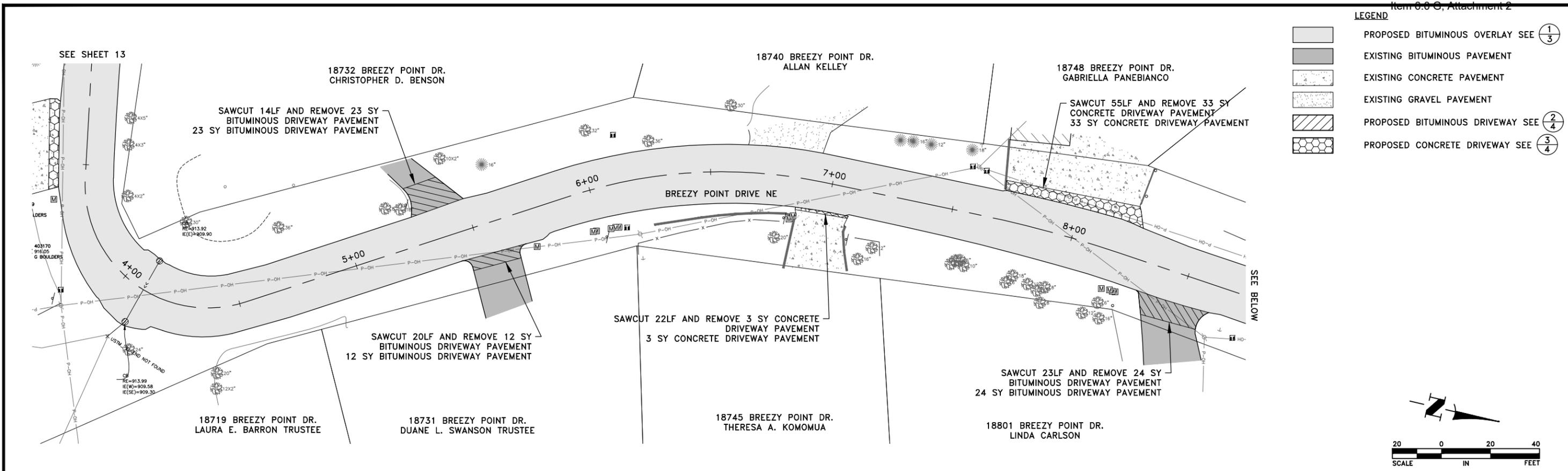
**2024 STREET SURFACE IMPROVEMENT PROJECT**

**CONSTRUCTION PLAN**  
**BREEZY POINT DRIVE NE**  
**CITY OF EAST BETHEL**

SHEET 13 OF 18 SHEETS

LEGEND

-  PROPOSED BITUMINOUS OVERLAY SEE ①/③
-  EXISTING BITUMINOUS PAVEMENT
-  EXISTING CONCRETE PAVEMENT
-  EXISTING GRAVEL PAVEMENT
-  PROPOSED BITUMINOUS DRIVEWAY SEE ②/④
-  PROPOSED CONCRETE DRIVEWAY SEE ③/④



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DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Craig J. Jochum*  
**CRAIG J. JOCHUM, P.E.**  
 Date 2/8/24 Lic. No. 23461

DESIGNED BY: CJJ  
 DRAWN BY: DMS  
 CHECKED BY: CJJ



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**2024 STREET SURFACE IMPROVEMENT PROJECT**

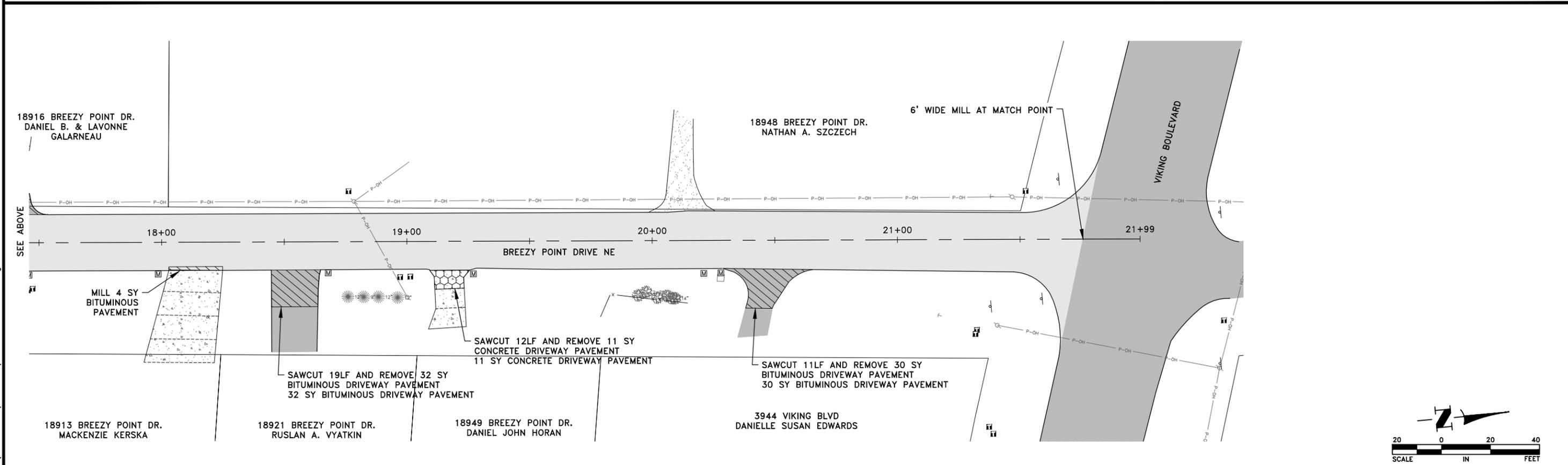
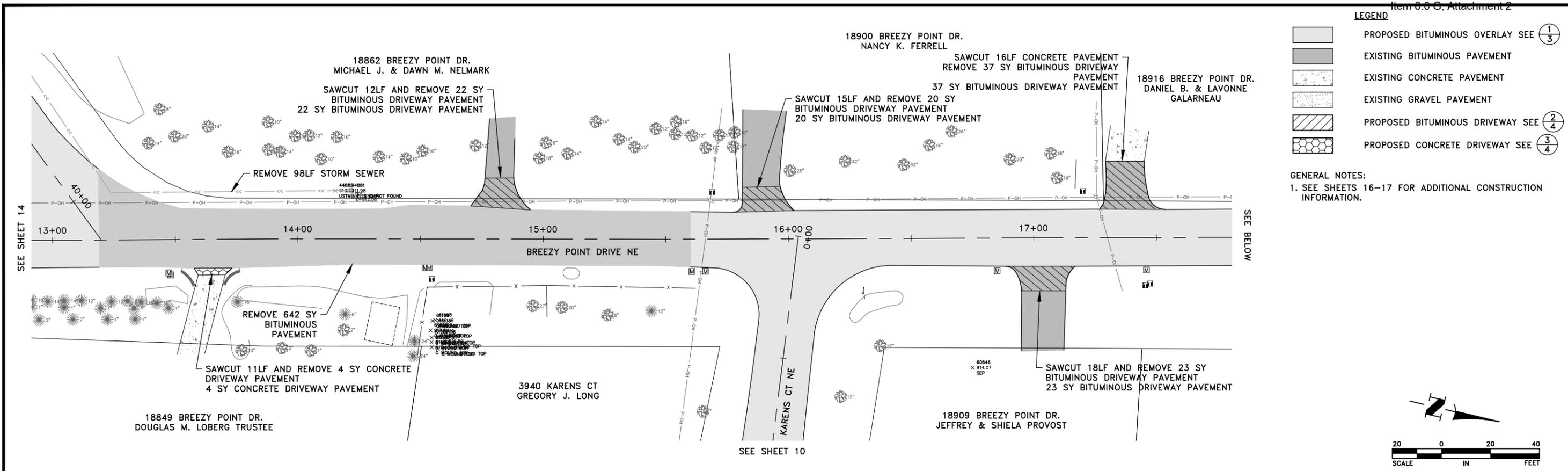
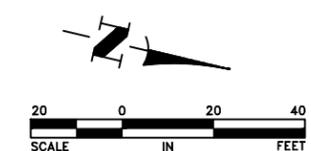
**CONSTRUCTION PLAN**  
**BREEZY POINT DRIVE NE**  
**CITY OF EAST BETHEL**

SHEET 14 OF 18 SHEETS

LEGEND

-  PROPOSED BITUMINOUS OVERLAY SEE ①/③
-  EXISTING BITUMINOUS PAVEMENT
-  EXISTING CONCRETE PAVEMENT
-  EXISTING GRAVEL PAVEMENT
-  PROPOSED BITUMINOUS DRIVEWAY SEE ②/④
-  PROPOSED CONCRETE DRIVEWAY SEE ③/④

GENERAL NOTES:  
1. SEE SHEETS 16-17 FOR ADDITIONAL CONSTRUCTION INFORMATION.



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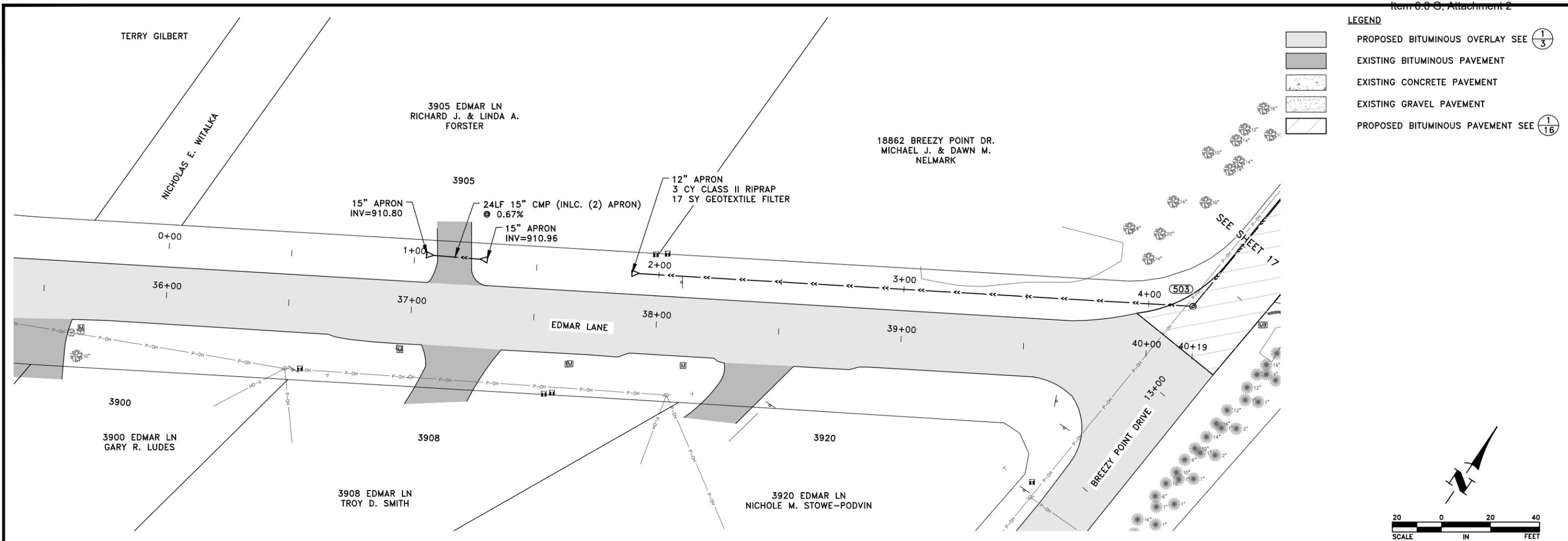


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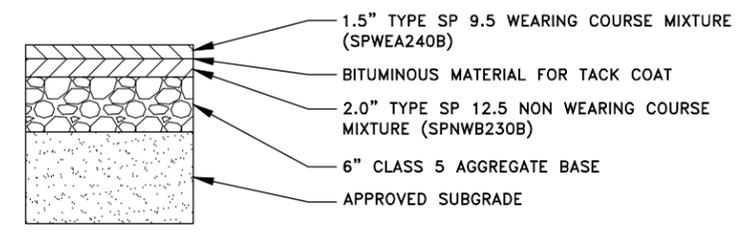
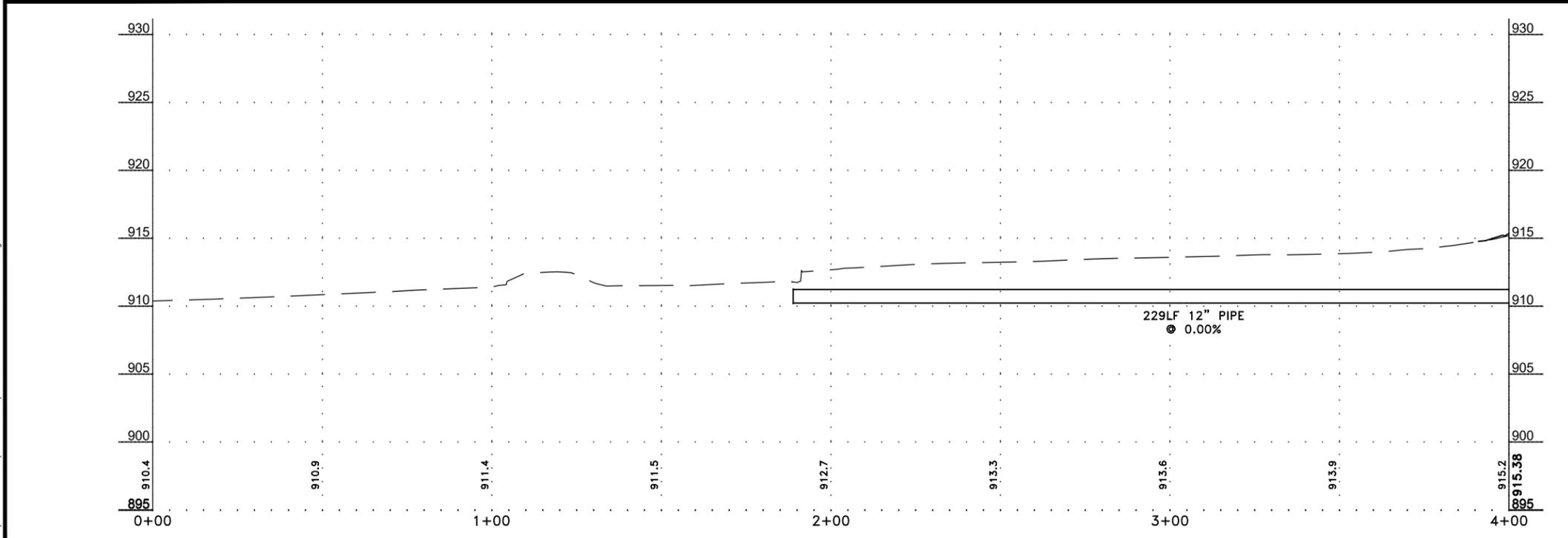
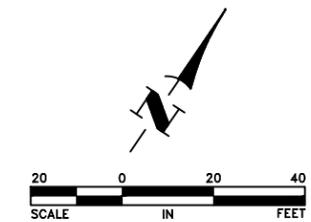
**CONSTRUCTION PLAN**  
**BREEZY POINT DRIVE NE**  
**CITY OF EAST BETHEL**

SHEET 15 OF 18 SHEETS



**LEGEND**

	PROPOSED BITUMINOUS OVERLAY SEE 1/3
	EXISTING BITUMINOUS PAVEMENT
	EXISTING CONCRETE PAVEMENT
	EXISTING GRAVEL PAVEMENT
	PROPOSED BITUMINOUS PAVEMENT SEE 1/16



1/16 BITUMINOUS PAVEMENT SECTION  
N.T.S.

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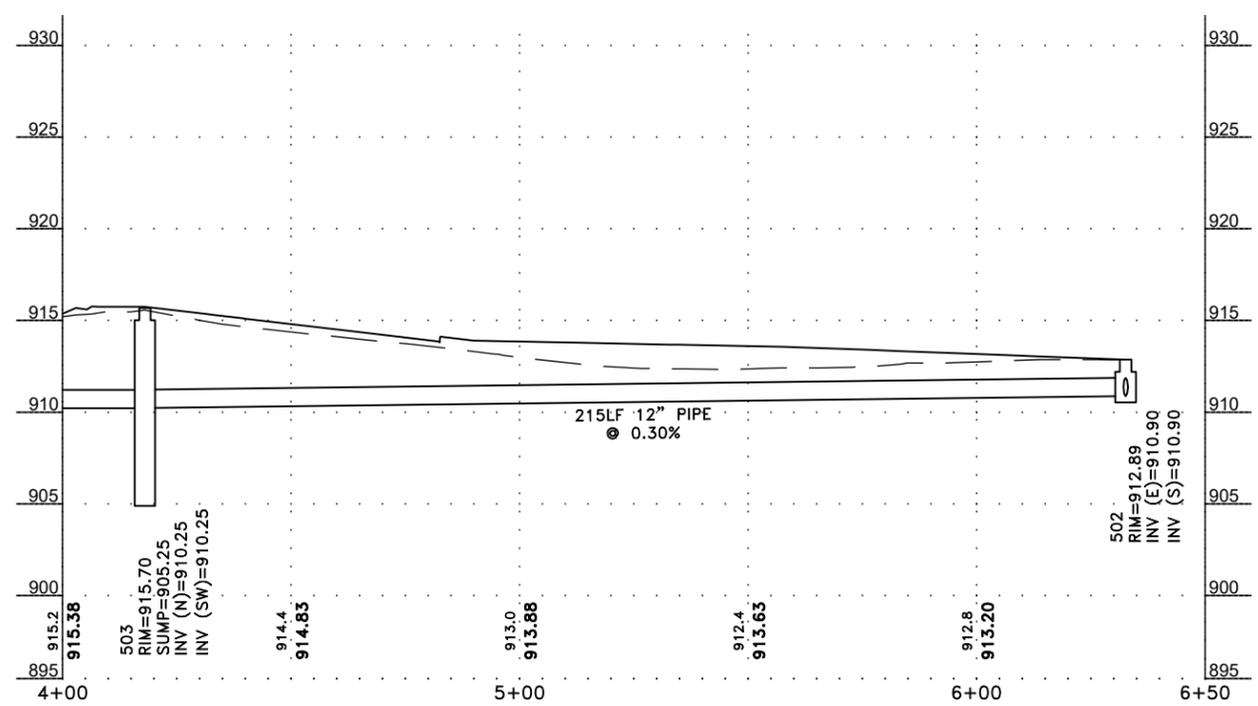
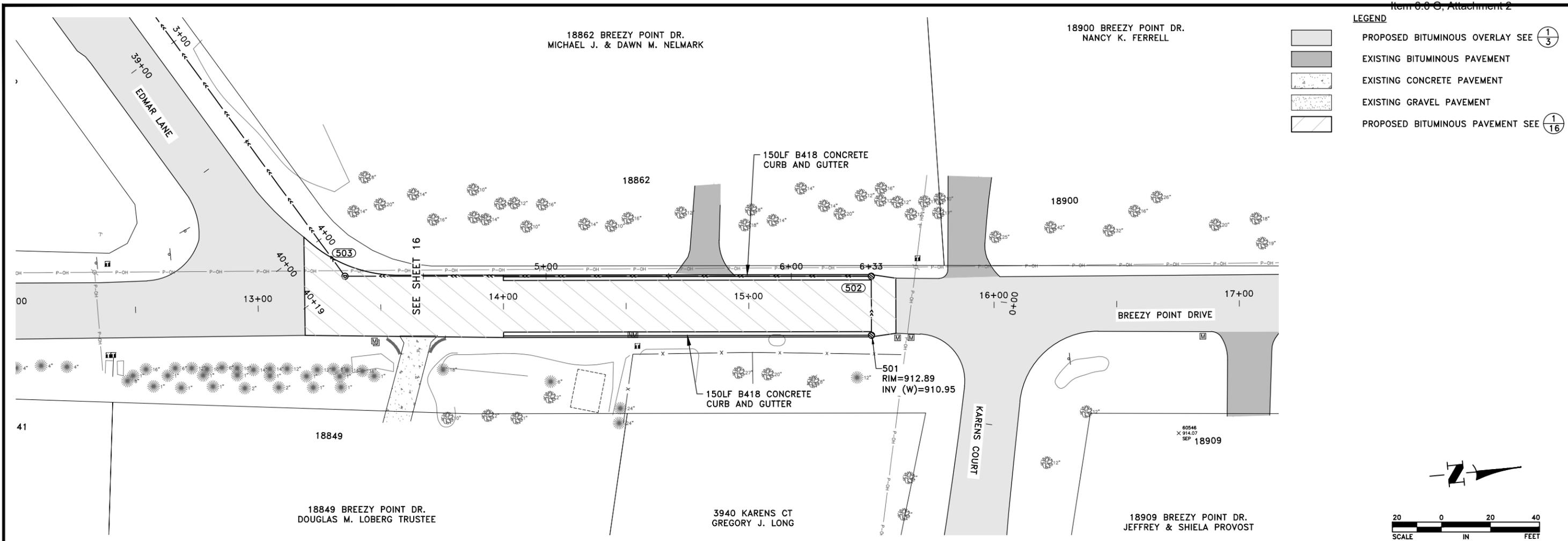


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**2024 STREET SURFACE IMPROVEMENT PROJECT**

**PLAN AND PROFILE**  
 EDMAR LANE NE  
 CITY OF EAST BETHEL

SHEET 16 OF 18 SHEETS



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**2024 STREET SURFACE IMPROVEMENT PROJECT**

**PLAN AND PROFILE**  
 BREEZY POINT DRIVE NE  
 CITY OF EAST BETHEL

SHEET 17 OF 18 SHEETS

- GENERAL NOTES:
1. REFER TO THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) FOR SPACING OF TRAFFIC CONTROL SIGNS AND DEVICES.
  2. CONTRACTOR SHALL PROVIDE ACCESS TO RESIDENTS AND BUSINESSES AT ALL TIMES. WHEN TEMPORARY OBSTRUCTION OF THE DRIVEWAYS IS REQUIRED FOR PAVING THE CONTRACTOR SHALL PROVIDE THE AFFECTED RESIDENTS WITH 48 HOURS NOTICE.
  3. ALL DROP OFFS GREATER THAN 2" SHALL BE MARKED WITH TYPE 2 BARRICADES WITH FLASHERS AT BOTH ENDS AND EVERY 10 L.F.



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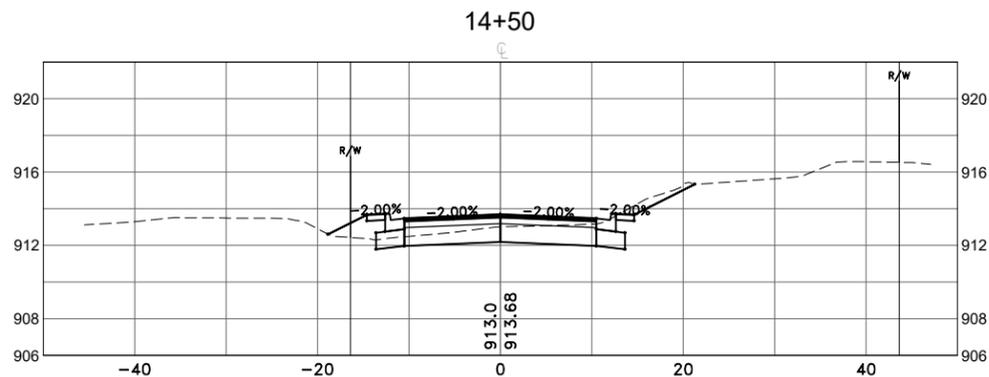
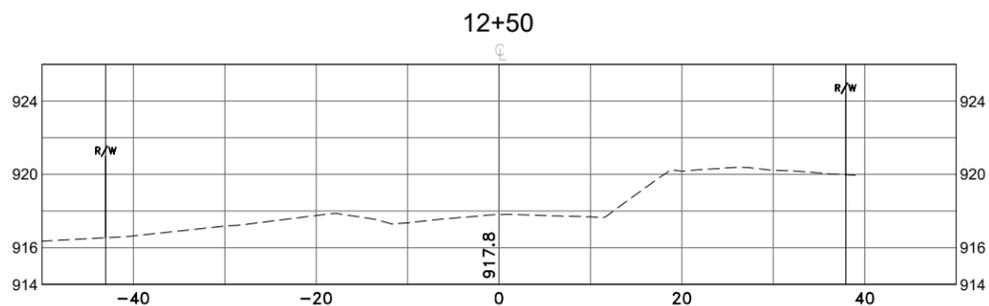
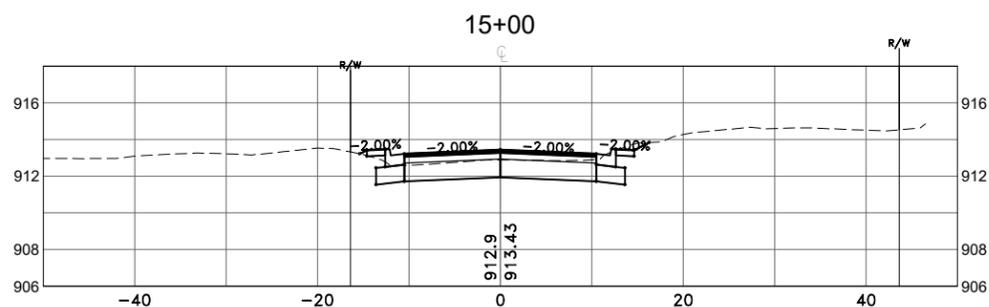
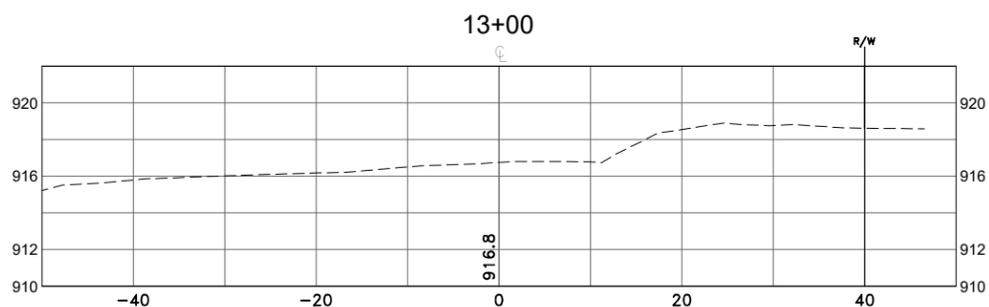
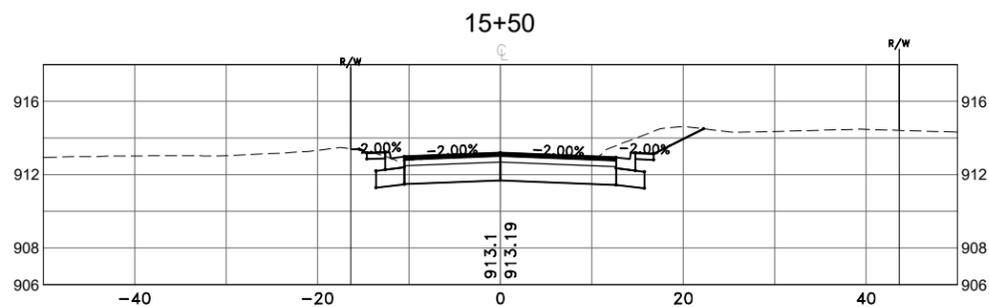
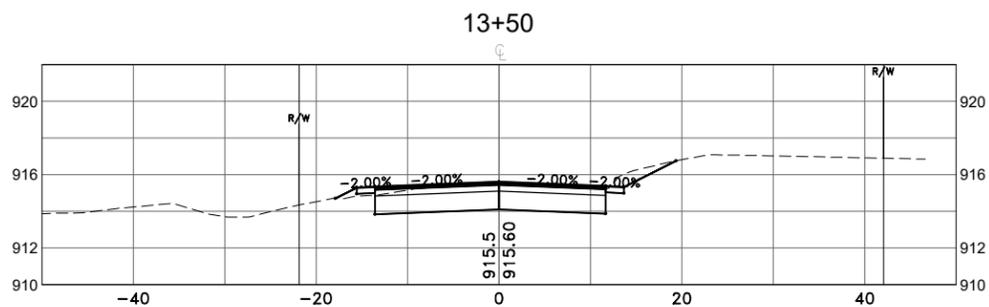
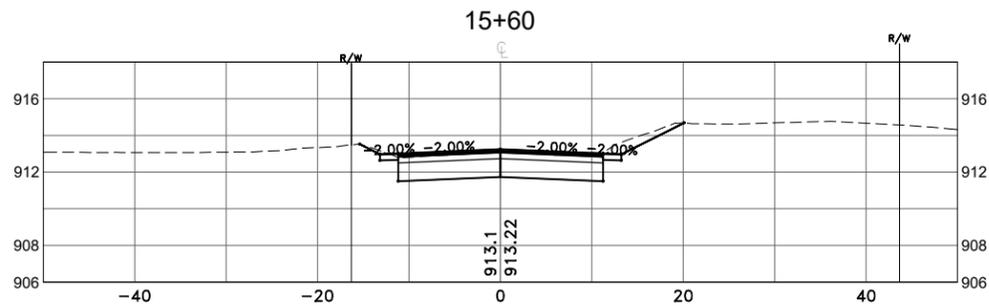
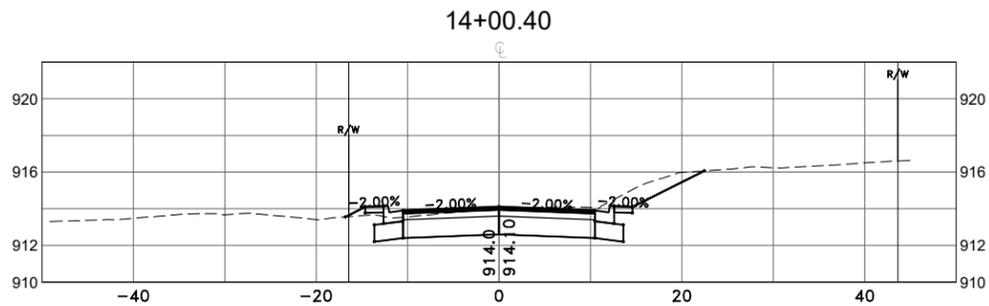


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2024 STREET SURFACE IMPROVEMENT PROJECT

TRAFFIC CONTROL PLAN  
 CITY OF EAST BETHEL

SHEET 18 OF 18 SHEETS



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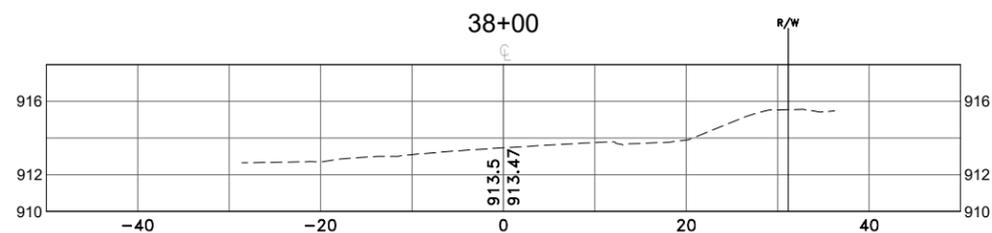
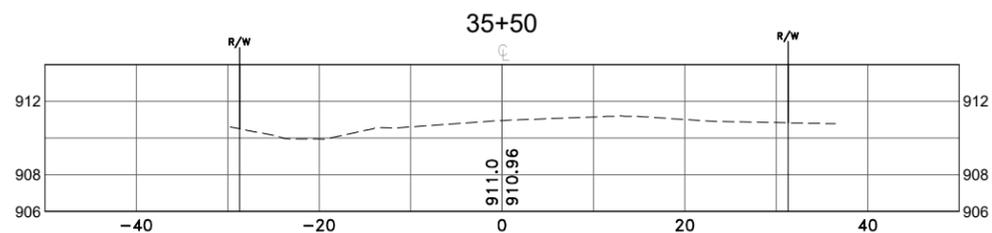
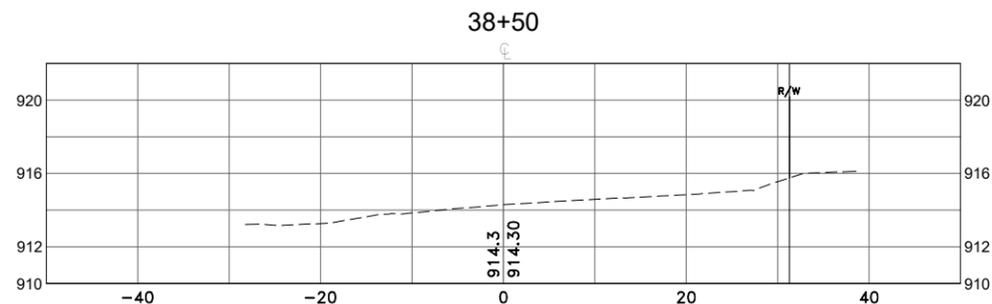
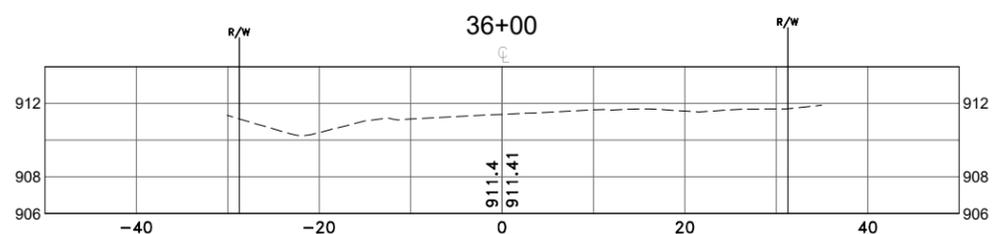
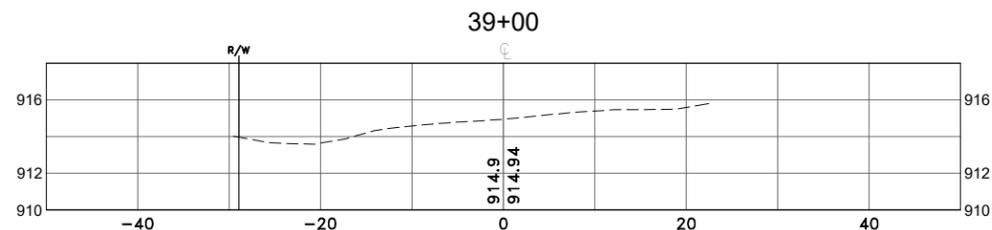
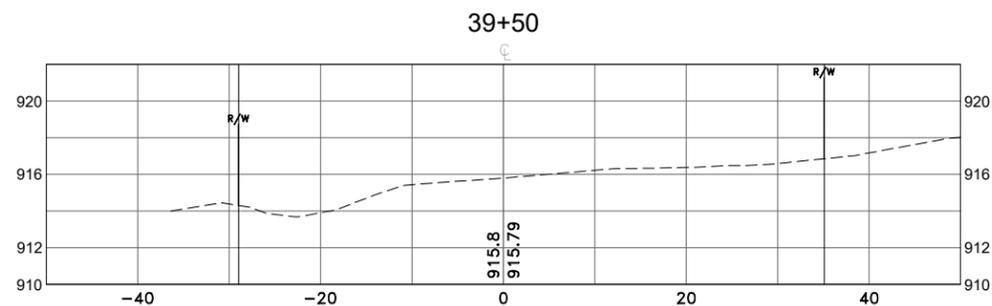
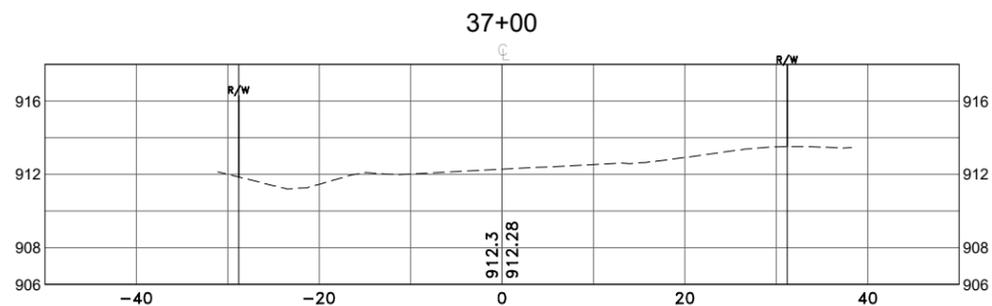
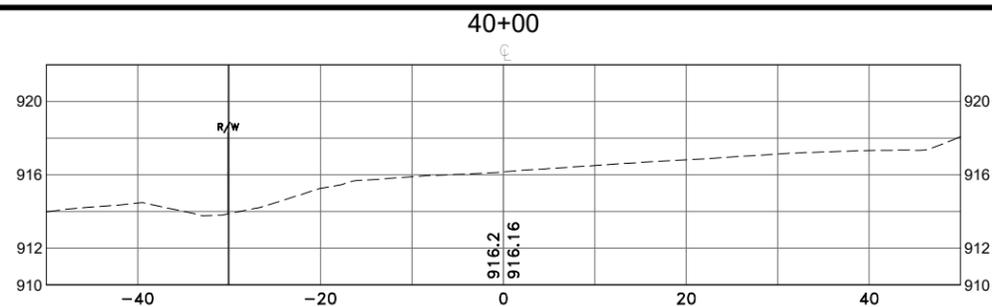
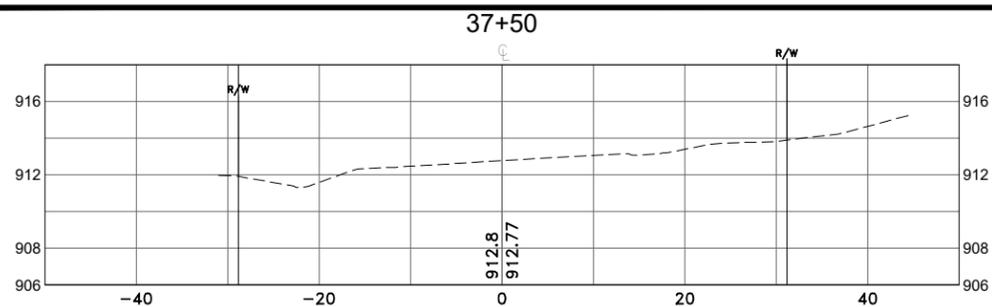


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2024 STREET SURFACE IMPROVEMENT  
PROJECT

CROSS SECTIONS  
BREEZY POINT DRIVE NE  
CITY OF EAST BETHEL

SHEET  
X1  
OF  
X2  
SHEETS



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CJJ  
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City Council Packet, page 76

2024 STREET SURFACE IMPROVEMENT PROJECT

CROSS SECTIONS  
EDMAR LANE NE  
CITY OF EAST BETHEL

SHEET X2  
OF X2 SHEETS

The United States Department of Labor, Division of Occupational Safety and Health Administration and the Minnesota Department of Labor, Division of Occupational Safety and Health Administration require employers to have documented proof of employee training and written procedures for certain specific standards. **The attached addendum and training schedule clarify written and training requirements.**

**The required standards that apply to The City of East Bethel are listed below:**

**A.W.A.I.R.**

**MN Statute 182.653**

*"An employer covered by this section must establish a written Work-place Accident & Injury program that promotes safe & healthful working conditions".*

**EMERGENCY ACTION PLAN**

**29 CFR 1910.35 THRU .38**

*"The emergency action plan shall be in writing and shall cover the designated actions employers & employees must take to insure employee safety from fire & other emergencies".*

**CONTROL OF HAZARDOUS ENERGY**

**29 CFR 1910.147 &**

**MN Statute 5207.0600**

*"Procedures shall be developed, documented & utilized for the control of potentially hazardous energy when employees are engaged in the activities covered by this section".*

**HAZARD COMMUNICATIONS**

**29 CFR 1910.1200 &**

**MN Statute 5206.0100 thru 5206.1200**

*"Evaluating the potential hazards of chemicals, and communicating information concerning hazards and appropriate protective measures to employees may include, but is not limited to, provision for: development & maintaining a written hazard communication program for the work-place..."*

**RECORDING AND REPORTING OCCUPATIONAL INJURIES AND ILLNESSES**

**29 CFR 1904**

*"Each employer shall maintain in each establishment a log and summary of all occupational injuries and illnesses for that establishment....."*

**CONFINED SPACE**

**29 CFR 1910.146**

*If the employer decides that its employees will enter permit spaces, the employer shall develop and implement a written permit space program....."*

**OCCUPATIONAL NOISE EXPOSURE**

**29 CFR 1910.95**

*The employer shall institute a training program for all employees who are exposed to noise at or above an 8-hour time weighted average of 85 decibels and shall ensure employee participation in such a program.*

**BLOODBORNE PATHOGENS**

**29 CFR 1910.1030**

*Each employer having an employee(s) with occupational exposure as defined by paragraph (b) of this section shall establish a written Exposure Control Plan designed to eliminate or minimize employee exposure.*

**GENERAL DUTY CLAUSE**

**PL91-596**

*"Hazardous conditions or practices not covered in an O.S.H.A. Standard may be covered under section 5(a)(1) of the act, which states: Each employer shall furnish to each of {their} employees employment and a place of employment which is free from recognized hazards that are causing or are likely to cause death or serious physical harm to {their} employees."*

**PERSONAL PROTECTIVE EQUIPMENT**

**1926.95 a)**

*"Application." Protective equipment, including personal protective equipment for eyes, face, head, and extremities, protective clothing, respiratory devices, and protective shields and barriers, shall be provided, used, and maintained in a sanitary and reliable condition wherever it is necessary by reason of hazards of processes or environment, chemical hazards, radiological hazards, or mechanical irritants encountered in a manner capable of causing injury or impairment in the function of any part of the body through absorption, inhalation or physical contact.*

**OVERHEAD CRANES**

**1910.179(j)(3)**

*Periodic inspection. Complete inspections of the crane shall be performed at intervals as generally defined in paragraph (j)(1)(ii)(b) of this section, depending upon its activity.....*

**ERGONOMICS**

**29 CFR PART 1910.900 THRU 1910.944**

*"Training required for each employee and their supervisors must address signs and symptoms of MSD's, MSD hazards and controls used to address MSD hazards."*

**MOBILE EARTHMOVING EQUIPMENT**

**MN RULES 5207.1000**

*Mobile earth-moving equipment operators and all other employees working on the ground exposed to mobile earth-moving equipment shall be trained in the safe work procedures pertaining to mobile earth-moving equipment and in the recognition of unsafe or hazardous conditions.*

**POWERED INDUSTRIAL TRUCKS**

**29 CFR 1910.178**

*"Only trained and authorized operators shall be permitted to operate a powered industrial truck. Methods shall be devised to train operators in the safe operation of Powered Industrial Trucks".*

In the interest of Quality Safety Management, it may be recommended that written procedures and documented employee training also be provided for the following Subparts when or if applicable during the Service Agreement year. (Subparts represent multiple standards)

**1910 Subparts**

- Subpart D - Walking - Working Surfaces
- Subpart E - Means of Egress
- Subpart F - Powered Platforms, Man-lifts, and Vehicle-Mounted Work Platforms
- Subpart G - Occupational Health and Environmental Control
- Subpart H - Hazardous Materials
- Subpart I - Personal Protective Equipment
- Subpart J - General Environmental Controls
- Subpart K - Medical and First Aid
- Subpart L - Fire Protection
- Subpart M - Compressed Gas and Compressed Air Equipment
- Subpart N - Materials Handling and Storage
- Subpart O - Machinery and Machine Guarding
- Subpart P - Hand and Portable Powered Tools and Other Hand-Held Equipment.
- Subpart Q - Welding, Cutting, and Brazing.
- Subpart S - Electrical
- Subpart Z - Toxic and Hazardous Substances

**1926 Subparts**

- Subpart C - General Safety and Health Provisions
- Subpart D - Occupational Health and Environmental Controls
- Subpart E - Personal Protective and Life Saving Equipment
- Subpart F - Fire Protection and Prevention
- Subpart G - Signs, Signals, and Barricades
- Subpart H - Materials Handling, Storage, Use, and Disposal
- Subpart I - Tools - Hand and Power
- Subpart J - Welding and Cutting
- Subpart K - Electrical
- Subpart L - Scaffolds
- Subpart M - Fall Protection
- Subpart N - Cranes, Derricks, Hoists, Elevators, and Conveyors
- Subpart O - Motor Vehicles, Mechanized Equipment, and Marine Operations
- Subpart P - Excavations
- Subpart V - Power Transmission and Distribution
- Subpart W - Rollover Protective Structures; Overhead Protection
- Subpart X - Stairways and Ladders
- Subpart Z - Toxic and Hazardous Substances
- Applicable MN OSHA 5205 Rules
- Applicable MN OSHA 5207 Rules
- Applicable MN OSHA 5206 Rules (Employee Right to Know)

**All training on the programs written by SafeAssure Consultants, Inc. will meet or exceed State and/or Federal OSHA requirements.**

These programs/policies and procedures listed on the addendum **do not** include the cost of hardware such as labels, signs, etc. and will be the responsibility of The City of East Bethel to obtain as required to comply with OSHA standards.

Our Service Agreement year will begin on the signing of this Service Agreement. Classroom training will be accomplished at a time convenient to most employees/management and so selected as to disrupt the workday as little as possible.

**All documents and classroom training produced by SafeAssure Consultants for The City of East Bethel are for the sole and express use by The City of East Bethel and its employees and not to be shared, copied, recorded, filmed or used by any division, department, subsidiary, or parent organization or any entity whatsoever, without prior written approval of SafeAssure Consultants.**

**It is always the practice of SafeAssure Consultants to make modifications and/or additions to your program when necessary to comply with changing OSHA standards/statutes. These changes or additions, when made during a Service Agreement year, will be made at no additional cost to The City of East Bethel.**

**All written programs/services that are produced by SafeAssure Consultants, Inc. are **guaranteed** to meet the requirements set forth by MNOSHA/OSHA. SafeAssure Consultants, Inc. will reimburse The City of East Bethel should MNOSHA/OSHA assess a fine for a deficient or inadequate written program that was produced by SafeAssure Consultants, Inc. SafeAssure Consultants, Inc. does not take responsibility for financial loss due to MNOSHA/OSHA fines that are unrelated to written programs mentioned above.**

**ADDENDUM**  
**SAFETY PROGRAM RECOMMENDATIONS**  
**The City of East Bethel**

**Written Programs & Training**

**A.W.A.I.R. (A Workplace Accident and Injury Reduction Act)**

- review/modify or write site specific program
- documented training of all personnel
- accident investigation
- simulated OSHA inspection

**Employee Right to Know/Hazard Communication**

- review/modify or write site specific program
- documented training of all personnel (general and specific training)
- various labeling requirements
- assist with installing and initiating MSDS Online database

**Lock Out/Tag Out (Control of Hazardous Energy)**

- review/modify or write site specific program
- documented training of all personnel

**Emergency Action Plan**

- review/modify or write site specific program
- documented training of all personnel

**Bloodborne Pathogens**

- review/modify or write site specific program
- documented training of all personnel

**Cranes-Chains-Slings**

- review/modify or write site specific program
- documented training of all personnel (inspections)

**Hearing Conservation (Occupational Noise Exposure)**

- review/modify or write site specific program
- documented training of all personnel
- decibel testing and documentation

**Personal Protective Equipment**

- review/modify or write site specific program
- documented training of all personnel

**Confined Space**

- review/modify or write site specific program
- documented training of all personal

**Mobile Earthmoving Equipment**

- review/modify or write site specific program
- documented training of all personal

## **Ergonomics**

- review/modify or write site specific program
- documented training of all personnel
  - job hazards-recognition
  - control steps
  - reporting
  - management leadership requirements
  - employee participation requirements

## **General Safety Requirements**

- review/modify or write site specific program
- documented training of all personnel

## **The "SafeAssure Advantage"**

- On-Line training available for AWAIR, EAP, ERTK, ERGO, Bloodborne, Fire Extinguisher
- Safety Committee Advisor
- Employee Safety Progress Analysis
- SafeAssure "Client Discount" from Fastenal Stores or Catalogs (15% off any item)
- Job Hazard Analysis (JHA for more hazardous tasks/jobs)
- Training manual maintenance
- Safety manual maintenance
- Documented decibel testing
- Documented air quality readings-(when required)
- Documented foot-candle readings (if needed)
- OSHA recordkeeping
- General Duty Clause
- Assistance during an actual OSHA inspection
- General safety recommendations
- "ALERT" data base
- Unlimited consulting services

# Service Agreement

THIS AGREEMENT is effective the first day March 2024 between The City of East Bethel, East Bethel, Minnesota, herein referred to as The City of East Bethel and SafeAssure Consultants, Inc. 7505 93<sup>rd</sup> Ave NE, Spicer, Minnesota, herein referred to as SafeAssure.

SafeAssure agrees to abide by all applicable federal and state laws including, but not limited to, OSHA regulations and local/state/national building codes. Additionally, SafeAssure will practice all reasonable and appropriate safety and loss control practices.

SafeAssure agrees to provide, at the time of execution of this Service Agreement, The City of East Bethel (upon request) with a current Certificate of Insurance with proper coverage lines and a **minimum** of **\$2,000,000.00** in insurance limits of general liability and statutory for workers' compensation insurance. SafeAssure is insured by "The Hartford" insurance companies.

SafeAssure further agrees that The City of East Bethel will not be held liable for any claims, injuries, or damages of whatever nature due to negligence, alleged negligence, acts or omissions of SafeAssure to third parties. SafeAssure expressly forever releases and discharges The City of East Bethel, its agents, members, officers, employees, heirs and assigns from any such claims, injuries, or damages. SafeAssure will also agree to defend, indemnify and hold harmless The City of East Bethel, its agents, members and heirs from any and all claims, injuries, or damages of whatever nature pursuant to the provisions of this agreement.

SafeAssure and its employees is an independent contractor of The City of East Bethel, and nothing in this agreement shall be considered to create the relationship of an employer/employee.

**In consideration** of this signed Service Agreement, for the period of **Twelve Months** from the signing month, SafeAssure Consultants, Inc. agrees to provide The City of East Bethel, the aforementioned features and services. These features and services include but are not limited to OSHA compliance recommendations and consultations, providing scheduled classroom-training sessions, writing and maintaining mandatory OSHA programs. These features and services will be prepared to meet the specific needs of The City of East Bethel.

ANNUAL SERVICE AGREEMENT	\$4,160.40
<b>MSDS ON-LINE</b>	<b>Included</b>

**TOTAL ANNUAL \$4,160.40**

IN TESTIMONY WHEREOF, we agree to the day and year first above written and, if representing an organization or similar entity, further certify the undersigned are a duly authorized agent of said entity and authorized to sign on behalf of identified entity.

X \_\_\_\_\_  
The City of East Bethel Date

X \_\_\_\_\_  
The City of East Bethel Date

X  020124  
President-SafeAssure

# SMITH BROTHERS

Item 6.0 K, Attachment 1



COMMERCIAL & RESIDENTIAL  
PAINTING & WATERPROOFING

--- Since 1984 ---

## Proposal

<u>  x  </u>	EMAILED			
<u>      </u>	FAXED	02/06/24	BY	hc
<u>      </u>	MAILED			

PROPOSAL SUBMITTED TO City of East Bethel	PHONE	FAX/EMAIL <a href="mailto:Nate.Ayshford@ci.east-">Nate.Ayshford@ci.east-</a>	DATE 02/06/24
STREET	JOB NAME Council Chamber		
CITY, STATE & ZIP CODE	JOB LOCATION 2241 221 <sup>st</sup> Ave. NE		

We hereby submit specifications and estimates for:

Prepare and 2-coat painting with washable wall paint:

Council Chamber walls: excludes black painted walls at top except for small area touch-up at north wall; flat Black to match.

Includes drywall repairs including gap at air intake.

One thousand three hundred twenty dollars and no cents	\$ 1,320.00
--	-------------

Payment to be made as follows:

### “NOTICE TO OWNER”

Under the Mechanics’ Lien Law, any contractor, subcontractor, laborer, materialman or other person who helps to improve your property and is not paid for his labor, services or material, has a right to enforce his claim against your property.

Under the law, you may protect yourself against such claims by fining, before commencing such work of improvement, and original contract for the work of improvement of a modification thereof, in the office of the county recorder of the county where the property is situated and requiring that a contractor’s payment bond be recorded in such office. Said bond shall be in an amount not less than fifty percent (50%) of the contract price and shall, in addition to any conditions for the performance of the contract, be conditioned for the payment in full of the claims of all persons furnishing labor, services, equipment or material for the work described in said contract.

**Acceptance of Proposal** – The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance \_\_\_\_\_

Authorized Signature \_\_\_\_\_

Note: This proposal may be withdrawn by us if not accepted 30 days

Signature \_\_\_\_\_

Signature \_\_\_\_\_

Payment by credit card available at an additional 3% charge of the total.

**CITY OF EAST BETHEL  
EAST BETHEL, MINNESOTA**

**RESOLUTION NO. 2024-16**

**RESOLUTION APPROVING PLANS AND SPECIFICATIONS AND  
ORDERING ADVERTISEMENT FOR BIDS**

**WHEREAS**, the City Engineer has prepared plans and specifications for the 2024 Street Reconstruction Project and has presented such plans and specifications to the council for approval.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF  
EAST BETHEL MINNESOTA:**

1. Such plans and specifications, dated February 8, 2024 a copy of which is attached hereto and made a part hereof, are hereby approved.
2. The city clerk shall prepare and cause to be inserted in the official paper and in the Finance and Commerce, an advertisement for bids upon the making of such improvement under such approved plans and specifications. The advertisement shall specify the work to be done, shall state that bids will be opened and read at 10:00 a.m. on Tuesday March 19, 2024, in the council chambers of the city hall. No bids will be considered unless submitted electronically in accordance with the ad for bid. The bid must be accompanied by a bid bond payable to the clerk for five percent of the amount of such bid.

Adopted this 12<sup>th</sup> day of February, 2024 by the City Council of the City of East Bethel.

CITY OF EAST BETHEL

---

Kevin Lewis, Mayor

ATTEST:

---

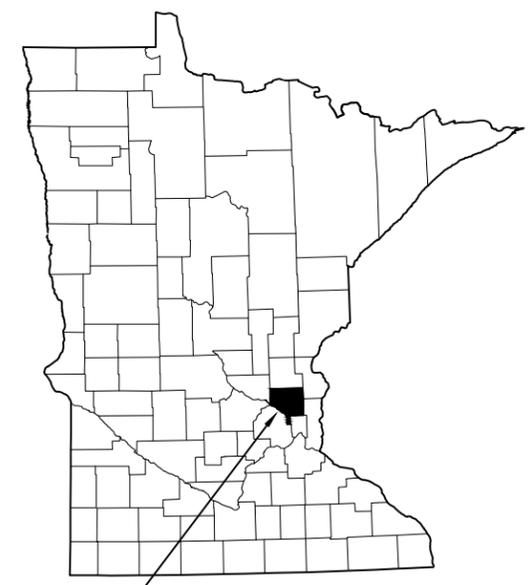
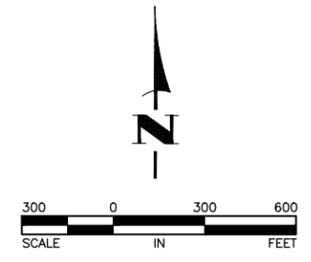
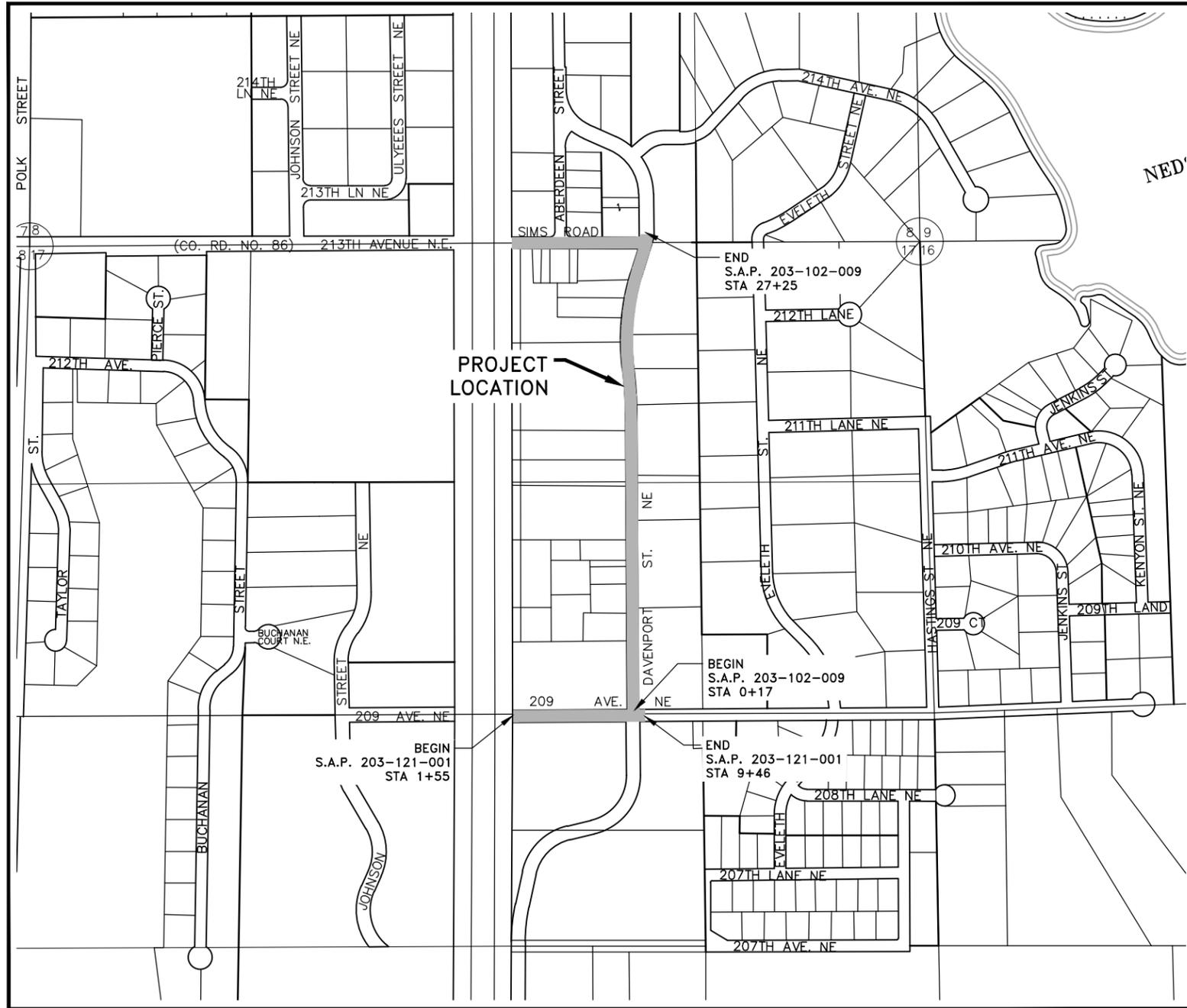
Matt Look, City Administrator

# MINNESOTA DEPARTMENT OF TRANSPORTATION

## CONSTRUCTION PLANS FOR BITUMINOUS PAVEMENT RECLAMATION, BITUMINOUS SURFACING, CULVERT REPLACEMENT, SIGNING, STRIPING AND EROSION CONTROL

### 2024 STREET RECONSTRUCTION PROJECT CITY OF EAST BETHEL, MINNESOTA

S.A.P. 203-102-009 LOCATED ON DAVENPORT STREET NE FROM 209TH AVENUE NE TO SIMS ROAD NE AND  
S.A.P. 203-121-001 LOCATED ON 209TH AVENUE NE FROM TRUNK HIGHWAY 65 TO DAVENPORT STREET NE  
SECTION 8 AND 17 - TOWNSHIP 33N - RANGE 23W



**CITY OF EAST BETHEL,  
ANOKA COUNTY,  
MINNESOTA**

STOPPING SIGHT DISTANCE BASED ON:  
3.5 FT - HEIGHT OF EYE  
2.0 FT - HEIGHT OF OBJECT

## GOVERNING SPECIFICATIONS

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" VOLUMES 1 AND 2 SHALL APPLY.

ALL FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND ORDINANCES SHALL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.

ALL TRAFFIC CONTROL DEVICES AND SIGNING SHALL CONFORM TO THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, INCLUDING THE LATEST FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS.

ALL REQUIREMENTS OF THE PROJECT MANUAL FOR THE 2024 STREET RECONSTRUCTION PROJECT.

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL "D". THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

## SHEET INDEX

THIS PLAN CONTAINS 50 SHEETS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	ESTIMATED QUANTITIES AND STANDARD PLATES
3	PROJECT NOTES AND LEGEND
4	TYPICAL SECTIONS
5-6	DETAILS
7-8	EROSION CONTROL NOTES AND DETAILS
9-15	SIGN DETAILS
16-20	EXISTING CONDITIONS AND REMOVALS PLAN
21-30	CONSTRUCTION PLAN
31	POND GRADING PLAN
32-37	SIGNAGE AND STRIPING PLAN
X1-X13	CROSS SECTIONS

FOR \_\_\_\_\_ DATE \_\_\_\_\_  
DISTRICT STATE AID ENGINEER: REVIEWED FOR COMPLIANCE WITH STATE AID RULES/POLICY

FOR \_\_\_\_\_ DATE \_\_\_\_\_  
STATE AID ENGINEER: APPROVED FOR STATE AID FUNDING

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

\_\_\_\_\_  
CRAIG V. JOCHUM, P.E.  
HAKANSON ANDERSON  
DESIGN ENGINEER

23461      DATE 2/8/24  
LIC. NO.

DATE	REVISION

S.A.P. 203-102-009  
S.A.P. 203-121-001

**SHEET 1 OF 37 SHEETS**

Feb 08, 2024 - 11:07am  
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**ESTIMATED QUANTITIES**

ITEM NO.	REF. NOTES	Mn/DOT SPEC. NO.	ITEM DESCRIPTION	UNIT	TOTAL ESTIMATED QUANTITY	SAP 203-102-009 DAVENPORT STREET		SAP 203-121-001 209TH AVENUE		LOCAL SIMS ROAD
						ROADWAY	STORM SEWER	ROADWAY	STORM SEWER	
1		2021.501	MOBILIZATION	LUMP SUM	1	0.53	0.08	0.14	0.06	0.19
2		2104.502	REMOVE CATCH BASIN	EACH	4	2		1		1
3		2104.502	REMOVE SIGN	EACH	14	8		2		4
4		2104.502	REMOVE MAIL BOX SUPPORT	EACH	25	20				5
5		2104.503	SAWING CONCRETE PAVEMENT - FULL DEPTH	LIN FT	30	8		4		18
6		2104.503	SAWING BITUMINOUS PAVEMENT - FULL DEPTH	LIN FT	570	234		159		177
7		2104.503	REMOVE PIPE CULVERT	LIN FT	605	251		278		76
8		2104.503	REMOVE CURB AND GUTTER	LIN FT	467	126		33		308
9		2104.504	REMOVE BITUMINOUS PAVEMENT	SQ YD	1058	735				323
10		2104.504	REMOVE CONCRETE PAVEMENT	SQ YD	56.3					56.3
11		2106.507	EXCAVATION - COMMON	CU YD	1200	1200				
12		2112.519	SUBGRADE PREPARATION	ROAD STATION	42.8	27.5		7.9		7.4
13		2211.509	AGGREGATE BASE CLASS 5	TON	793	493		143		157
14		2215.504	FULL DEPTH RECLAMATION	SQ YD	13003	7755		2476		2772
15		2215.507	HAUL FULL DEPTH RECLAMATION (LV)	CU YD	723	431		138		154
16		2232.604	MILL BITUMINOUS SURFACE	SQ YD	63	8.2		35		19.3
17		2357.506	BITUMINOUS MATERIAL FOR TACK COAT	GALLONS	661	411		119		131
18		2360.504	TYPE SP 9.5 WEARING COURSE MIXTURE (2;B) 3.0" THICK	SQ YD	1376	956				420
19		2360.509	TYPE SP 12.5 WEARING COURSE MIXTURE (2;B)	TON	1674	1040		302		332
20		2360.509	TYPE SP 12.5 NON WEARING COURSE MIXTURE (2;B)	TON	1674	1040		302		332
21		2501.502	15" RC PIPE APRON	EACH	3		1		2	
22		2501.502	18" RC PIPE APRON	EACH	1		1			
23		2501.502	24" RC PIPE APRON	EACH	4			2		2
24		2501.503	24" RC PIPE CULVERT	LIN FT	48			48		
25		2503.503	15" RC PIPE SEWER DESIGN 3006 CLASS V	LIN FT	903		524		379	
26		2503.503	18" RC PIPE SEWER DESIGN 3006 CLASS V	LIN FT	27		27			
27		2503.503	24" RC PIPE SEWER DESIGN 3006 CLASS V	LIN FT	71					71
28		2506.502	CONSTRUCT DRAINAGE STRUCTURE DESIGN H	EACH	4		4			
29		2506.502	CASTING ASSEMBLY	EACH	13	8			3	2
30		2506.503	CONSTRUCT DRAINAGE STRUCTURE DESIGN 48-4020	LIN FT	48		23.2		15.8	9.3
31		2511.507	RANDOM RIPRAP CLASS II	CU YD	15	10		5		
32		2531.503	CONCRETE CURB AND GUTTER DESIGN B618	LIN FT	8560	5492		1442		1626
33		2531.504	8" CONCRETE DRIVEWAY PAVEMENT	SQ YD	60					60
34		2540.602	MAIL BOX SUPPORT	EACH	25	20				5
35		2563.601	TRAFFIC CONTROL SUPERVISOR	LUMP SUM	1	0.53	0.08	0.14	0.06	0.19
36		2563.601	TRAFFIC CONTROL	LUMP SUM	1	0.53	0.08	0.14	0.06	0.19
37		2564.518	SIGN PANELS TYPE C	SQ FT	136	86.8		16.0		33.5
38		2564.618	SIGN SPECIAL	SQ FT	48					48
39		2573.501	STABILIZED CONSTRUCTION EXIT	LUMP SUM	1	0.53	0.08	0.14	0.06	0.19
40		2573.501	EROSION CONTROL SUPERVISOR	LUMP SUM	1	0.53	0.08	0.14	0.06	0.19
41		2573.502	STORM DRAIN INLET PROTECTION	EACH	13	8			3	2
42		2573.502	CULVERT END CONTROLS	EACH	8		2	2	2	2
43		2573.503	SILT FENCE; TYPE MS	LIN FT	5100	3000		1600		500
44		2574.508	FERTILIZER TYPE 1	POUND	1270	848		218		204
45		2575.504	ROLLED EROSION PREVENTION CATEGORY 25	SQ YD	800		200	200	200	200
46		2575.505	SEEDING	ACRE	4	2.8		0.7		0.7
47		2575.508	HYDRAULIC BONDED FIBER MATRIX	POUND	14700	9800		2450		2450
48		2575.508	SEED MIXTURE 25-121	POUND	512	342		85		85
49		2582.503	6" SOLID LINE MULTI-COMPONENT	LIN FT	7955	5,175		1300		1480
50		2582.503	4" BROKEN LINE MULTI-COMPONENT	LIN FT	530	530				
51		2582.503	4" DOUBLE SOLID LINE MULTI-COMPONENT	LIN FT	1375			650		725
52		2582.503	24" SOLID LINE MULTI-COMPONENT	LIN FT	96	44		12		40
53		2582.518	PAVEMENT MESSAGE MULTI-COMPONENT	SQ FT	30					30

BASIS OF ESTIMATED QUANTITIES	
AGGREGATE BASE CLASS 5	100 lbs/yd <sup>2</sup> /in
NON WEARING BITUMINOUS COURSE MIXTURE	110 lbs/yd <sup>2</sup> /in
WEARING COURSE BITUMINOUS MIXTURE	110 lbs/yd <sup>2</sup> /in
BITUMINOUS MATERIAL FOR TACK COAT - NEW ASPHALT	0.06 gal/yd <sup>2</sup>
BITUMINOUS MATERIAL FOR TACK COAT - OLD ASPHALT	0.07 gal/yd <sup>2</sup>
BITUMINOUS MATERIAL FOR TACK COAT - MILLED ASPHALT	0.08 gal/yd <sup>2</sup>
HYDRAULIC FIBER BONDED MATRIX	3500 lbs/acre
SEED MIX 25-121	122 lbs/acre
TYPE 1, COMMERCIAL FERTILIZER	300 lbs/acre

STANDARD PLATES	
THESE STANDARD PLATES AS APPROVED BY THE FHWA SHALL APPLY	
PLATE NO.	DESCRIPTION
3000M	REINFORCED CONCRETE PIPE (6 SHEETS)
3006H	GASKET JOINT FOR R.C. PIPE (2 SHEETS)
3007F	SHEAR REINFORCEMENT FOR PRECAST DRAINAGE STRUCTURES
3100G	CONCRETE APRON FOR REINFORCED CONCRETE PIPE
3123J	METAL APRON FOR C.S. PIPE
3124B	METAL APRON CONNECTION
3133D	RIPRAP AT RCP OUTLETS
3145G	CONCRETE PIPE OR PRECAST CULVERT TIES
4011E	PRECAST CONCRETE BASE
4020J	MANHOLE OR CATCH BASIN (FOR USE WITH OR WITHOUT TRAFFIC LOADS) (2 SHEETS)
4026A	CONCRETE ENCASED CONCRETE ADJUSTING RINGS
4108F	ADJUSTING RINGS FOR CATCH BASINS AND MANHOLES
4149C	GRATE CASTING FOR CATCH BASIN - CASTING NO. 810
4160D	CURB BOX CASTING FOR CATCH BASIN - CASTING NO. 823A AND 833A
4180J	MANHOLE OR CATCH BASIN STEP
7038A	DETECTABLE WARNING SURFACE TRUNCATED DOMES
7100H	CONCRETE CURB AND GUTTER (DESIGN B AND DESIGN V)
7111J	INSTALLATION OF CATCH BASIN CASTINGS (CONCRETE CURB AND GUTTER)
8000K	TEMPORARY CHANNELIZERS (3 SHEETS)
9350B	MAILBOX SUPPORT - SWING-AWAY TYPE

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DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Craig J. Jochem*  
**CRAIG J. JOCHUM, P.E.**  
 Date 2/8/24 Lic. No. 23461

DESIGNED BY: CJJ  
 DRAWN BY: DMS  
 CHECKED BY: CJJ



**Hakanson Anderson**  
 Civil Engineers and Land Surveyors  
 3601 Thurston Ave., Anoka, Minnesota 55303  
 763-427-5860 FAX 763-427-0520  
 www.hakanson-anderson.com

**2024 STREET RECONSTRUCTION PROJECT**

**ESTIMATED QUANTITIES AND STANDARD PLATES**  
 CITY OF EAST BETHEL

S.A.P. 203-102-009  
 S.A.P. 203-121-001

SHEET **2** OF **37** SHEETS

GENERAL CONSTRUCTION AND SOILS NOTES:

- PERFORMANCE GRADED (PG) ASPHALT BINDER PG 58H-34, SPEC. 3151, SHALL BE USED FOR ALL BITUMINOUS MIXES ON THIS PROJECT.
- THE BITUMINOUS MIXTURES SHALL MEET THE REQUIREMENTS OF SPECIFICATIONS 2360 AND 3139.
- IF NECESSARY, THE UTILITY COMPANIES WILL RELOCATE THEIR FACILITIES CONCURRENTLY WITH THE CONSTRUCTION OPERATIONS UNDER THIS CONTRACT. CONTRACTOR SHALL SCHEDULE CONSTRUCTION IN COOPERATION WITH UTILITY RELOCATION. THE CONTRACTOR WILL NOT BE PROVIDED ANY ADDITIONAL COMPENSATION FOR ANY DELAYS WITH THE UTILITY RELOCATIONS.
- ALL TRENCH AND OTHER EXCAVATIONS GREATER THAN 24 INCHES DEEP SHALL BE BACKFILLED AT THE END OF EACH WORK DAY. EXTRA WORK REQUIRED TO BACKFILL AND CORRESPONDINGLY REMOVE MATERIAL THE NEXT WORK DAY SHALL BE INCIDENTAL.
- ALL LABOR, MATERIAL, EQUIPMENT AND WORK REQUIRED TO PROTECT CONCRETE CURB AND PAVEMENT AGAINST COLD WEATHER SHALL BE INCIDENTAL.
- THE CONTRACTOR SHALL POST THE SWPPP, AND OTHER REQUIRED DOCUMENTS ON SITE. THE METHOD OF POSTING SHALL BE APPROVED BY THE ENGINEER.
- UTILITY COMPANIES MAY HAVE NEW CONDUITS THAT CROSS THE STREET IN CERTAIN LOCATIONS. IF INSTALLATION OF NEW CONDUITS IS REQUIRED THE UTILITY COMPANY WILL FURNISH THE CONDUIT AND CONTRACTOR SHALL INSTALL THEM. THIS WORK SHALL BE INCIDENTAL.
- DEWATERING REQUIRED FOR THE CONSTRUCTION OF THE SUBGRADE, STORM SEWER, CULVERTS AND OTHER WORK SHALL BE INCIDENTAL.
- CONTRACTOR SHALL PROVIDE TWO TEMPORARY MAILBOX LOCATIONS AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL SALVAGE THE EXISTING MAILBOX AND NEWSPAPER HOLDERS. CONTRACTOR SHALL FURNISH AND INSTALL NEW MAIL BOX SUPPORT PER MnDOT STANDARD PLATE 9350B. INSTALL OF EXISTING MAILBOXES, NEWSPAPER HOLDERS AND PROVIDING TEMPORARY MAILBOXES WORK SHALL BE INCIDENTAL.
- CONTRACTOR SHALL TIE ALL RCP JOINTS PER MnDOT STANDARD PLATE 3145G.
- CONTRACTOR SHALL IMPORT AND EXPORT ALL MATERIALS, EXCESS SOILS, DEBRIS, AND EQUIPMENT VIA TRUNK HIGHWAY 65 TO THE MAXIMUM EXTENT POSSIBLE. CONTRACTOR SHALL NOT USE LOCAL CITY ROADS UNLESS APPROVED BY ENGINEER.
- OVER EXCAVATING THE RIGHT OF WAY OUTSIDE THE ROAD CORE TO MINE GRANULAR FILL SHALL NOT BE ALLOWED.
- ALL EXCESS SOIL IS THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF BY THE CONTRACTOR OUTSIDE THE RIGHT OF WAY.

LEGEND

- 903 EXISTING CONTOUR
- RIGHT-OF-WAY
- SECTION LINE
- EXISTING EASEMENT
- PROPERTY LINE
- DELINEATED WETLAND
- GAS MAIN
- BURIED TELEPHONE CABLE
- OVERHEAD UTILITY
- OVERHEAD ELECTRIC
- BURIED ELECTRIC
- WIRE FENCE
- CHAIN LINK FENCE
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATERMAIN
- EXISTING CONCRETE CURB AND GUTTER
- PROPOSED CONCRETE CURB AND GUTTER
- DRIPLINE
- DECIDUOUS AND CONIFEROUS TREES
- UTILITY PEDESTAL
- POWER POLE
- GUY WIRE
- CATCH BASIN INLETS
- STORM SEWER MANHOLE
- STORM SEWER APRON
- MAILBOX
- SIGN
- DETAIL NUMBER
- SHEET NUMBER
- SOIL BORING
- UTILITY MARKER

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S.A.P. 203-102-009  
S.A.P. 203-121-001

DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Craig J. Jochum*  
CRAIG J. JOCHUM, P.E.  
Date 2/8/24 Lic. No. 23461

DESIGNED BY: CJJ  
DRAWN BY: DMS  
CHECKED BY: CJJ



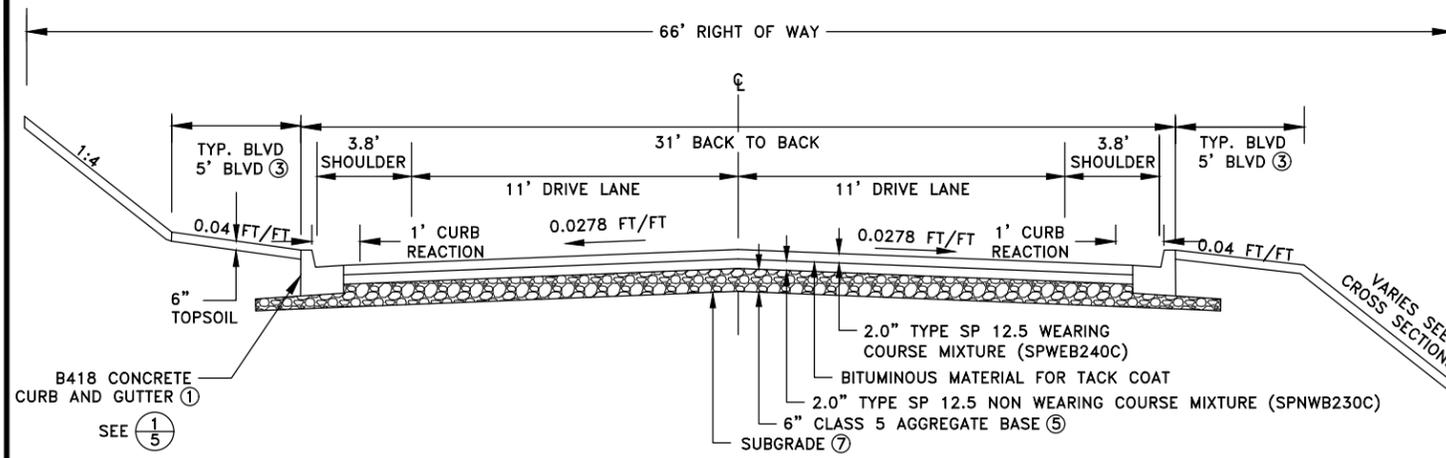
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2024 STREET RECONSTRUCTION PROJECT

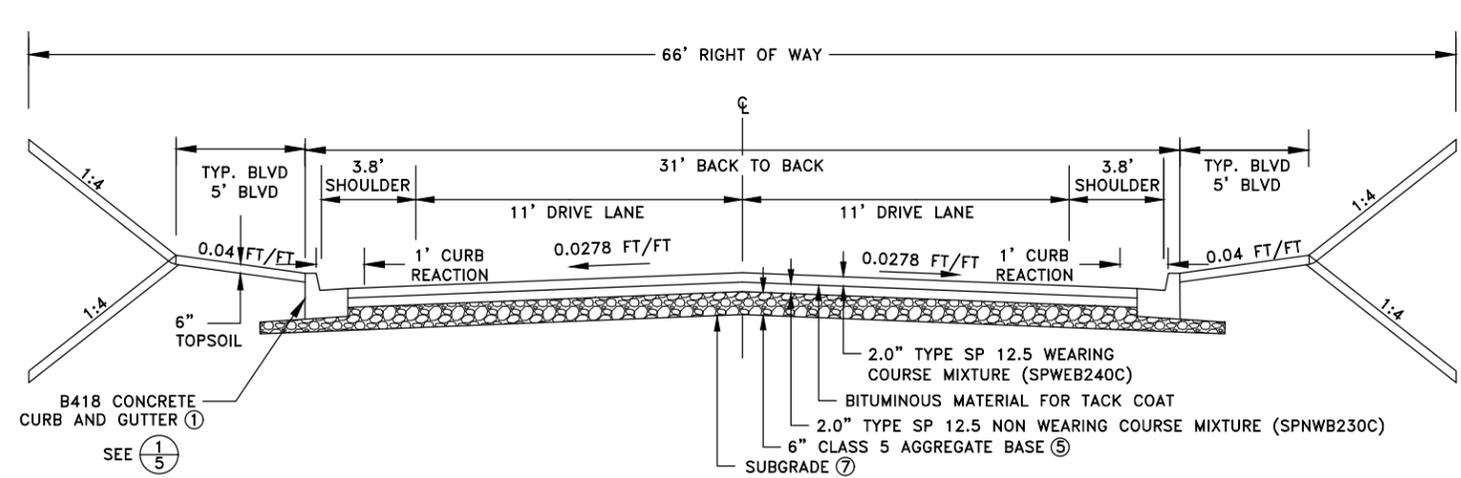
PROJECT NOTES AND LEGEND

CITY OF EAST BETHEL

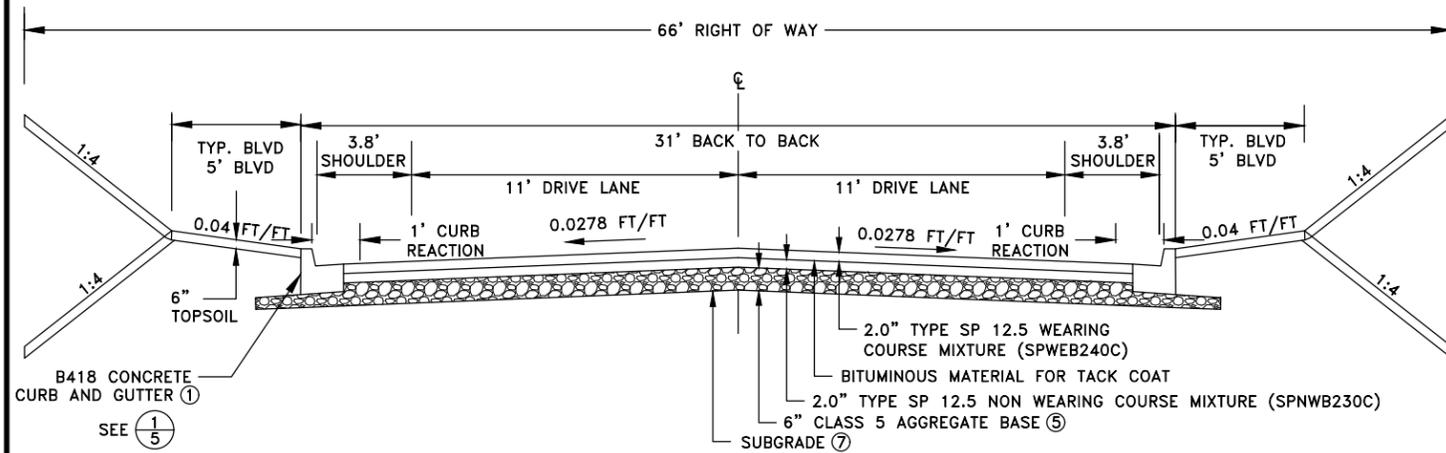
SHEET 3 OF 37 SHEETS



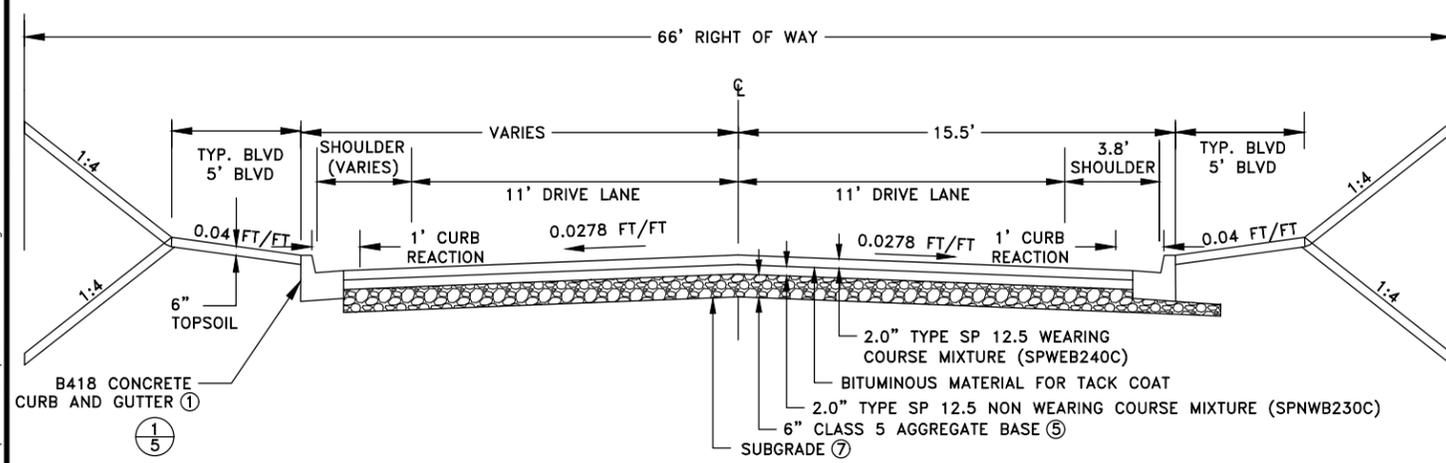
1  
4  
**209TH AVENUE NE**  
NO SCALE  
STA 1+56 TO 9+45



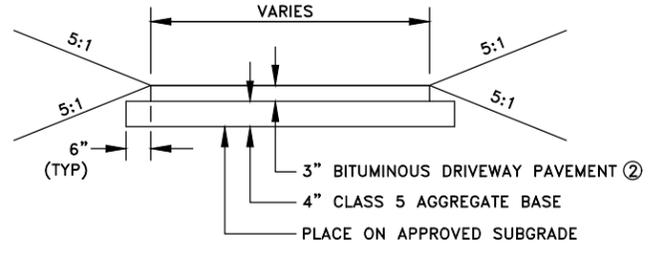
4  
4  
**SIMS ROAD NE**  
NO SCALE  
STA 5+19 TO 9+36



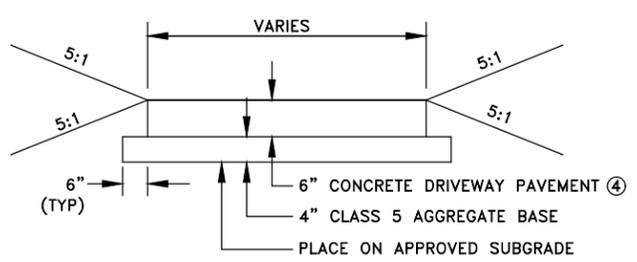
2  
4  
**DAVENPORT STREET NE**  
NO SCALE  
STA 0+15 TO 27+18



3  
4  
**SIMS ROAD NE**  
NO SCALE  
STA 1+80 TO 5+19



5  
4  
**BITUMINOUS DRIVEWAY SECTION**  
NO SCALE



6  
4  
**CONCRETE DRIVEWAY SECTION**  
NO SCALE

- REFERENCE NOTES:
- ① MnDOT STANDARD PLATE 7100.
  - ② BITUMINOUS DRIVEWAY PAVEMENT SHALL BE PAID PER ITEM 2360-TYPE SP 9.5 WEARING COURSE MIXTURE (2,C) 3.0" THICK.
  - ③ BOULEVARD SLOPES VARY BETWEEN INSLOPE AND OUTSLOPE. SEE CROSS SECTIONS.
  - ④ CONCRETE DRIVEWAY PAVEMENT SHALL BE PAID PER ITEM 2531-6" CONCRETE DRIVEWAY PAVEMENT.
  - ⑤ MATERIAL SHALL MEET THE REQUIREMENTS OF MnDOT SECTION 3138 TABLES 3138.2-5 AND 3138.2-6.

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DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Craig J. Jochem*  
**CRAIG J. JOCHUM, P.E.**  
 Date 2/8/24 Lic. No. 23461

DESIGNED BY: CJJ  
 DRAWN BY: DMS  
 CHECKED BY: CJJ



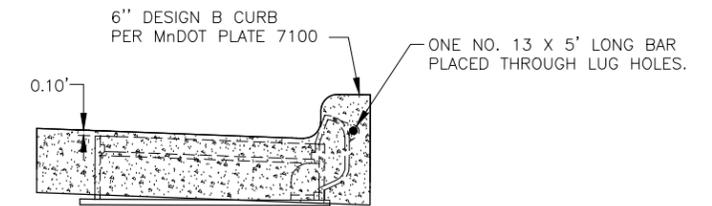
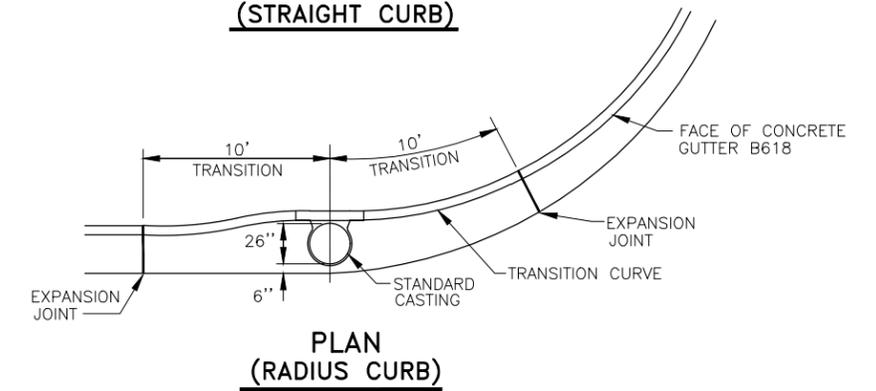
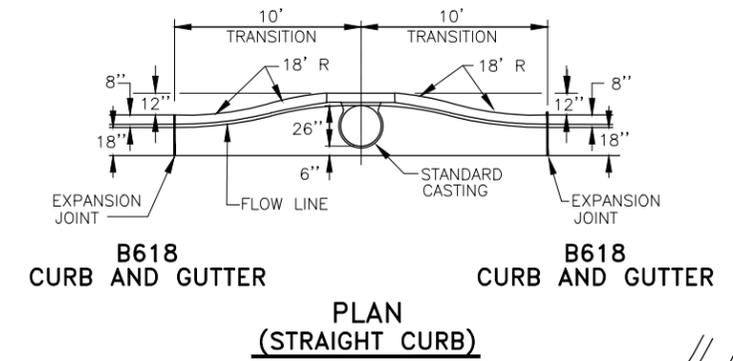
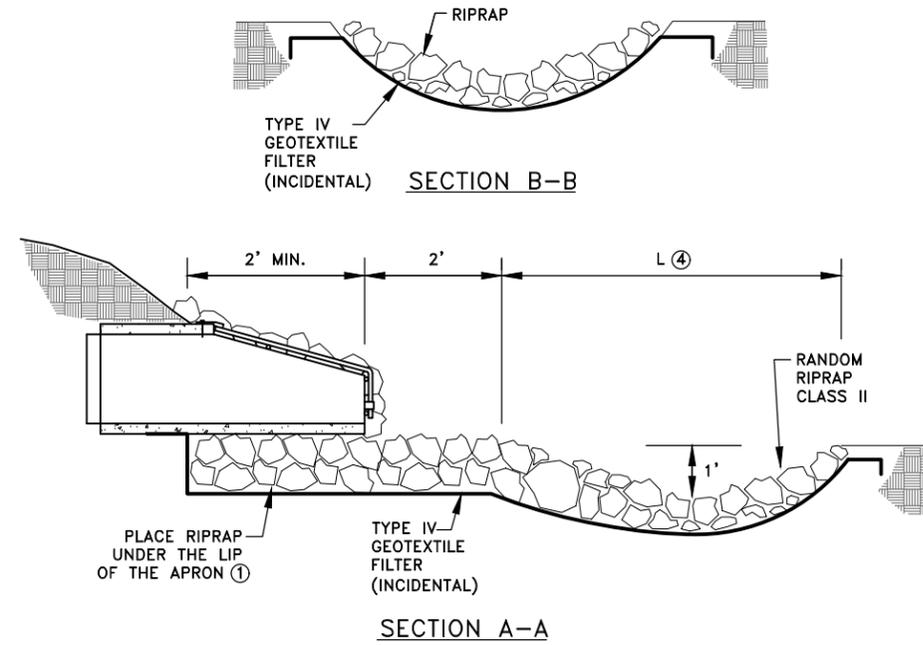
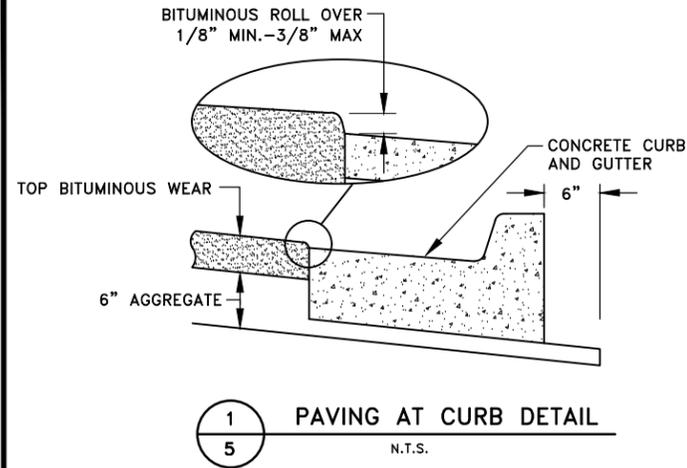
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**2024 STREET RECONSTRUCTION PROJECT**

**TYPICAL SECTIONS**  
 CITY OF EAST BETHEL

SHEET 4 OF 37 SHEETS

S.A.P. 203-102-009  
 S.A.P. 203-121-001

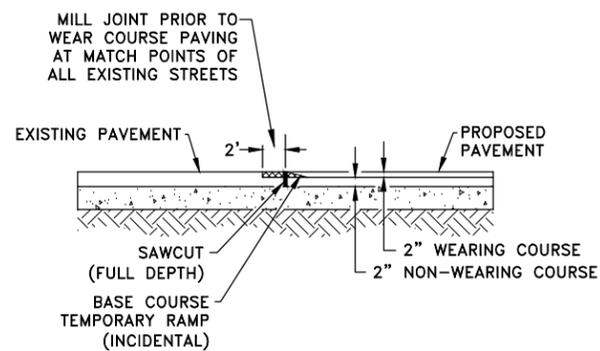


CURB REINFORCING (DESIGN B CURB)

CURB & GUTTER CONSTRUCTION AT CATCH BASIN ②

3  
5

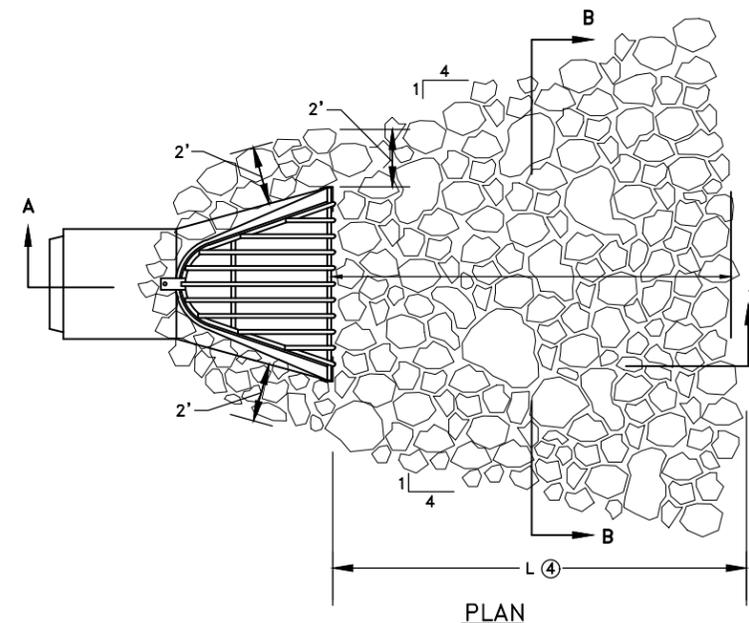
N.T.S.



4  
5

MILL DETAIL AT MATCH POINTS

N.T.S.



2  
5

RIPRAP PLACEMENT AT RCP OUTLETS

N.T.S.

REFERENCE NOTES:

- ① RIPRAP AND GEOTEXTILE FILTERS MUST BE PLACED PRIOR TO APRON INSTALLATION.
- ② PERIMETER GROUT NOT SHOWN. SEE MN/DOT STANDARD PLATE 4026.
- ③ TAPER MILL SHALL BE PAID PER ITEM 2232-MILL BITUMINOUS SURFACE (SPECIAL). TAPER MILL DEPTH SHALL MATCH THE WEAR COURSE THICKNESS.
- ④ L SHALL BE IN ACCORDANCE WITH MNDOT STANDARD PLATE 3133D.

Feb 08, 2024 - 11:08am K:\MUNICIPAL\EB362\ENGINEERING\PLAN DWG\EB362\_DETAILS.dwg

DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Craig J. Jochum*  
CRAIG J. JOCHUM, P.E.  
Date 2/8/24 Lic. No. 23461

DESIGNED BY: CJJ  
DRAWN BY: DMS  
CHECKED BY: CJJ



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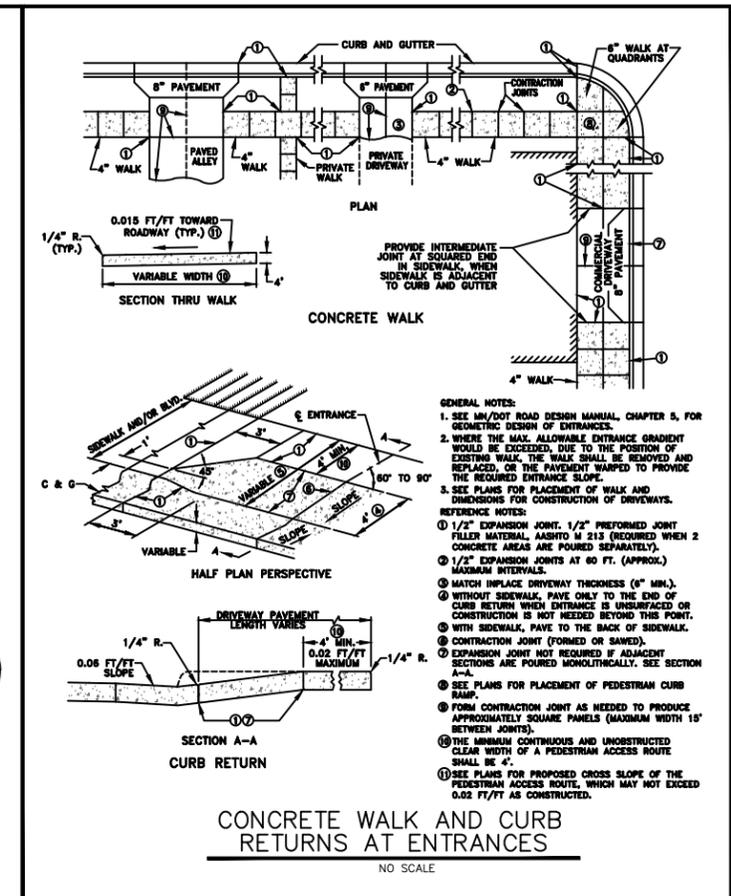
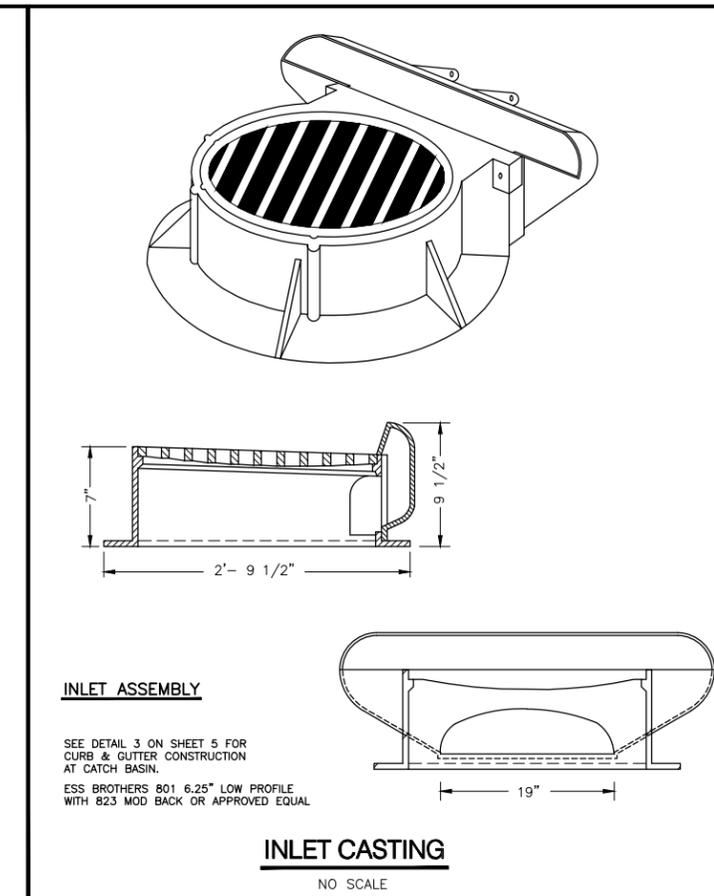
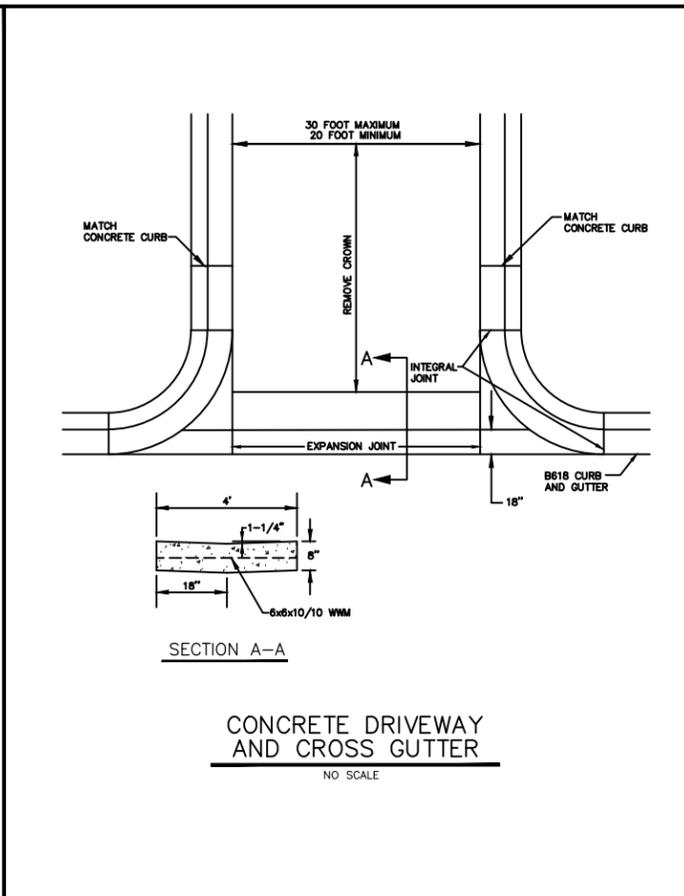
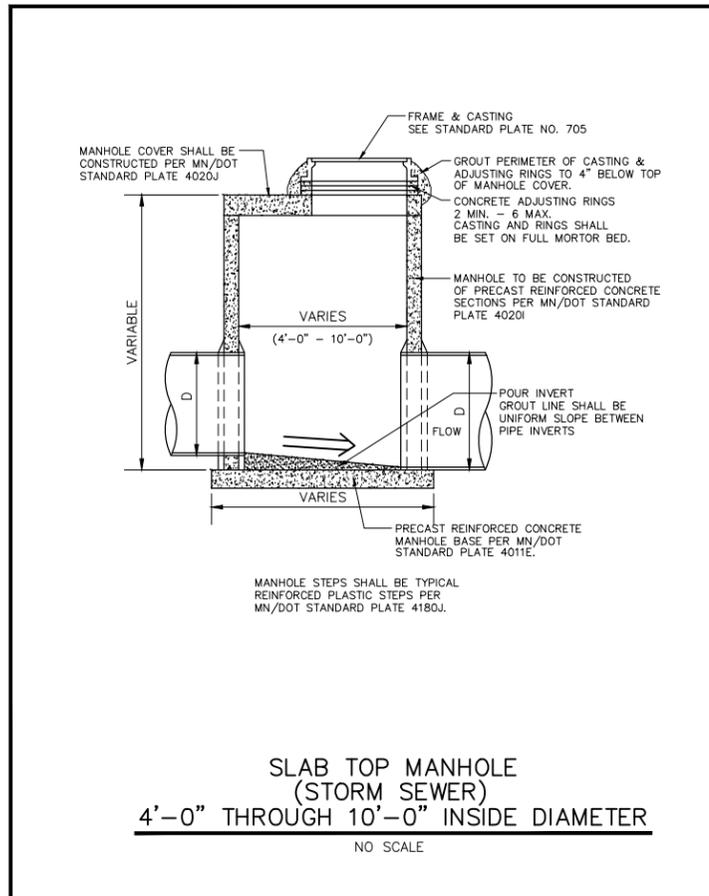
2024 STREET RECONSTRUCTION PROJECT

DETAILS

CITY OF EAST BETHEL

S.A.P. 203-102-009  
S.A.P. 203-121-001

SHEET 5 OF 37 SHEETS



APPROVED 3-02-05 REVISED		CITY OF EAST BETHEL	<b>STANDARD PLATE No.</b> 400	APPROVED 3-02-05 REVISED		CITY OF EAST BETHEL	<b>STANDARD PLATE No.</b> 702	APPROVED 3-02-05 REVISED		CITY OF EAST BETHEL	<b>STANDARD PLATE No.</b> 705	APPROVED 10-07-13 REVISED		CITY OF EAST BETHEL	<b>STANDARD PLATE No.</b> 707
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CRAIG J. JOCHUM, P.E.  
Date 2/8/24 Lic. No. 23461

DESIGNED BY: CJJ  
DRAWN BY: DMS  
CHECKED BY: CJJ

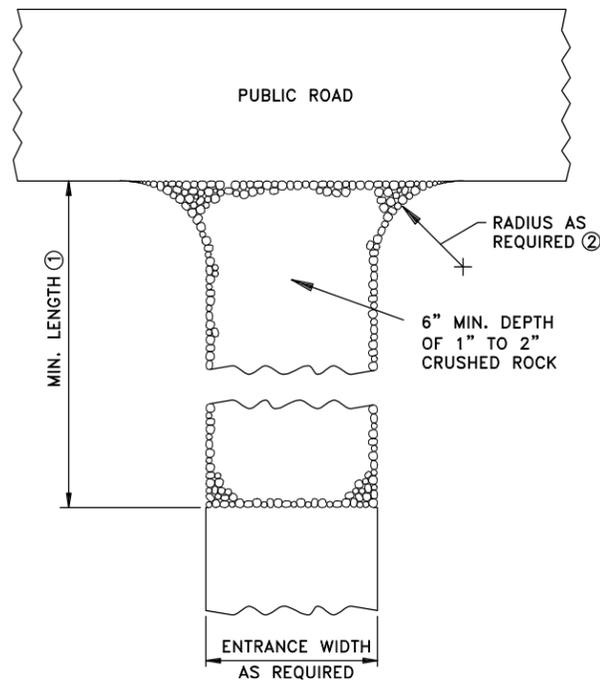
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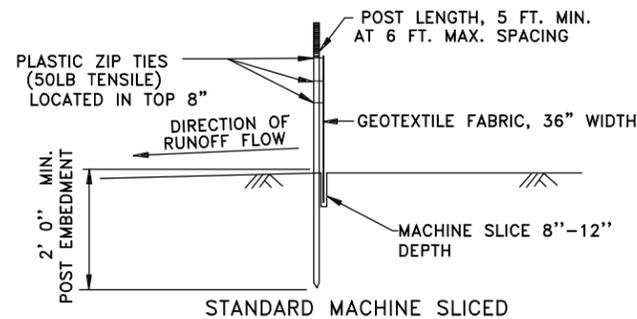
DETAILS  
CITY OF EAST BETHEL

SHEET 6 OF 37 SHEETS

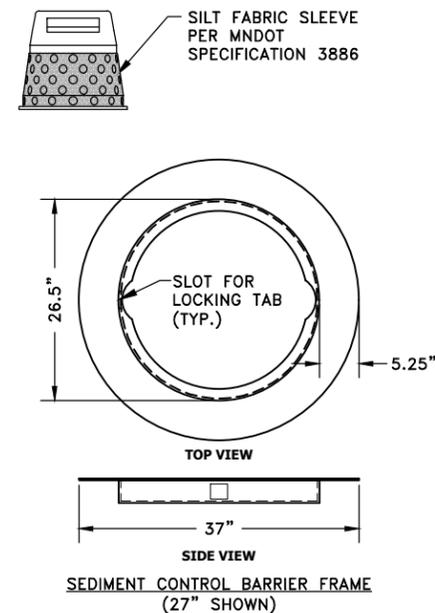
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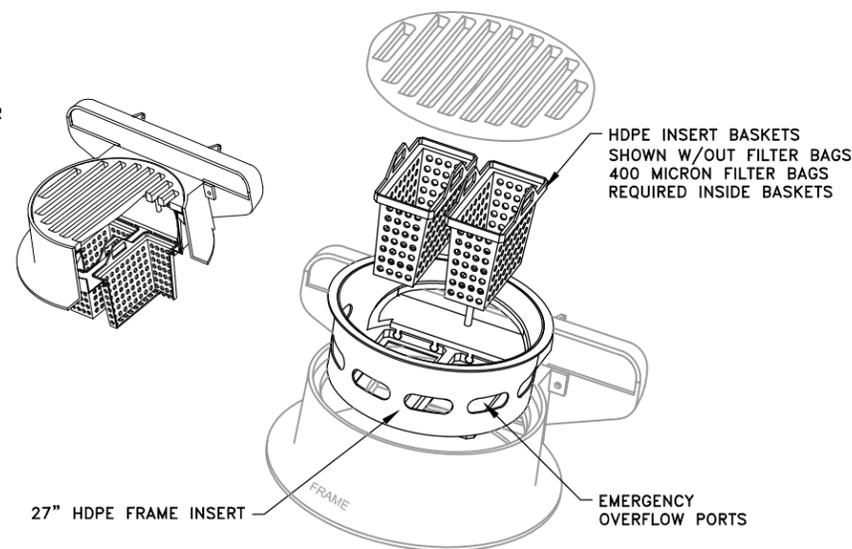
1  
7 STABILIZED CONSTRUCTION EXIT 3



2  
7 SILT FENCE DETAILS



3  
7 SEDIMENT CONTROL BARRIER FOR CATCH BASINS AND MANHOLES STORM DRAIN INLET PROTECTION



4  
7 DEBRIS COLLECTION DEVICE FOR CATCH BASINS STORM DRAIN INLET PROTECTION

GENERAL EROSION CONTROL NOTES:

1. PRIOR TO ANY CONSTRUCTION ACTIVITIES THE CONTRACTOR SHALL ACQUIRE THE MPCA-CONSTRUCTION STORMWATER GENERAL PERMIT. A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN PREPARED COVERING CONSTRUCTION ACTIVITIES. THE SWPPP IS INCLUDED IN THE PROJECT MANUAL.
2. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL FACILITIES (BMP'S) PRIOR TO GRADING AND REMOVAL ACTIVITIES. BMP'S SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION ACTIVITIES AND POTENTIAL FOR EROSION HAS PASSED.
3. THE CONTRACTOR SHALL SCHEDULE THEIR OPERATION TO MINIMIZE THE AMOUNT OF DISTURBED AREA AT ANY GIVEN TIME.
4. BMP'S SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND DOCUMENTED IN THE SWPPP INSPECTION LOG. WEEKLY LOGS MUST BE FORWARDED TO THE ENGINEER FOR REVIEW.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY DISPOSED OF WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS APPROVED BY THE ENGINEER.
6. THE CONTRACTOR SHALL FILE NOTICE OF TERMINATION (NOT) WITH THE MPCA WHEN FINAL STABILIZATION IS APPROVED BY THE ENGINEER.
7. ALL LABOR, MATERIALS, AND EQUIPMENT COSTS NECESSARY TO MANAGE EROSION AND SEDIMENT IN ACCORDANCE WITH THE MN/DOT STANDARD SPECIFICATIONS, MN/DOT EROSION CONTROL HANDBOOK, AND ALL REQUIREMENTS INCLUDED IN THE PROJECT MANUAL SHALL BE PAID PER ITEM 2575-EROSION CONTROL, UNLESS OTHERWISE INCLUDED ON THE PROJECT BID FORM.
8. CONTRACTOR SHALL PROMPTLY SWEEP EXISTING STREETS WHEN ANY SEDIMENT TRACKING OCCURS.
9. THE CONTRACTOR SHALL MEET ALL REQUIREMENTS OF THE GENERAL PERMIT, WHICH IS INCLUDED IN THE PROJECT MANUAL.
10. PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE CERTIFICATION DOCUMENTATION FOR THE EROSION CONTROL SUPERVISOR AND INSTALLERS TO THE ENGINEER.
11. THE CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS AND MAINTENANCE AS OUTLINED IN PART IV.E INSPECTIONS AND MAINTENANCE OF THE GENERAL PERMIT, WHICH IS INCLUDED IN THE PROJECT MANUAL.
12. CONTRACTOR SHALL STABILIZE ALL EXPOSED SOIL AREAS IMMEDIATELY TO LIMIT SOIL EROSION BUT IN NO CASE COMPLETED LATER THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITIES IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. DEPENDING ON THE CONTRACTOR'S OPERATION, TEMPORARY SEEDING AND MULCHING MAY BE REQUIRED TO MEET THE REQUIREMENTS OF THE SPECIFICATIONS AND SWPPP. ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED FOR TEMPORARY SEEDING AND MULCHING SHALL BE INCIDENTAL.
13. EROSION CONTROL SHALL CONFORM TO THE MN/DOT EROSION CONTROL HANDBOOK.
14. WHEN SEDIMENTS DEPOSIT IN A WATER OF THE STATE, THE MATERIAL MUST BE REMOVED WITHIN 7 DAYS.
15. PRIOR TO SEEDING, SOIL SHALL BE PREPARED PER MN/DOT SPEC 2574.3.A.4.
16. ALL DISTURBED AREAS REQUIRE TOPSOIL, MN/DOT SEED MIXTURE 25-131, TYPE 1 FERTILIZER AND EITHER HYDRAULIC BONDED FIBER MATRIX OR CATEGORY 3 EROSION CONTROL BLANKET AS SHOWN ON THE PLANS. SEED SHALL BE PLACED BY HYDROSEEDING AND SHALL BE IN ACCORDANCE WITH MN/DOT SPEC. 2575. APPLICATION OF THE HYDRAULIC BONDED FIBER MATRIX SHALL BE COMPLETED SEPARATELY FROM THE HYDROSEEDING. PLACE HYDRAULIC BONDED FIBER MATRIX PER MN/DOT SPEC 2575.3.E.2.d. RATES OF SEED, FERTILIZER AND HYDRAULIC STABILIZED FIBER MATRIX PLACEMENT SHALL BE IN ACCORDANCE WITH THE BASIS OF ESTIMATED QUANTITIES SCHEDULE SHOWN ON SHEET 2.

REFERENCE NOTES:

1. MINIMUM LENGTH SHALL BE THE GREATER OF 50 FEET OR A LENGTH SUFFICIENT TO ALLOW A MINIMUM OF 5 TIRE ROTATIONS ON THE PROVIDED PAD. MINIMUM LENGTH SHALL BE CALCULATED USING THE LARGEST TIRE WHICH WILL BE USED IN TYPICAL OPERATIONS.
2. PROVIDE RADIUS OR WIDEN PAD SUFFICIENTLY TO PREVENT VEHICLE TIRES FROM TRACKING OFF OF PAD WHEN LEAVING SITE.
3. MAINTENANCE OF CONSTRUCTION EXITS SHALL OCCUR WHEN THE EFFECTIVENESS OF SEDIMENT REMOVAL HAS BEEN REDUCED. MAINTENANCE SHALL CONSIST OF REMOVING SEDIMENT AND CLEANING THE MATERIALS OR PLACING ADDITIONAL MATERIAL OVER SEDIMENT FILLED MATERIAL TO RESTORE EFFECTIVENESS.

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S.A.P. 203-102-009  
S.A.P. 203-121-001

DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Craig J. Jochem*  
CRAIG J. JOCHUM, P.E.  
Date 2/8/24 Lic. No. 23461

DESIGNED BY: CJJ  
DRAWN BY: DMS  
CHECKED BY: CJJ

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2024 STREET RECONSTRUCTION PROJECT

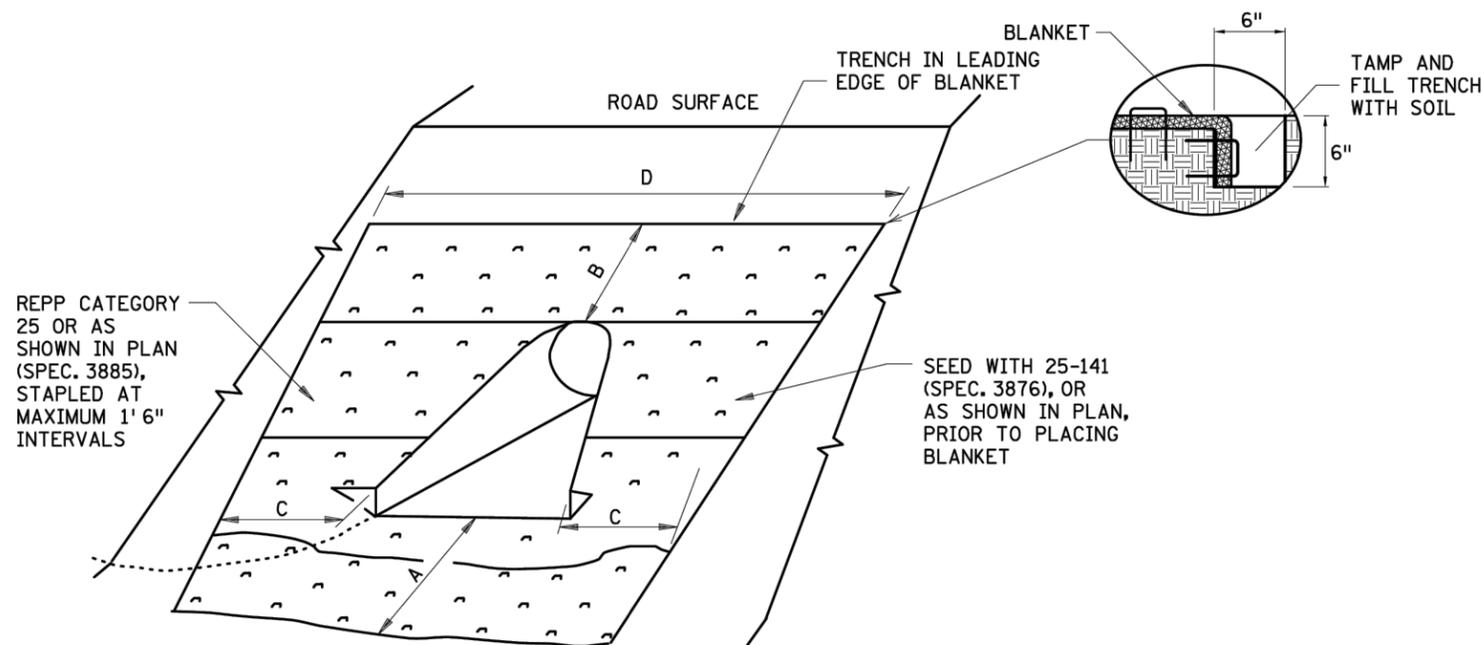
EROSION CONTROL NOTES AND DETAILS

CITY OF EAST BETHEL

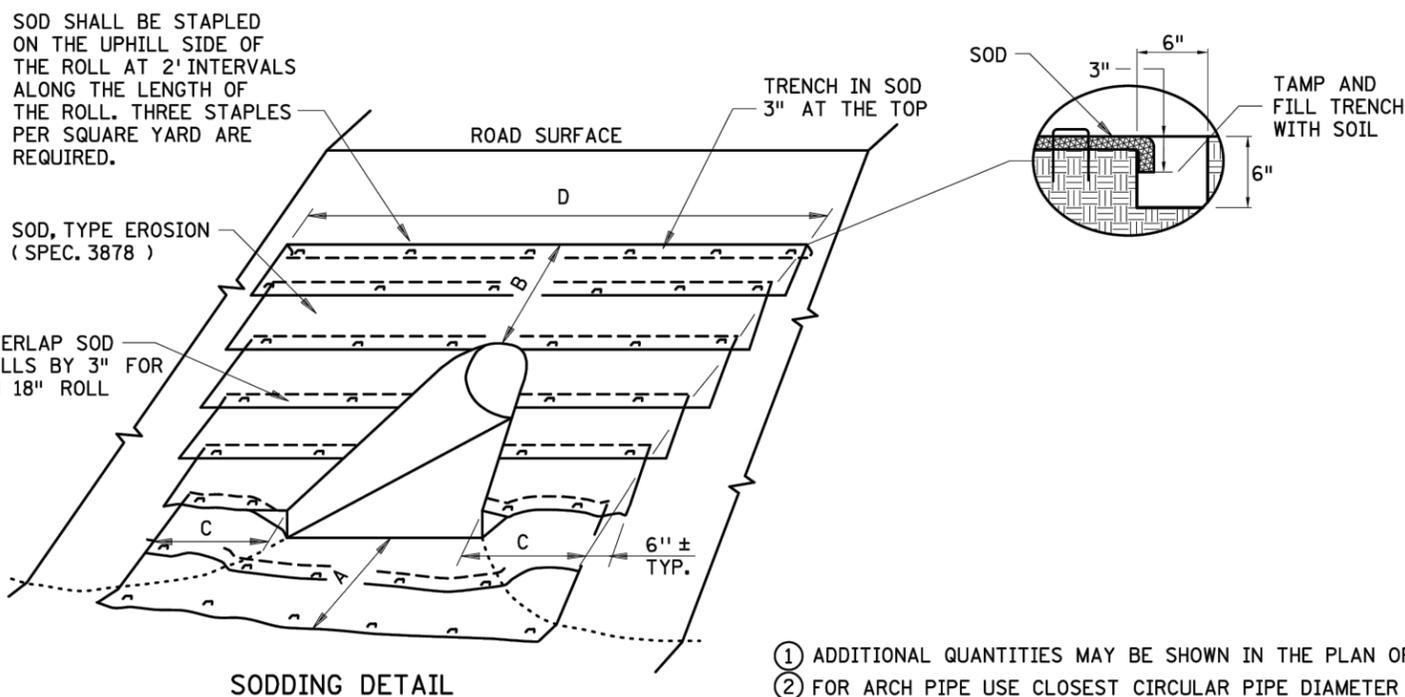
SHEET 7 OF 37 SHEETS

PLOTTED/REVISED: 24-JAN-2020

IPLOT NAME: s404\_2\_spn  
PATH & FILENAME: OTS\DesignStandards\Development\Standards\Plans\DEV\400\_Series\s404\_2\_spn.dgn



ROLLED EROSION PREVENTION PRODUCT (BLANKET) & SEED DETAIL



- ① ADDITIONAL QUANTITIES MAY BE SHOWN IN THE PLAN OR REQUIRED BY THE ENGINEER.
- ② FOR ARCH PIPE USE CLOSEST CIRCULAR PIPE DIAMETER AND APRON SLOPE. DIAMETERS LARGER THAN 72" REQUIRE SPECIAL DESIGNS.

CULVERT DIAMETER ②	SOD OR REPP (SQ. YDS.)						"A"	"B"	"C"	"D"
	CIRCULAR AND ARCH PIPE METAL APRON (PLATE 3123, PLATE 3122)	CIRCULAR AND ARCH PIPE CONCRETE APRON (PLATE 3100, PLATE 3110)	CIRCULAR AND ARCH PIPE METAL SAFETY APRON 1:4 SLOPE (PLATE 3148)	CIRCULAR AND ARCH PIPE METAL SAFETY APRON 1:6 SLOPE (PLATE 3148)	CORRUGATED METAL PIPE SAFETY APRON 1:6 SLOPE (PLATE 3128)	CORRUGATED METAL PIPE SAFETY APRON 1:4 SLOPE (PLATE 3128)				
15"	9	9	8	8	N/A	N/A	3'	1.5'	3'	13'
18"	13	12	12	14	16	N/A	3'	3'	3'	16'
21"	14	14	14	16	18	14	3'	3'	3'	17'
24"	16	15	16	19	21	17	3'	3'	3'	18'
27"	N/A	20	N/A	N/A	N/A	N/A	3'	4.5'	3'	20'
30"	23	22	25	30	32	N/A	3'	4.5'	3'	22'
36"	34	34	39	48	51	37	4.5'	4.5'	4.5'	27'
42"	43	40	51	64	N/A	N/A	4.5'	6'	4.5'	30'
48"	54	50	66	82	N/A	N/A	4.5'	7.5'	4.5'	34'
54"	65	58	81	102	N/A	N/A	4.5'	9'	4.5'	37'
60"	69	59	91	115	N/A	N/A	4.5'	9'	4.5'	39'
66"	69	63	N/A	N/A	N/A	N/A	4.5'	9'	4.5'	39'
72"	78	72	99	122	N/A	N/A	4.5'	10.5'	4.5'	41'

CULVERT DIAMETER ②	SOD OR REPP (SQ. YDS.)						"A"	"B"	"C"	"D"
	CIRCULAR AND ARCH PIPE METAL APRON (PLATE 3123, PLATE 3122)	CIRCULAR AND ARCH PIPE CONCRETE APRON (PLATE 3100, PLATE 3110)	CIRCULAR AND ARCH PIPE METAL SAFETY APRON 1:4 SLOPE (PLATE 3148)	CIRCULAR AND ARCH PIPE METAL SAFETY APRON 1:6 SLOPE (PLATE 3148)	CORRUGATED METAL PIPE SAFETY APRON 1:6 SLOPE (PLATE 3128)	CORRUGATED METAL PIPE SAFETY APRON 1:4 SLOPE (PLATE 3128)				
15"	10	10	9	10	N/A	N/A	4.5'	1.5'	3'	13'
18"	13	13	12	14	15	N/A	6'	1.5'	3'	14'
21"	16	14	16	18	19	15	6'	1.5'	3'	15'
24"	18	18	18	21	22	18	7.5'	1.5'	3'	16'
27"	N/A	19	N/A	N/A	N/A	N/A	7.5'	1.5'	3'	17'
30"	23	23	24	28	29	N/A	9'	1.5'	3'	18'
36"	36	35	38	47	48	37	10.5'	1.5'	4.5'	23'
42"	43	40	47	58	N/A	N/A	12'	1.5'	4.5'	25'
48"	50	46	57	70	N/A	N/A	13.5'	1.5'	4.5'	27'
54"	57	50	67	84	N/A	N/A	15'	1.5'	4.5'	29'
60"	74	63	90	113	N/A	N/A	16.5'	1.5'	6'	33'
66"	75	67	N/A	N/A	N/A	N/A	16.5'	1.5'	6'	33'
72"	77	70	92	114	N/A	N/A	16.5'	1.5'	6'	34'

NOTES:

- REPP = ROLLED EROSION PREVENTION PRODUCT.
- AREA SHOWN IN SQUARE YARDS IS FOR ONE CULVERT END.
- QUANTITIES ARE CALCULATED TO INCLUDE SOD REQUIRED TO PROVIDE A 3" OVERLAP ON ALL 18" WIDE ROLLS. THIS ALLOWS FOR SHRINKAGE OF THE SOD.
- FOR PIPE ARCHES USE EQUIVALENT PIPE DIAMETER TO APPROXIMATE AREA.
- FOR CORRUGATED POLYETHYLENE PIPE METAL APRON (PLATE 3129), USE THE METAL APRON COLUMN (PLATE 3123).
- AREAS AND DIMENSIONS ARE APPROXIMATE AND ARE BASED ON APRON SIDE SLOPES OF NO STEEPER THAN 1:2, UNLESS INDICATED AS FOR SAFETY APRONS.
- CARE SHOULD BE TAKEN IN SELECTING SOD TO STABILIZE THE APRON. RIP-RAP SHOULD BE USED FOR FLOW VELOCITIES GREATER THAN 6 FPS.

REVISION:

APPROVED: JANUARY 8, 2020

*Marni Karnowski*

MARNI KARNOWSKI  
CHIEF ENVIRONMENTAL OFFICER



STANDARD PLAN 5-297.404 2 OF 3

APPROVED: 1-8-2020  
REVISED:

*Tom St...*

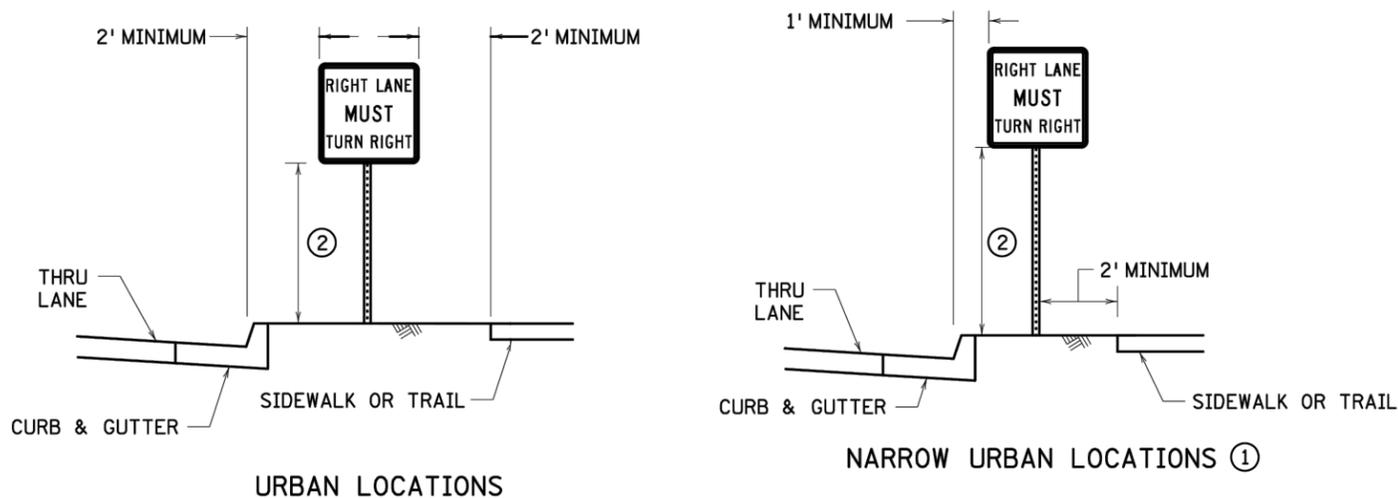
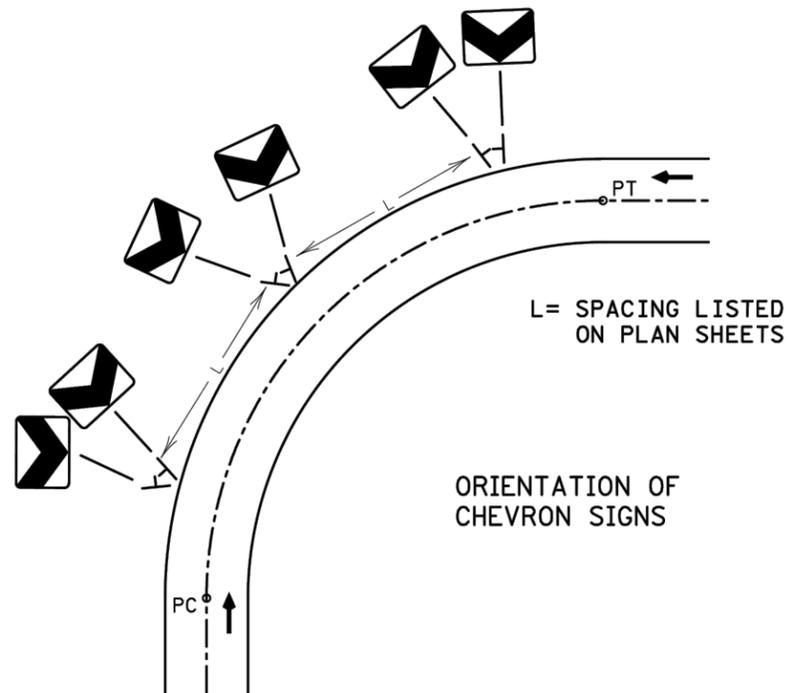
THOMAS STYRBICKI  
STATE DESIGN ENGINEER

S.A.P. 203-102-009  
S.A.P. 203-121-001  
City Council Packet, Page 43

STATE PROJ. NO.

PERMANENT EROSION CONTROL  
TURF ESTABLISHMENT DETAIL AT CULVERT ENDS

SHEET NO. 8 OF 37 SHEETS



**NOTES:**

URBAN LOCATIONS ARE PAVEMENT SECTIONS WITH CURB AND GUTTER.

RURAL LOCATIONS ARE PAVEMENT SECTIONS WITHOUT CURB AND GUTTER.

SIGNS SHALL BE PLACED AND ORIENTED APPROXIMATELY AS SHOWN IN THE PLAN, AT RIGHT ANGLES TO THE DIRECTION OF, AND FACING, THE TRAFFIC THEY ARE INTENDED TO SERVE, UNLESS OTHERWISE SPECIFIED. TO AVOID SPECULAR GLARE, TURN SIGNS APPROXIMATELY THREE DEGREES AWAY FROM APPROACHING TRAFFIC.

IF A SIGN NEEDS TO BE REPOSITIONED FROM THE PROPOSED PLAN LOCATION IN ORDER TO AVOID CONFLICTS WITH UTILITIES OR OBSTACLES, CONTACT THE PROJECT ENGINEER.

SIGN FACES SHALL BE MOUNTED PLUMB.

LATERAL CLEARANCES GIVEN APPLY TO RIGHT AND/OR LEFT SIDE INSTALLATION.

SIGNS SHALL NOT BE ERECTED OR CONSTRUCTED SO AS TO CAUSE ANY PORTION OF THE SIGN TO BE WITHIN 8.5' OF THE CENTERLINE OF A RAILROAD TRACK.

SIGNS SHALL BE PLACED SUCH THAT OBSTACLES DO NOT BLOCK THEM FROM BEING VIEWED BY THE APPROACHING TRAFFIC.

SIGNS SHALL BE PLACED A MINIMUM OF 10' FROM THE NEAREST OBSTACLE. OBSTACLES MAY INCLUDE, BUT ARE NOT LIMITED TO, LIGHT POLES, TREES, SIGNS, AND BUILDINGS. SIGNS MAY BE PLACED CLOSER TO SIGNS IN TIGHT AREAS, BUT NO MORE THAN TWO POSTS IN A 7' DIAMETER CIRCLE.

- ① TO BE USED ONLY WHEN BOULEVARD IS TOO NARROW TO OBTAIN ADEQUATE URBAN LOCATION SIGN OFFSETS.
- ② ALL SIGN MOUNTING HEIGHTS ARE MEASURED VERTICALLY FROM THE BOTTOM OF THE SIGN TO THE TOP OF THE CURB, OR IN ABSENCE OF CURB, TO THE NEAR EDGE OF THE THRU-LANE PAVEMENT. SEE SIGN TABULATIONS.
- ③ MINIMUM MAY BE REDUCED TO 6' FROM SHOULDER AND 12' FROM THRU LANE IF SITE CONDITIONS PROHIBIT A 12' OFFSET FROM SHOULDER. IF ADEQUATE RIGHT OF WAY IS NOT AVAILABLE TO PLACE SIGN AT REDUCED MINIMUM, SIGN SHALL BE PLACED SUCH THAT PANEL EDGE IS 1' FROM RIGHT OF WAY AND NEAR PANEL EDGE IS AT LEAST 2' FROM EDGE OF SHOULDER.

Feb 08, 2024 - 11:08am K:\MUNICIPAL\EB362\ENGINEERING\PLAN DWG\EB362\_SIGN DETAILS.dwg

REVISION:

APPROVED: OCTOBER 16, 2019

*Brian Suberson*

BRIAN SUBERSON  
STATE TRAFFIC ENGINEER

S.A.P. 203-102-009  
S.A.P. 203-121-001

MINNESOTA  
DEPARTMENT OF TRANSPORTATION

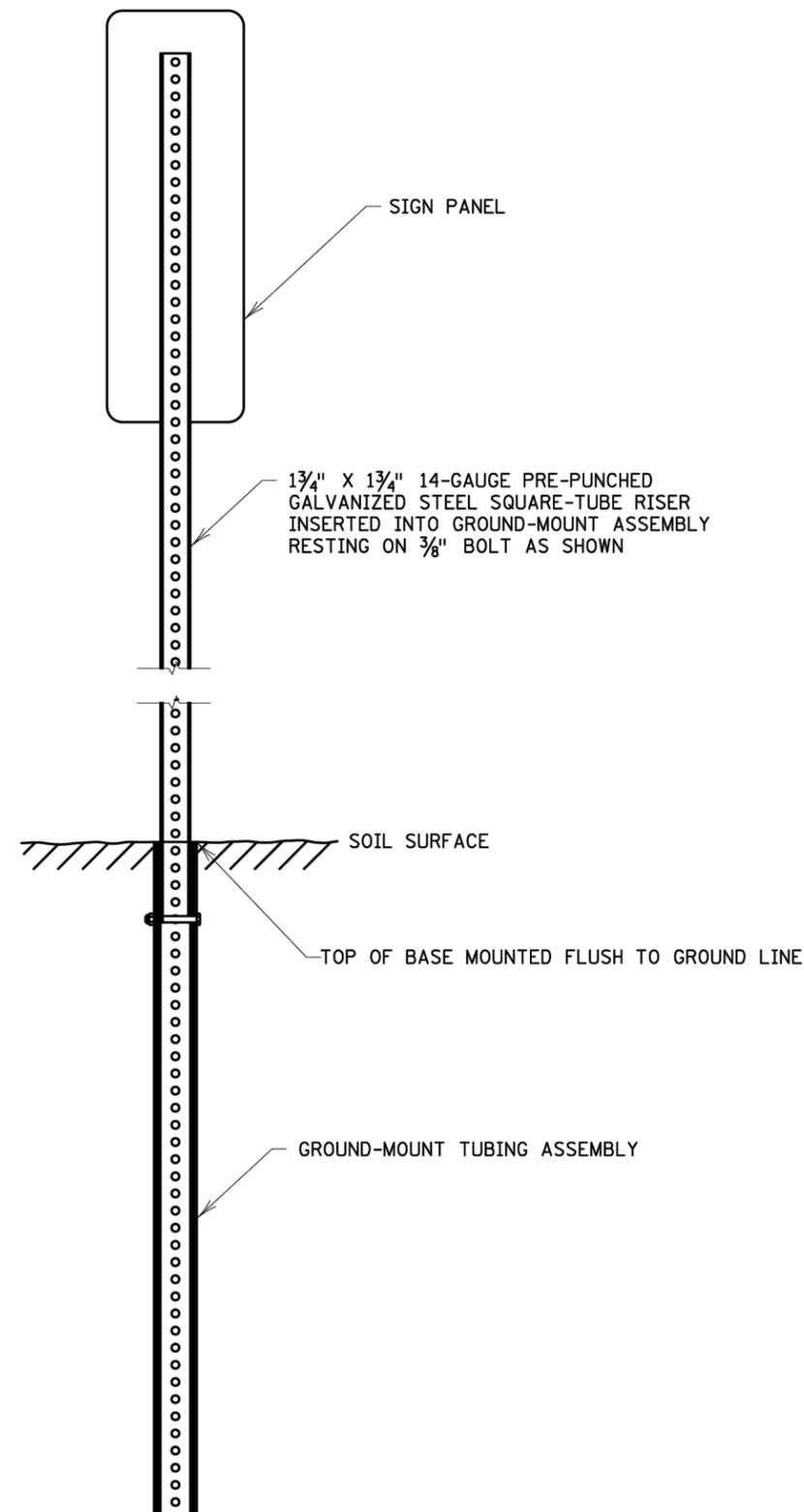
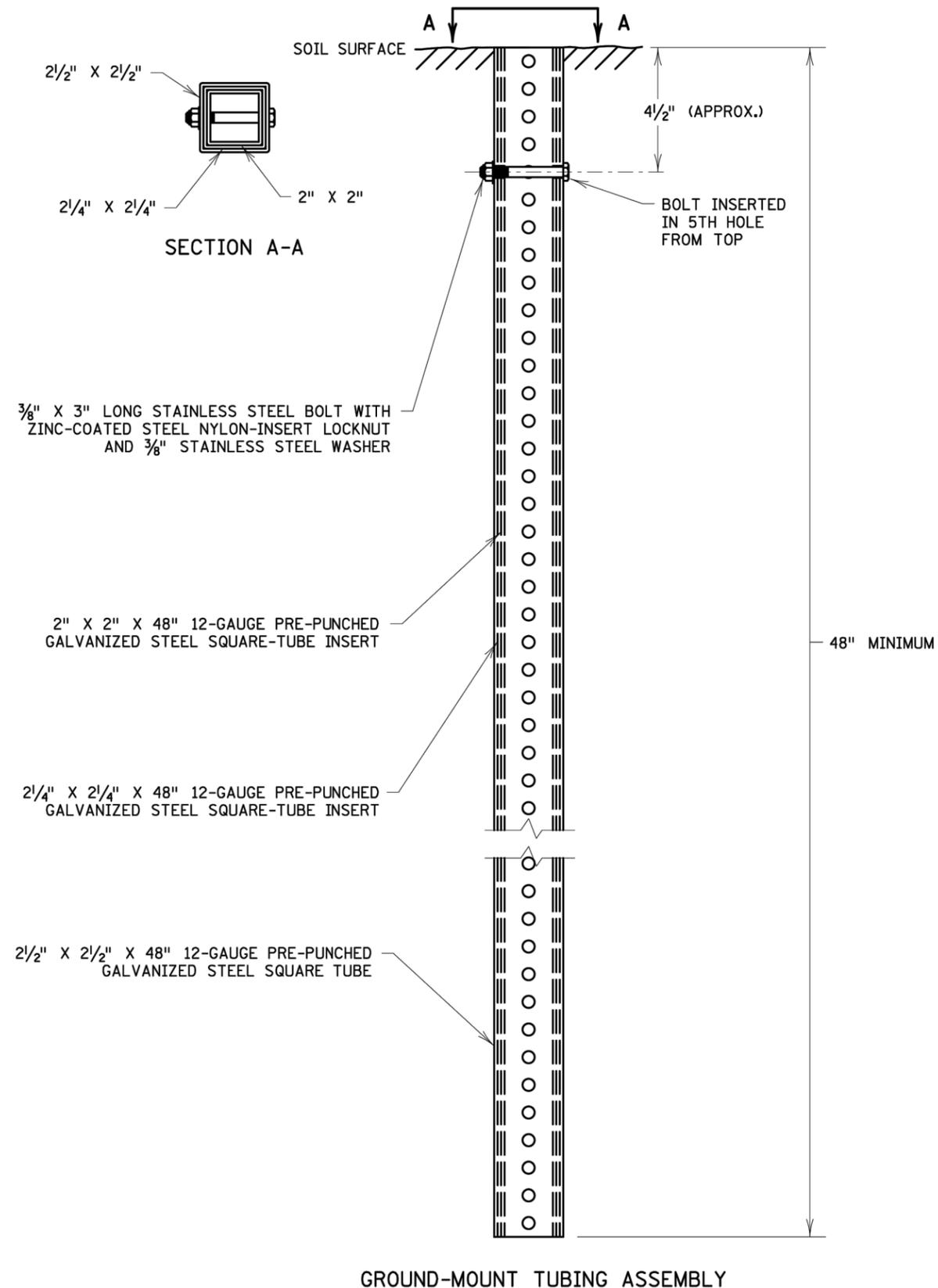
STANDARD PLAN 5-297.701 | 1 OF 1

*Peter A Harff* APPROVED: 10-16-2019  
PETER A. HARFF  
STATE DESIGN ENGINEER

REVISOR:

STATE PROJ. NO.

**STANDARD SIGN PLACEMENT  
TYPE C & D**



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REVISION:
APPROVED: DECEMBER 9, 2019
 BRIAN SUBERSON STATE TRAFFIC ENGINEER

S.A.P. 203-102-009  
S.A.P. 203-121-001



STANDARD PLAN 5-297.721

1 OF 1

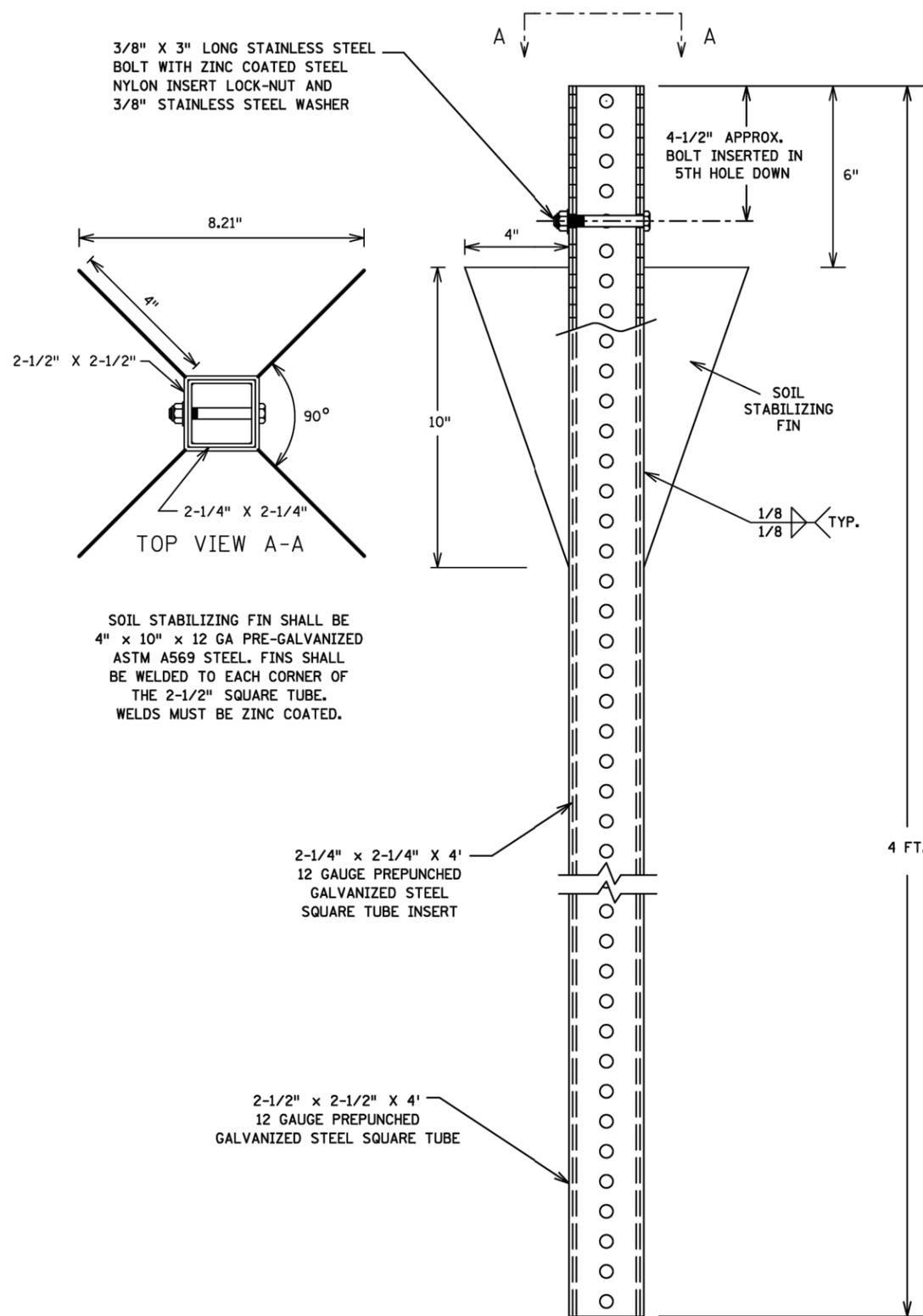
  
THOMAS STYRBICKI  
STATE DESIGN ENGINEER

APPROVED: 12-9-2019  
REVISED:

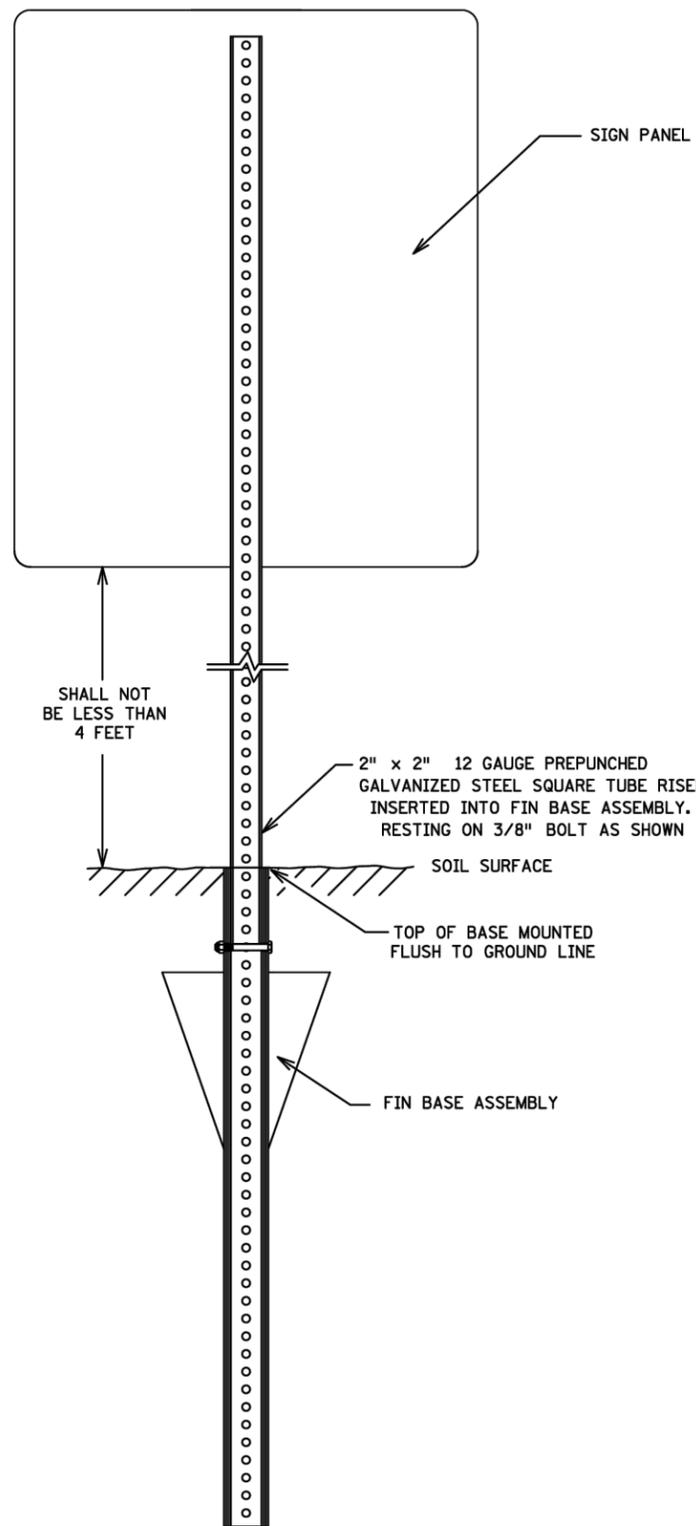
STATE PROJ. NO.

SQUARE-TUBE THREE-WALL SIGN BASE

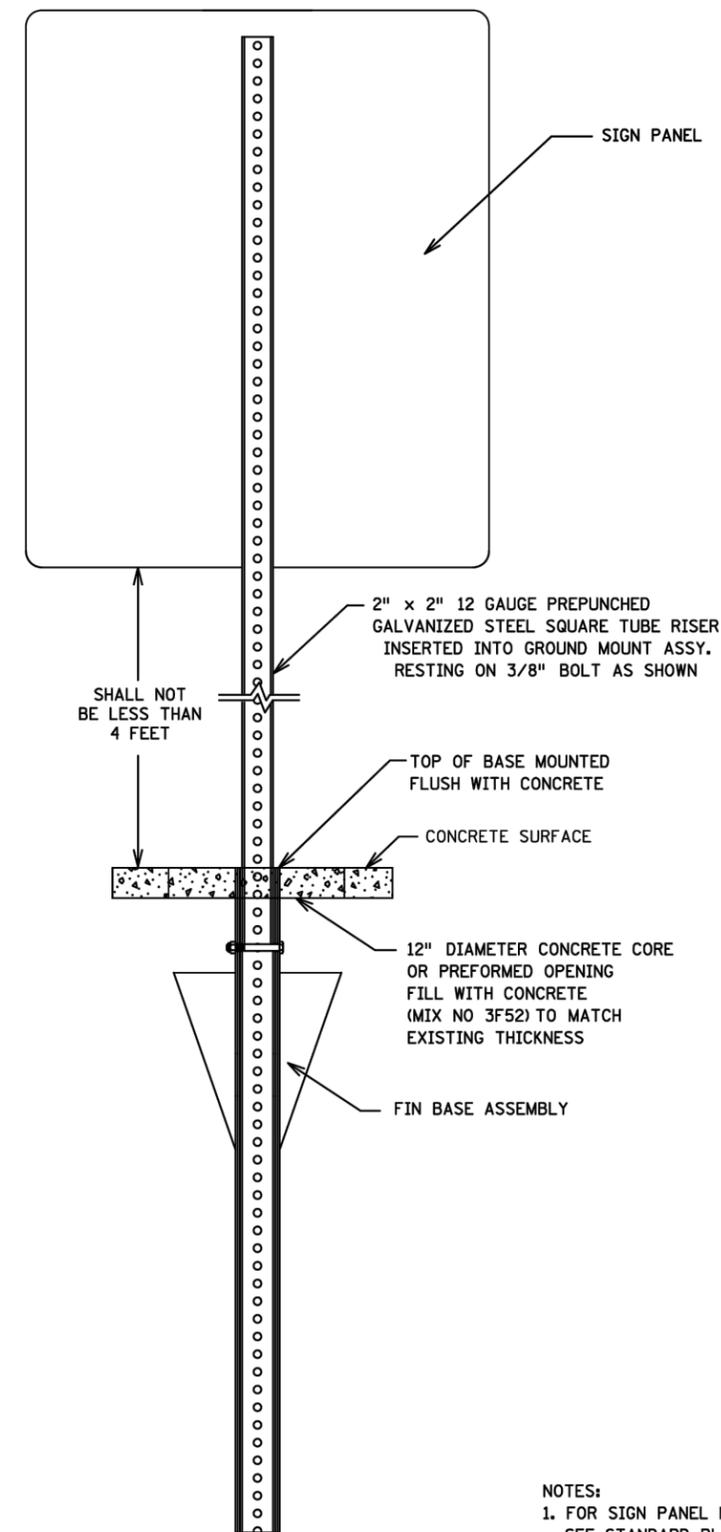
SHEET NO. 10 OF 37 SHEETS



FIN BASE ASSEMBLY



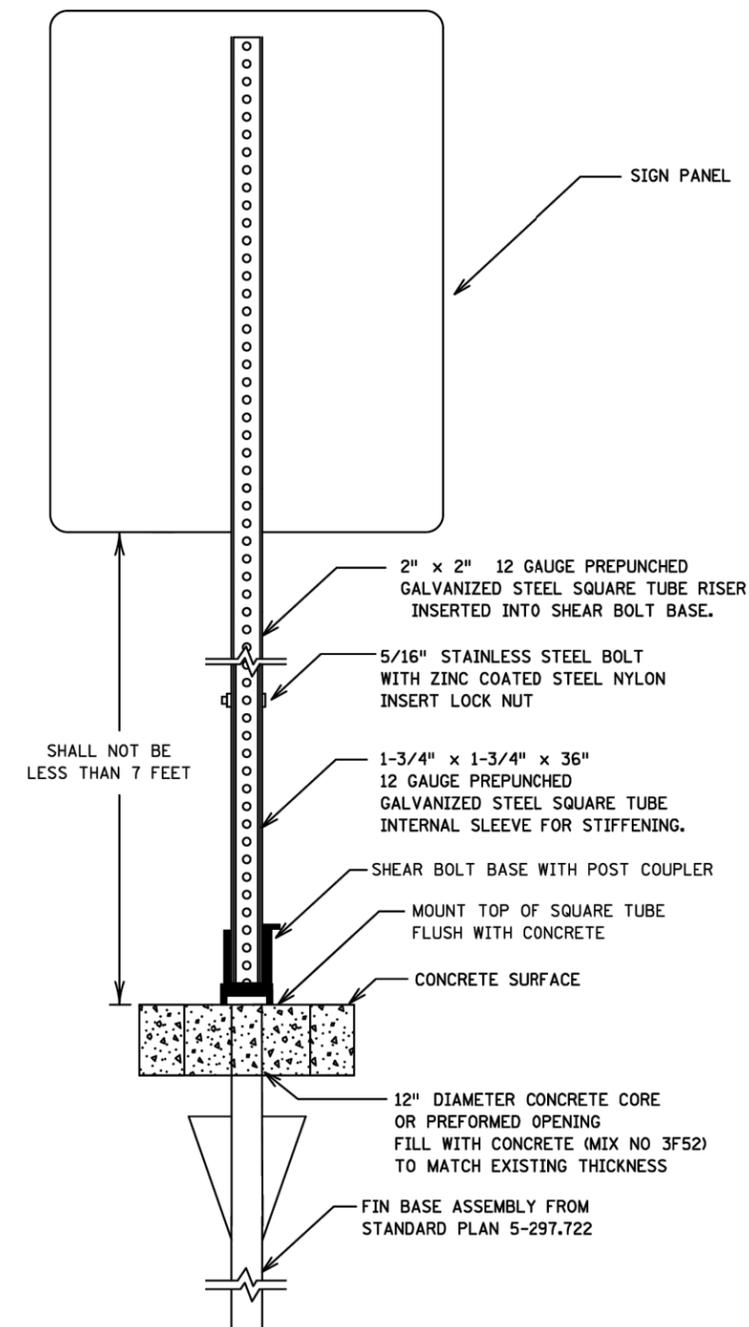
FIN BASE IN SOIL



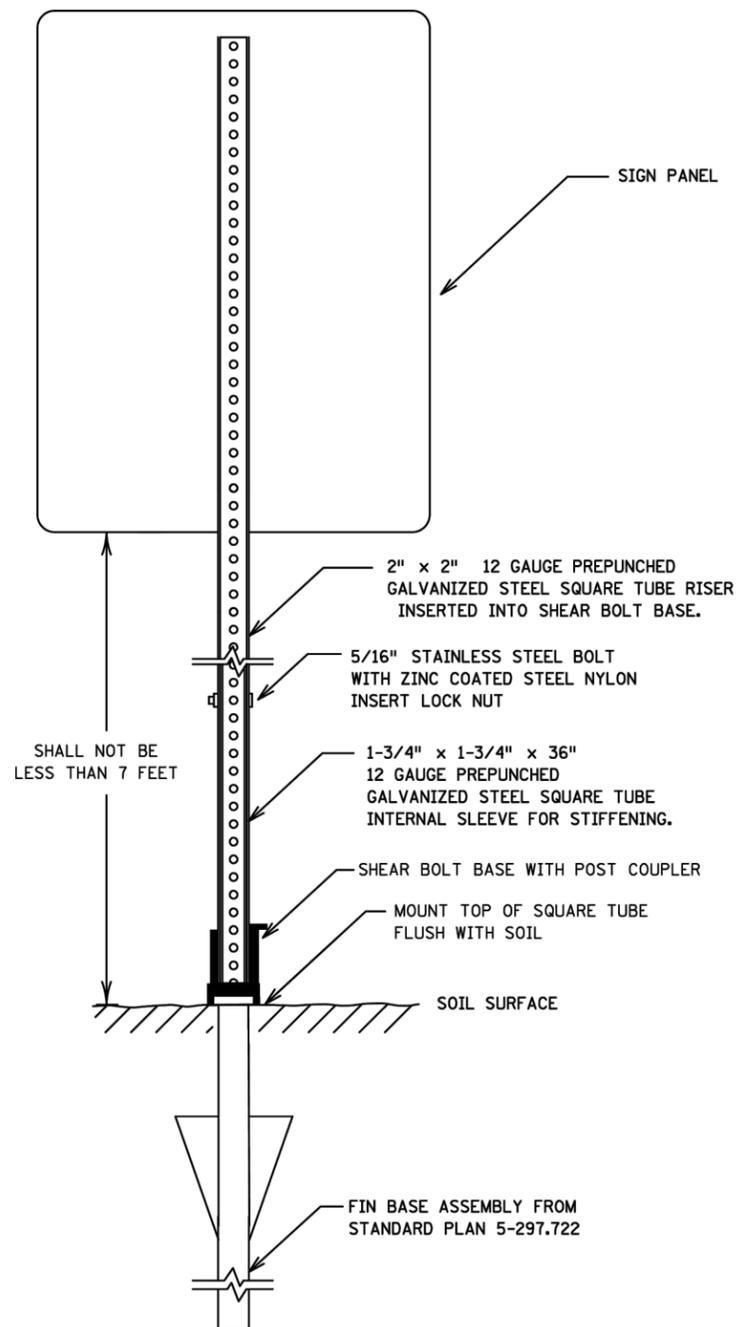
FIN BASE IN CONCRETE

- NOTES:
1. FOR SIGN PANEL MOUNTING DETAILS SEE STANDARD PLAN 5-297.720.
  2. SQUARE TUBE SIGN POSTS PER MnDOT SPEC. 3402.

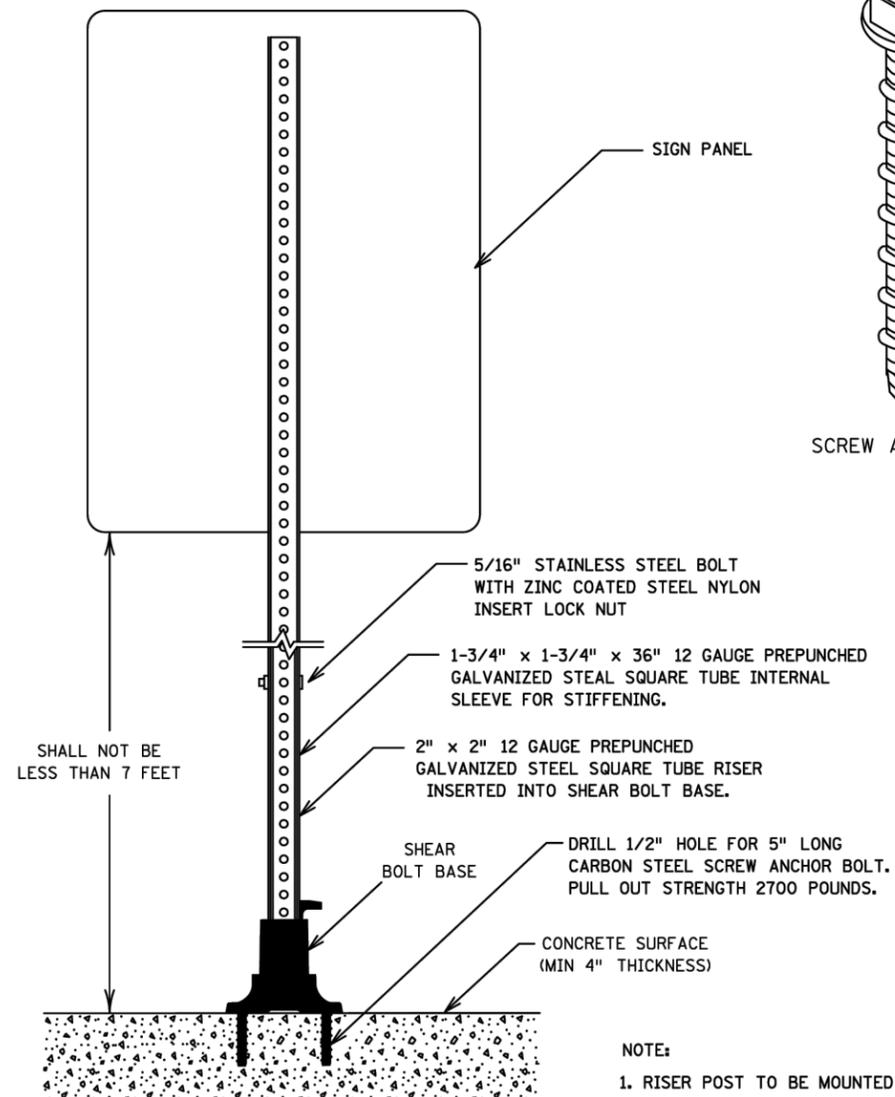
**SQUARE TUBE  
FIN BASE**



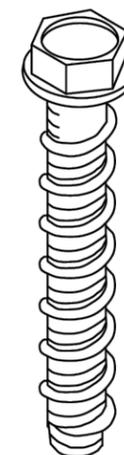
SHEAR BOLT BASE CORED THROUGH CONCRETE



SHEAR BOLT BASE IN SOIL



SHEAR BOLT BASE MOUNTED TO CONCRETE SURFACE

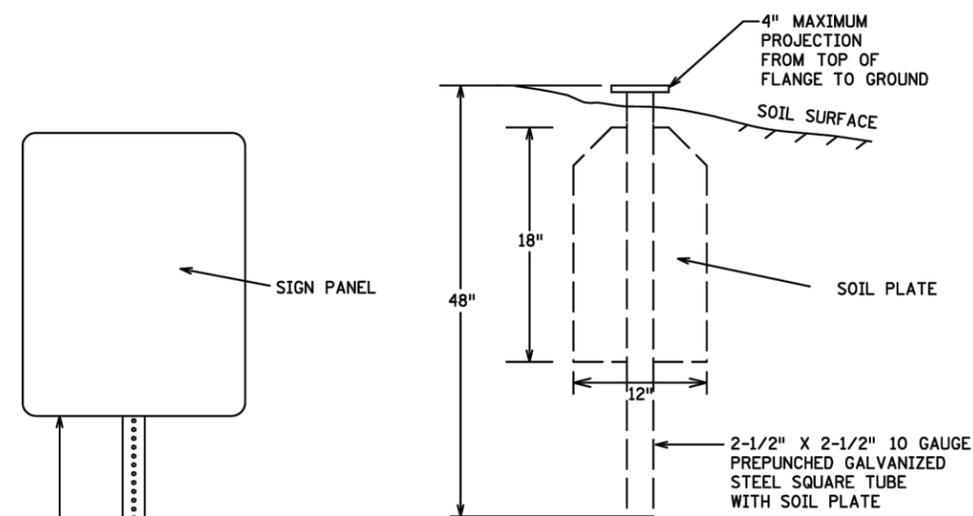


SCREW ANCHOR BOLT

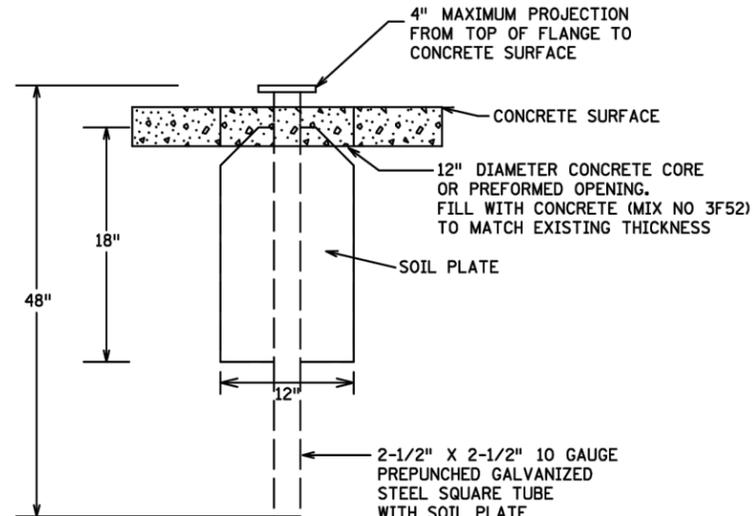
**NOTE:**

1. RISER POST TO BE MOUNTED CLOSE TO PLUMB. UP TO A MAXIMUM OF 1/2" OF SHIM WASHERS MAY BE USED BETWEEN SHEAR BOLT BASE AND CONCRETE FOR LEVELING. IF MORE THAN 1/2" OF SHIMS ARE REQUIRED, THEN CORE THROUGH THE CONCRETE.
2. INSTALLATION OF SHEAR BOLT BASE SHALL BE NO EARLIER THAN 3 DAYS AFTER CONCRETE IS PLACED.
3. FOR SHEAR BOLT BASE USE APPROVED PRODUCT FROM MNDOT APPROVED PRODUCTS LIST, PRODUCT SHALL BE MODIFIED AS SHOWN.
4. USE ANTI SEIZE ON THE SHEAR BOLT CONNECTIONS.
5. FOR SIGN PANEL MOUNTING DETAILS SEE STANDARD PLAN 5-297.720.
6. SQUARE TUBE SIGN POSTS PER MNDOT SPEC. 3402.

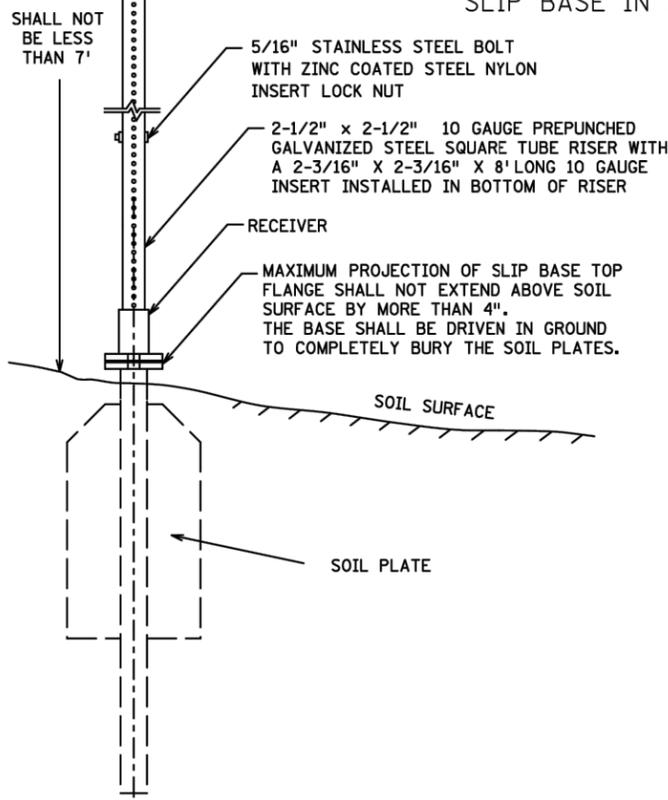
**SQUARE TUBE SHEAR BOLT BASE**



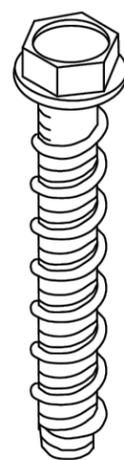
SLIP BASE IN SOIL DETAIL



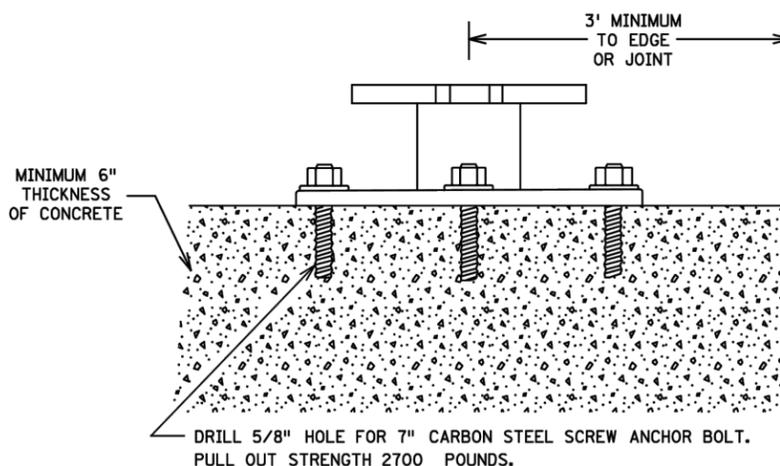
SLIP BASE CORED THROUGH CONCRETE DETAIL



SLIP BASE  
(TYPICAL PLACEMENT IN SOIL SHOWN)



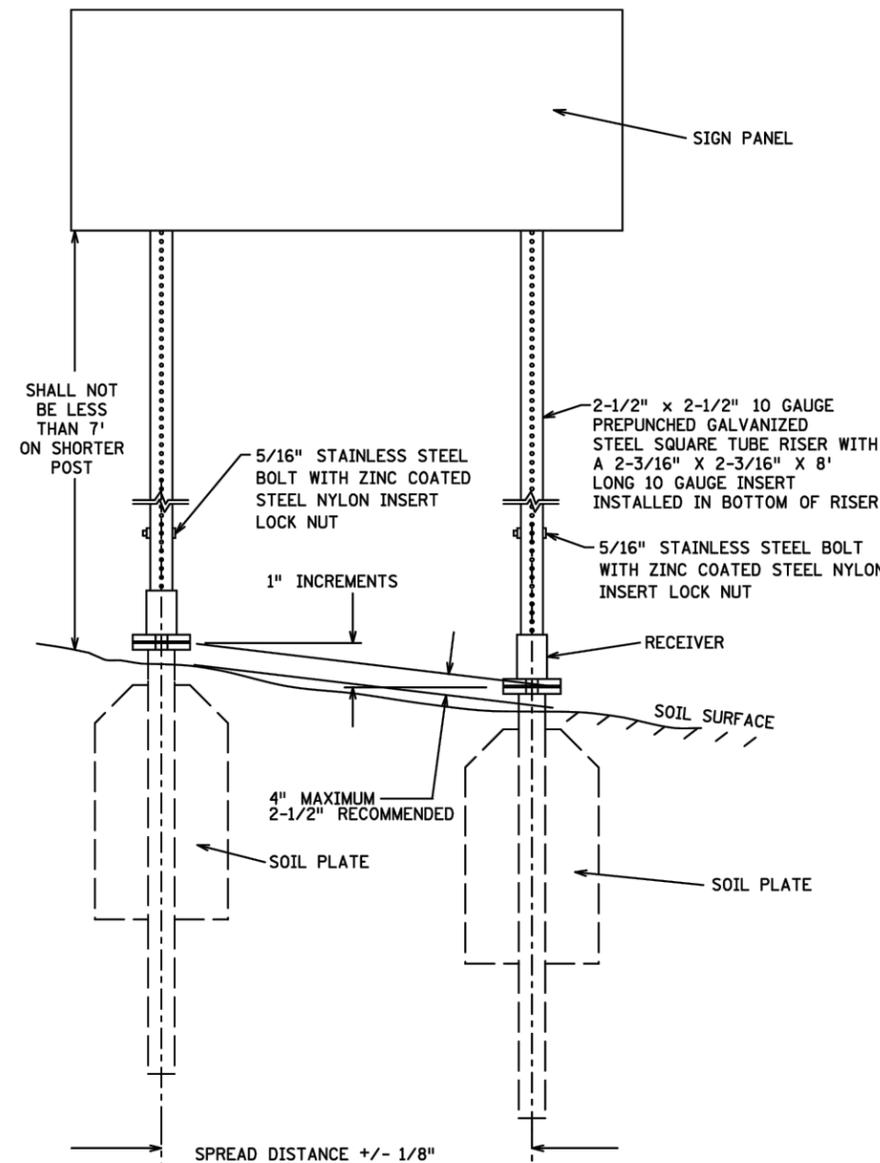
SCREW ANCHOR BOLT



SLIP BASE MOUNTED TO CONCRETE SURFACE DETAIL

NOTES:

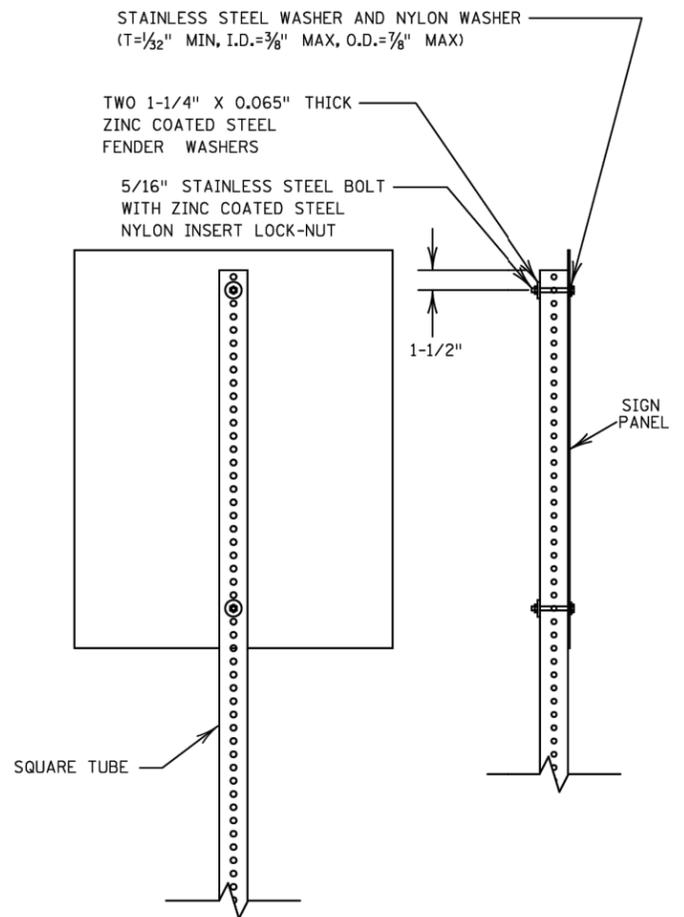
1. FOR SLIP BASE USE APPROVED PRODUCT FROM MNDOT APPROVED PRODUCTS LIST. PRODUCTS SHALL BE MODIFIED AS SHOWN.
2. RISER POST TO BE MOUNTED CLOSE TO PLUMB. UP TO A MAXIMUM OF 1/2" OF SHIM WASHERS MAY BE USED BETWEEN SLIP BASE AND CONCRETE FOR LEVELING.
3. 1/16" THICK LEVELING SHIMS MAY BE USED TO PLUMB TOP HALF. SHIMS NEED TO BE PLACED UNDER TEFLON COATED SLIP WASHER MAXIMUM OF 2 SHIMS PER NOTCH POINT.
4. FOR SIGN PANEL MOUNTING DETAILS SEE STANDARD PLAN 5-297.720.
5. SQUARE TUBE SIGN POST PER MNDOT SPEC. 3402.



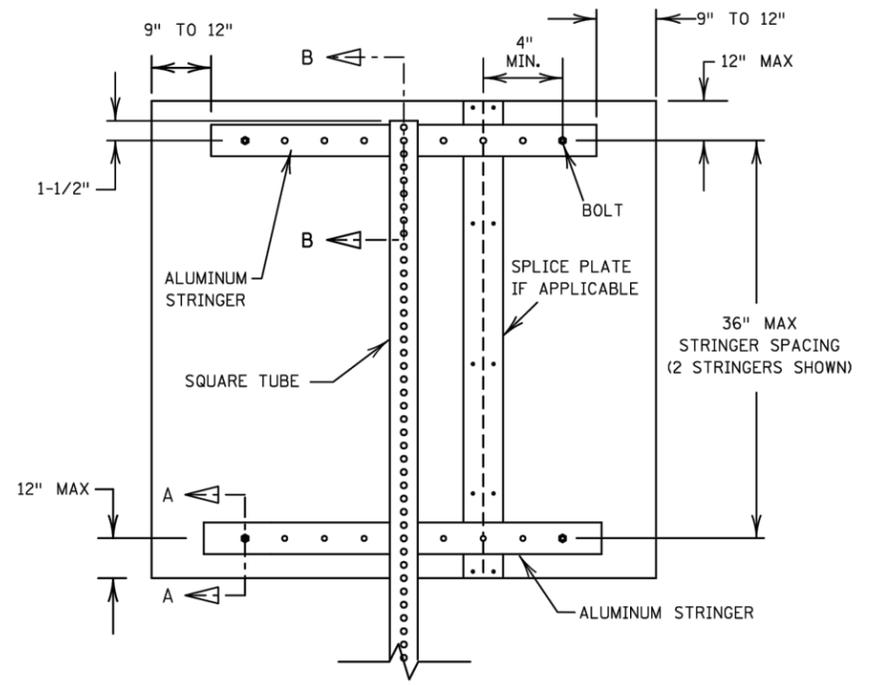
FOR MULTIPLE POST APPLICATIONS, ENSURE SOIL PLATES ARE COMPLETELY BURIED, IF SOIL SURFACE IS NOT LEVEL THE BASES SHALL BE DRIVEN IN UNTIL BASES ARE OFFSET IN 1 INCH INCREMENTS. THE BASES SHALL BE TRUE AND SQUARE WITH ONE ANOTHER TO ENSURE PROPER UNRESTRICTED INSERTION OF STEEL TUBE RISERS. SIGN PANELS SHALL BE MOUNTED LEVEL.

MULTIPLE POST SLIP BASE DETAIL

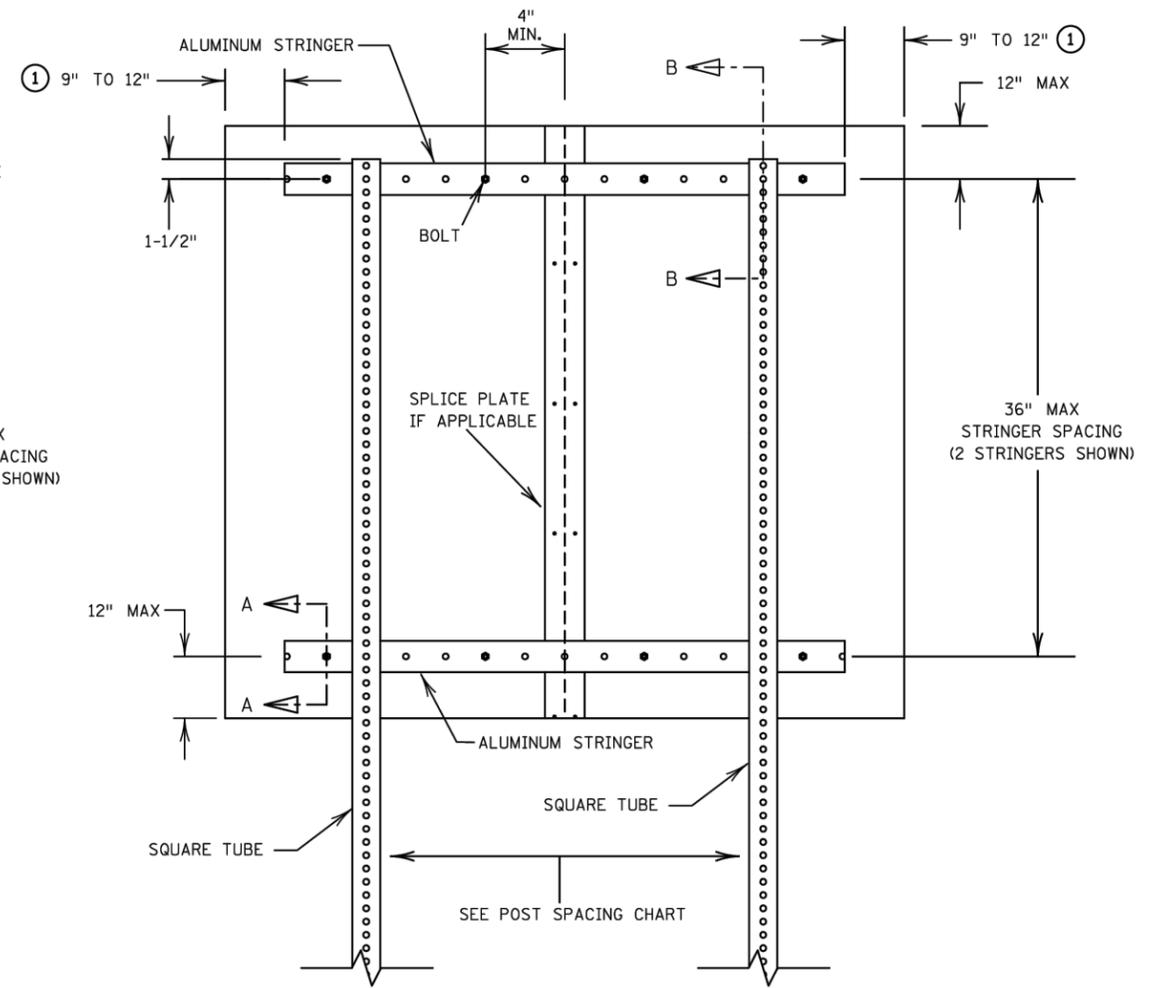
**SQUARE TUBE  
SLIP BASE**



FOR SIGN PANELS UP TO 30" WIDE

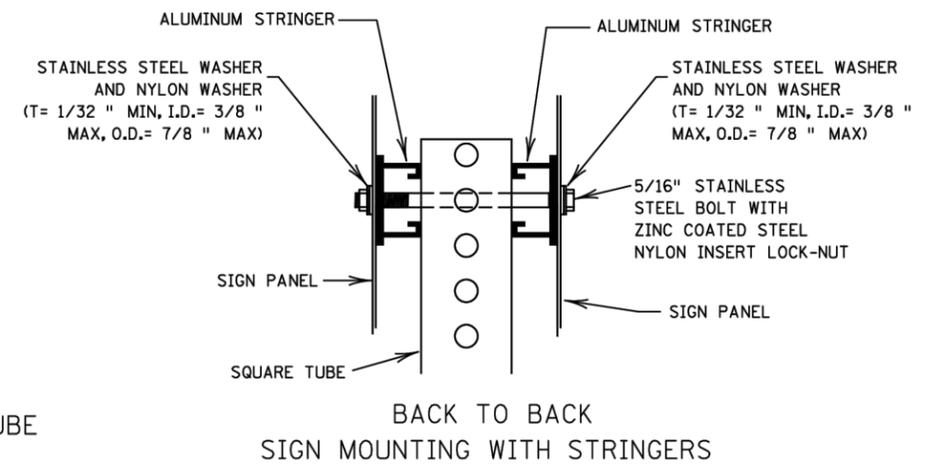
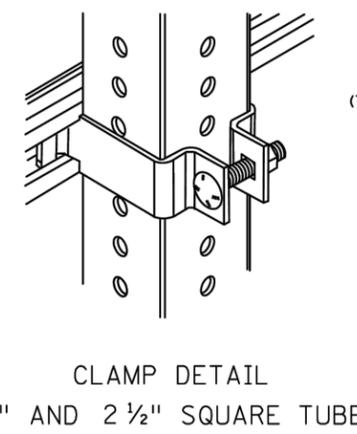
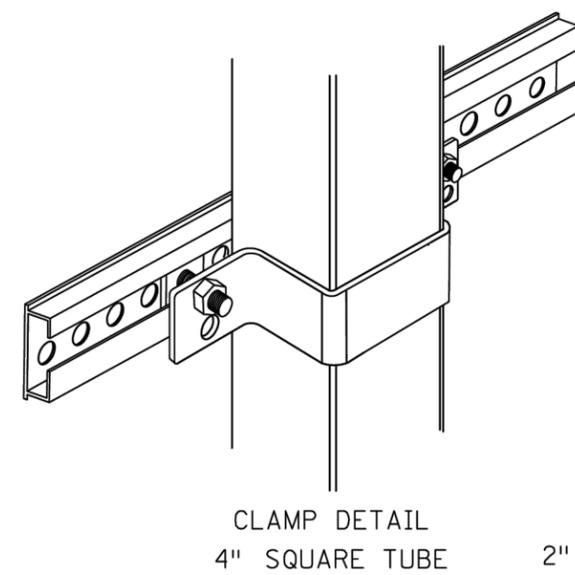
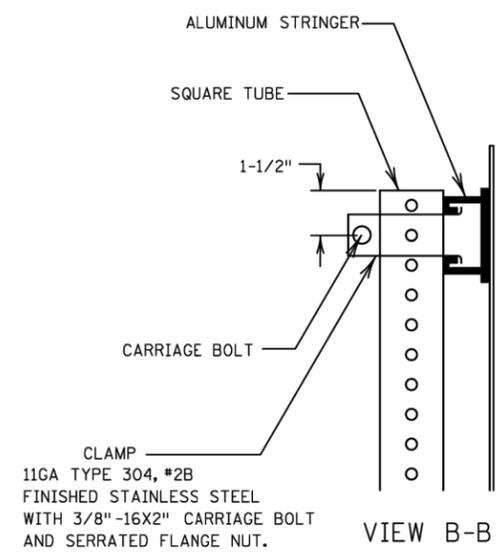
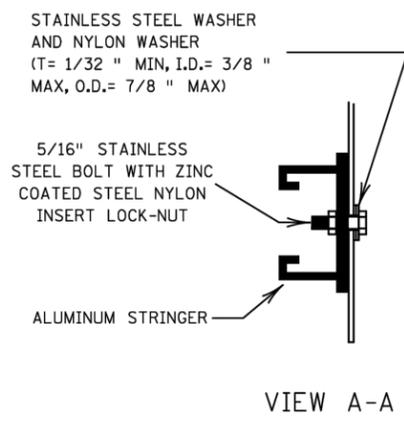


FOR SIGN PANELS 36" WIDE  
OR GREATER ON ONE POST



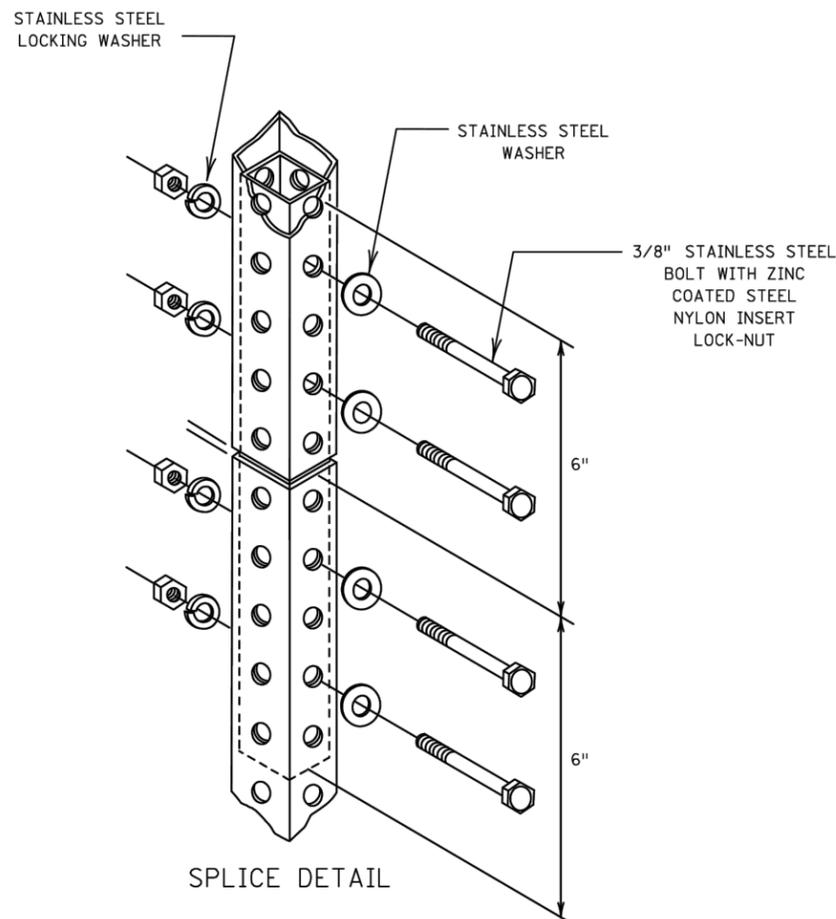
FOR SIGN PANELS ON TWO OR MORE POSTS

① IF POST SPACING REQUIRES PLACEMENT OF A POST WITHIN THIS AREA, EXTEND STRINGERS AS NEEDED TO ACCOMMODATE THE STRINGER TO POST CLAMP.



- NOTES:
1. BOLT SIGN PANELS TO STRINGERS OR RISER POSTS AT NO GREATER THAN 24 INCH SPACING. SEE THE MNDOT STANDARD SIGNS AND MARKINGS MANUAL FOR MOUNTING HOLES (PUNCH CODES) INFORMATION.
  2. STRINGERS SHALL BE CENTERED ON SIGN PANEL.

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NO MORE THAN ONE SPLICE PER POST.

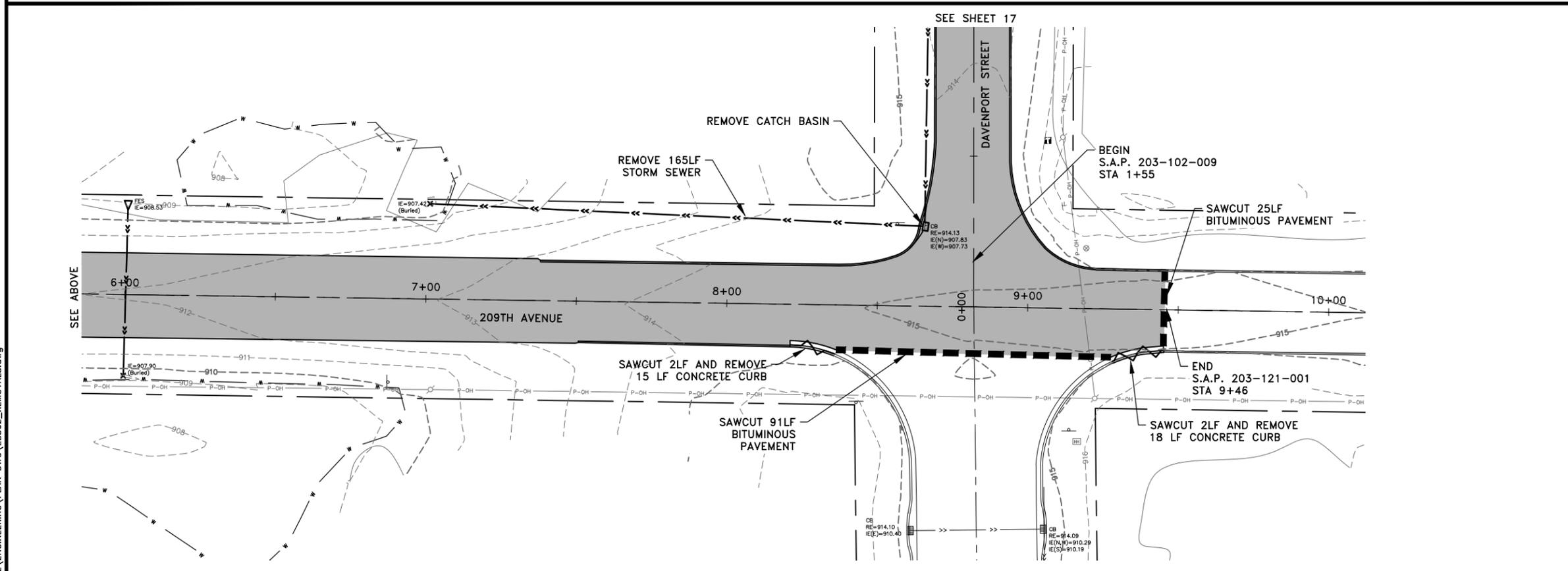
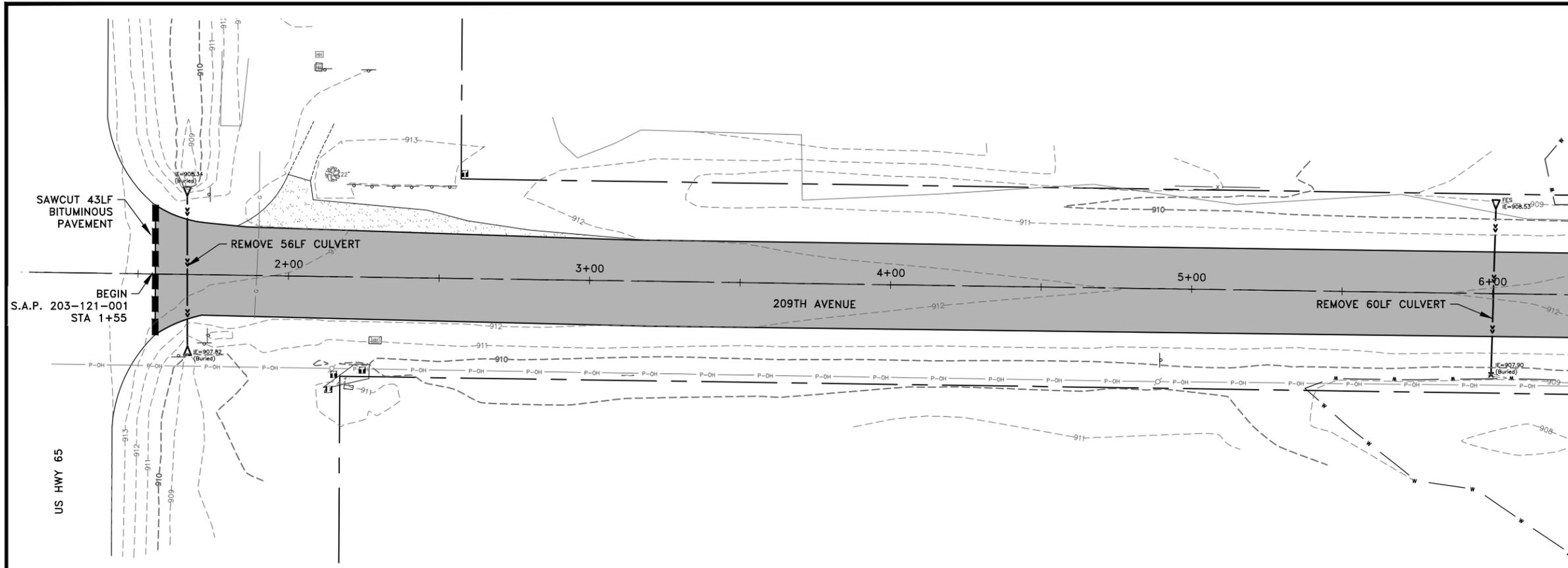
WHEN USED MUST BE PLACED AT LEAST 8 FEET ABOVE GROUND. THE PREFERRED PLACEMENT LOCATION IS BEHIND THE SIGN PANEL.

INTERIOR POST STUD SHALL BE ONE SIZE SMALLER FOR A TIGHT FIT. IF RISER POST IS 2-1/2", INTERIOR POST IS 2-3/16". IF RISER POST IS 2", INTERIOR POST IS 1-3/4".

PANEL WIDTH (IN)	SQUARE TUBE POST SPACING						
	2 POSTS (IN)	3 POSTS (IN)	4 POSTS (IN)	5 POSTS (IN)	6 POSTS (IN)	7 POSTS (IN)	8 POSTS (IN)
24	12						
30	12						
36	12						
42	18						
48	24						
54	30						
60	36						
66	36						
72	42						
78	42						
84	48						
90	48	42					
96	48	42					
102	54	42					
108	54	42					
114	60	42					
120	60	48					
126	66	48					
132	66	48	42				
138	72	48	42				
144	72	48	42				
150	78	54	42				
156	78	54	42				
162	84	54	42				
168	84	60	48				
174	90	60	48	42			
180	90	60	48	42			
186	96	66	48	42			
192	96	66	48	42			
198	102	66	54	42			
204	102	72	54	42			
210	108	72	54	42			
216	108	72	54	48	42		
222	114	78	60	48	42		
228	114	78	60	48	42		
234	120	78	60	48	42		
240	120	84	60	48	42		
246		84	66	54	42		
252		84	66	54	42		
258		90	66	54	42	42	
264		90	66	54	48	42	
270		90	72	54	48	42	
276		96	72	60	48	42	
282		96	72	60	48	42	
288		96	72	60	48	42	
294		102	78	60	54	42	
300		102	78	60	54	42	42
306		102	78	66	54	42	42
312		108	78	66	54	48	42
318		108	84	66	54	48	42
324		108	84	66	54	48	42
330		114	84	66	60	48	42
336		114	84	72	60	48	42

DISTANCES ARE CENTER-TO-CENTER OF POSTS

 FULL DEPTH RECLAMATION



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*CHAI G. JOCHUM*  
 CHAI G. JOCHUM, P.E.  
 Date 2/8/24 Lic. No. 23461

DESIGNED BY: CJJ  
 DRAWN BY: DMS  
 CHECKED BY: CJJ



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 3601 Thurston Ave., Anoka, Minnesota 55303  
 763-427-5860 FAX 763-427-0520  
 www.hakansonanderson.com

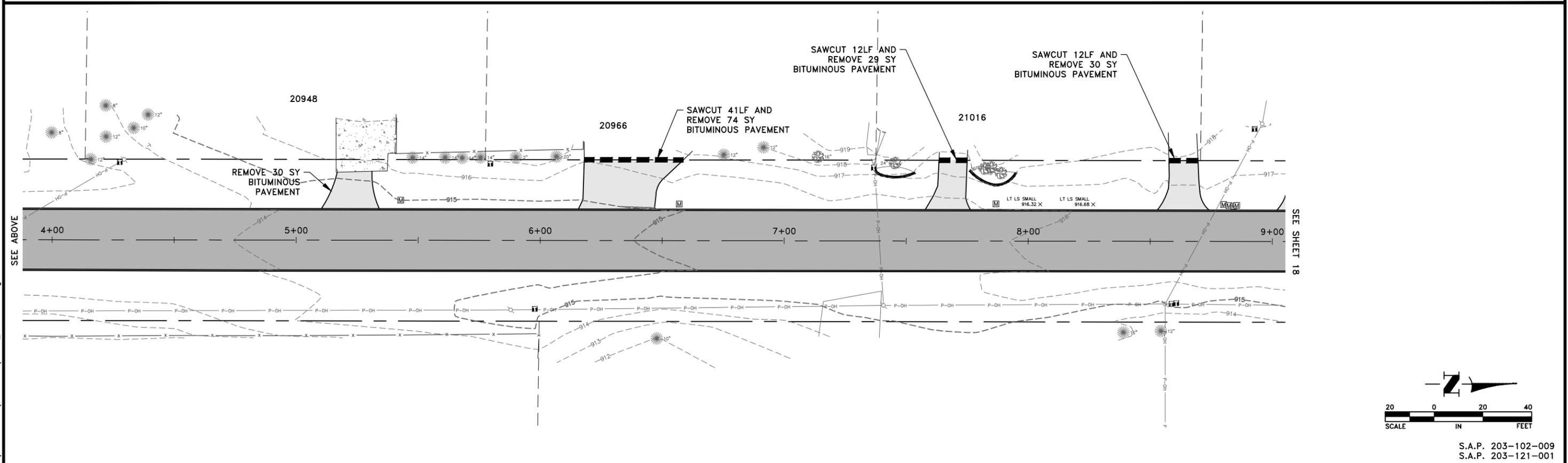
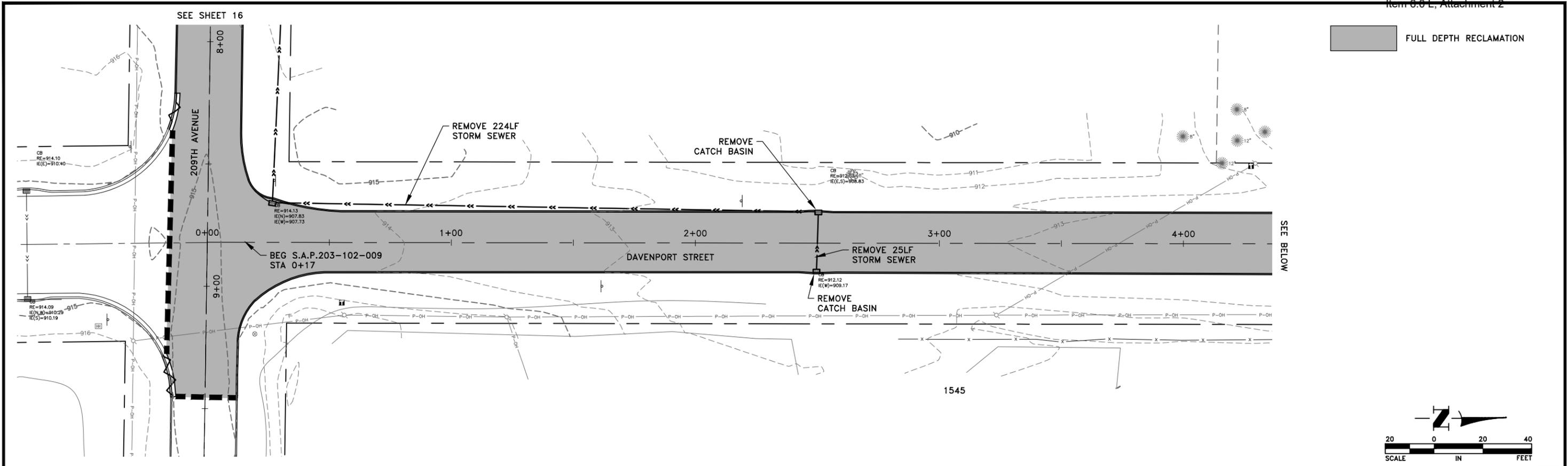
2024 STREET RECONSTRUCTION PROJECT

EXISTING CONDITIONS AND REMOVALS PLAN

209TH AVENUE NE  
 CITY OF EAST BETHEL

SHEET 16 OF 37 SHEETS

S.A.P. 203-102-009  
 S.A.P. 203-121-001



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**2024 STREET RECONSTRUCTION PROJECT**

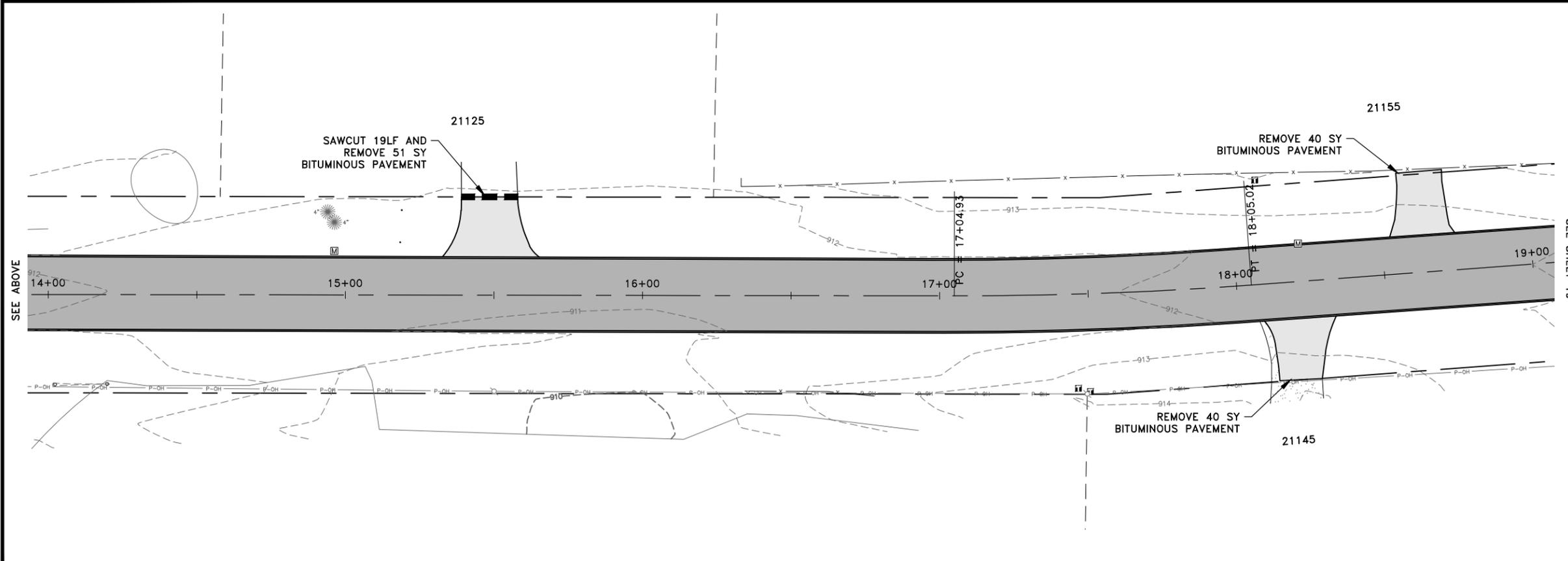
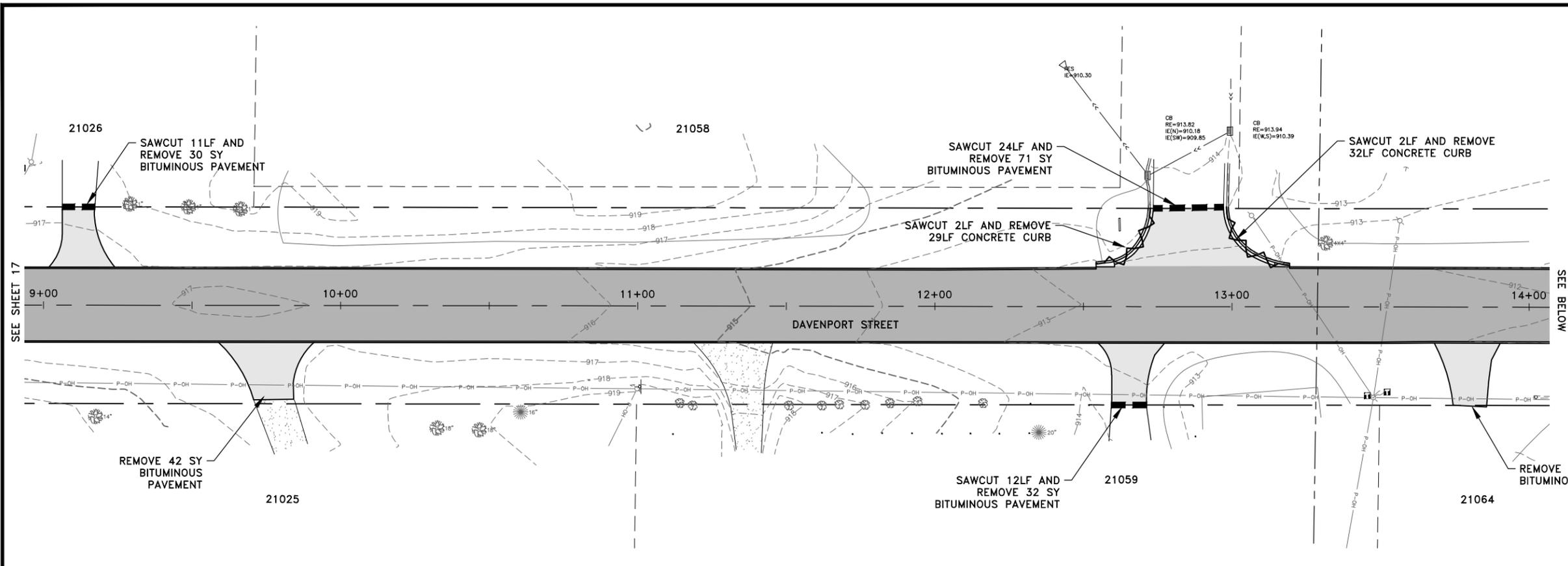
**EXISTING CONDITIONS AND REMOVALS PLAN**

DAVENPORT STREET NE  
 CITY OF EAST BETHEL

SHEET 17 OF 37 SHEETS

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FULL DEPTH RECLAMATION



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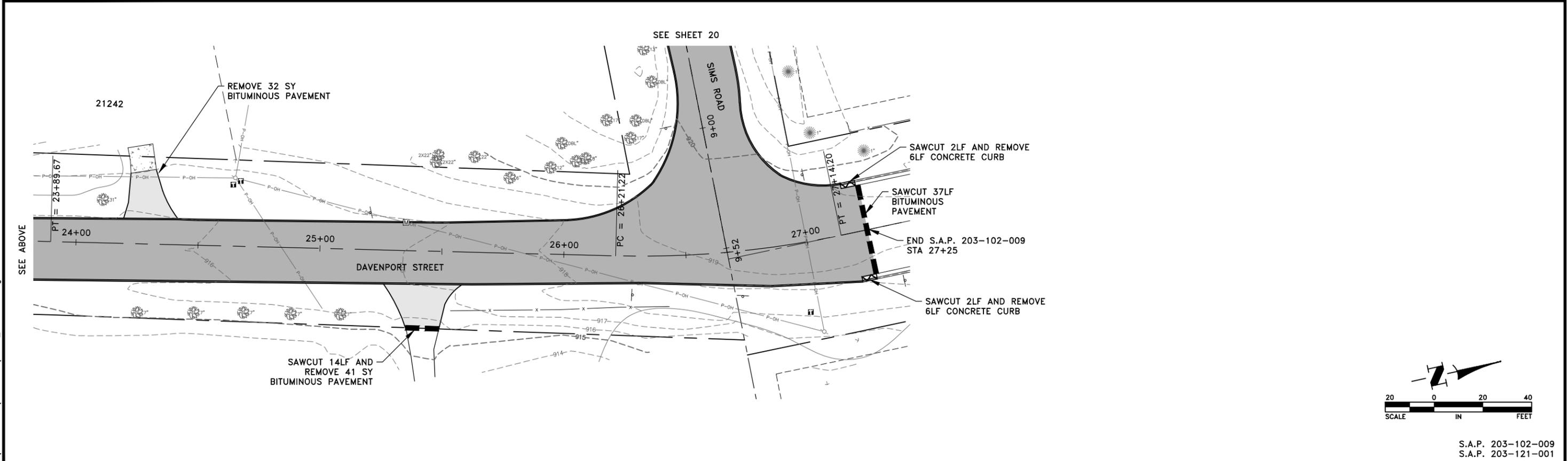
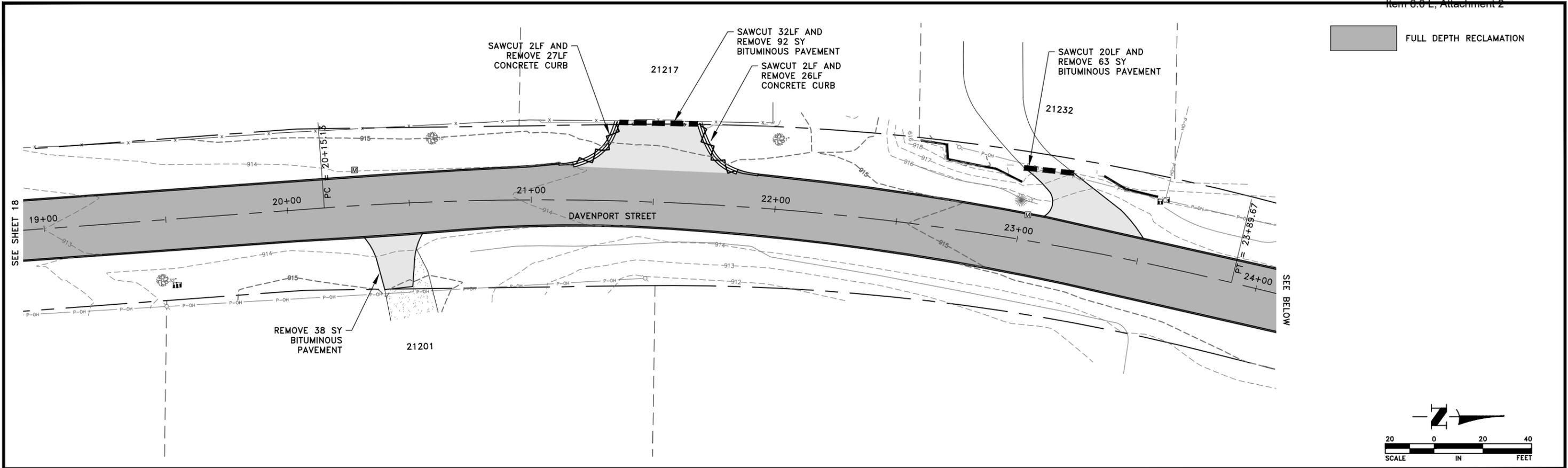
**2024 STREET RECONSTRUCTION PROJECT**

**EXISTING CONDITIONS AND REMOVALS PLAN**

**DAVENPORT STREET NE  
 CITY OF EAST BETHEL**

SHEET 18 OF 37 SHEETS

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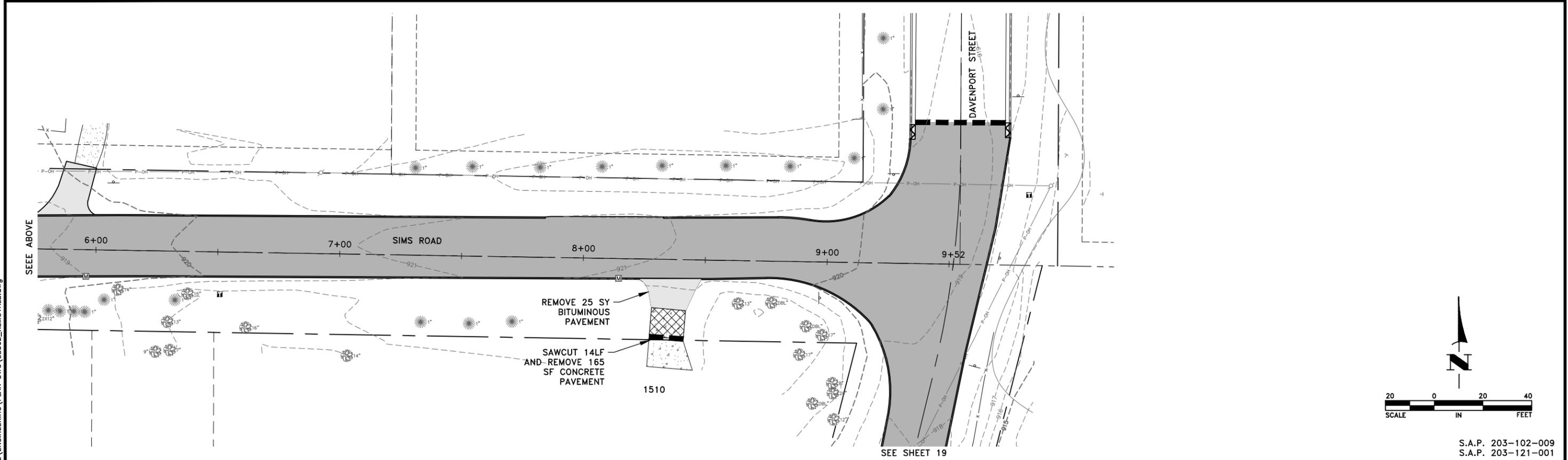
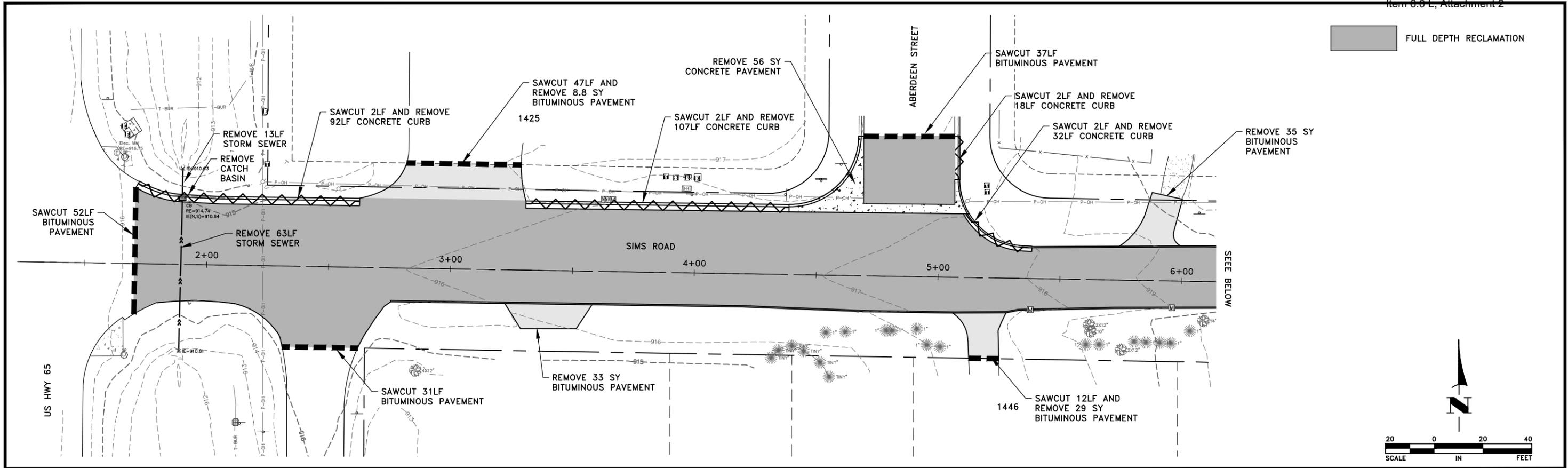
2024 STREET RECONSTRUCTION PROJECT

EXISTING CONDITIONS AND REMOVALS PLAN

DAVENPORT STREET NE  
 CITY OF EAST BETHEL

SHEET 19 OF 37 SHEETS

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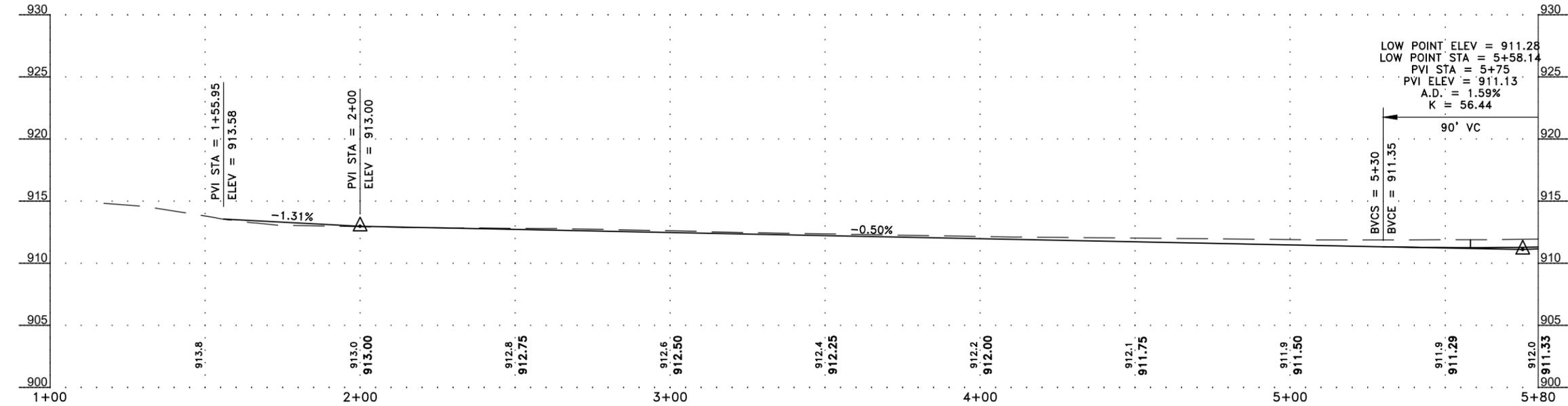
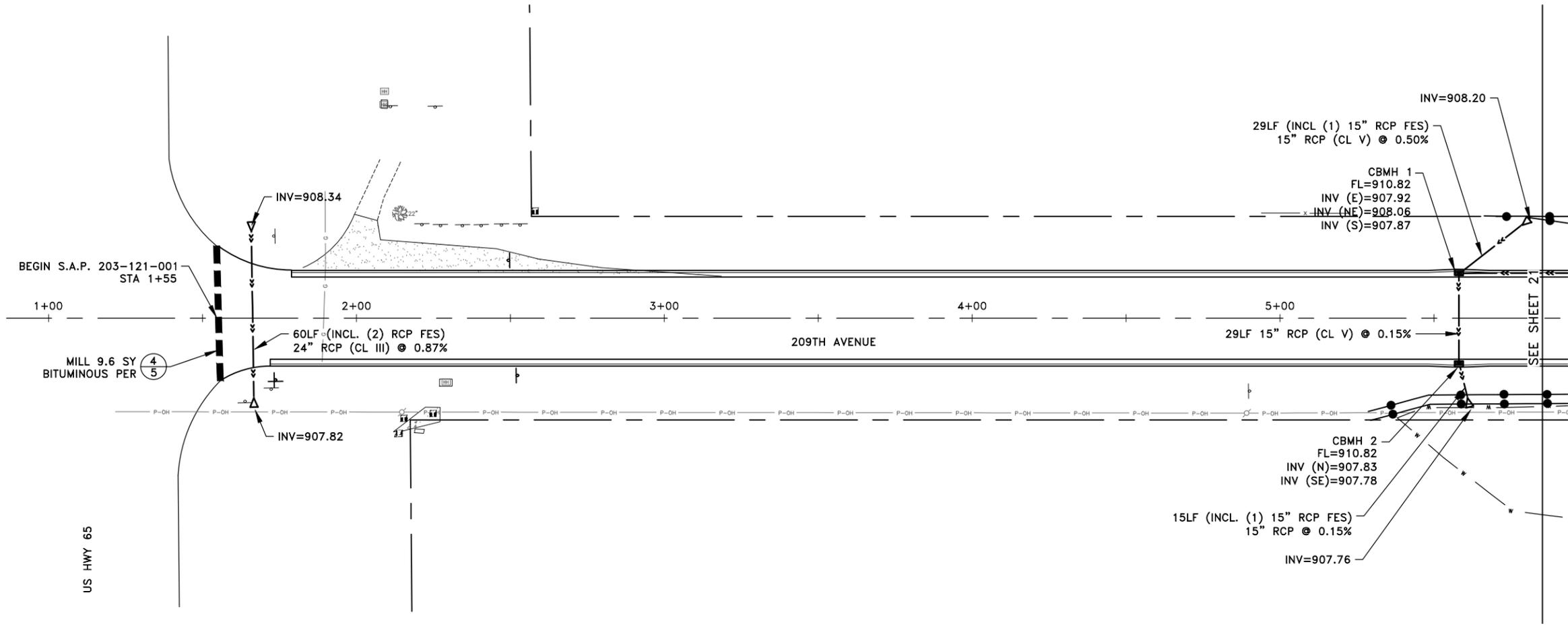
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**2024 STREET RECONSTRUCTION PROJECT**

**EXISTING CONDITIONS AND REMOVALS PLAN**

SIMS ROAD  
 CITY OF EAST BETHEL

SHEET 20 OF 37 SHEETS



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*Craig Jochum*  
**CRAIG J. JOCHUM, P.E.**  
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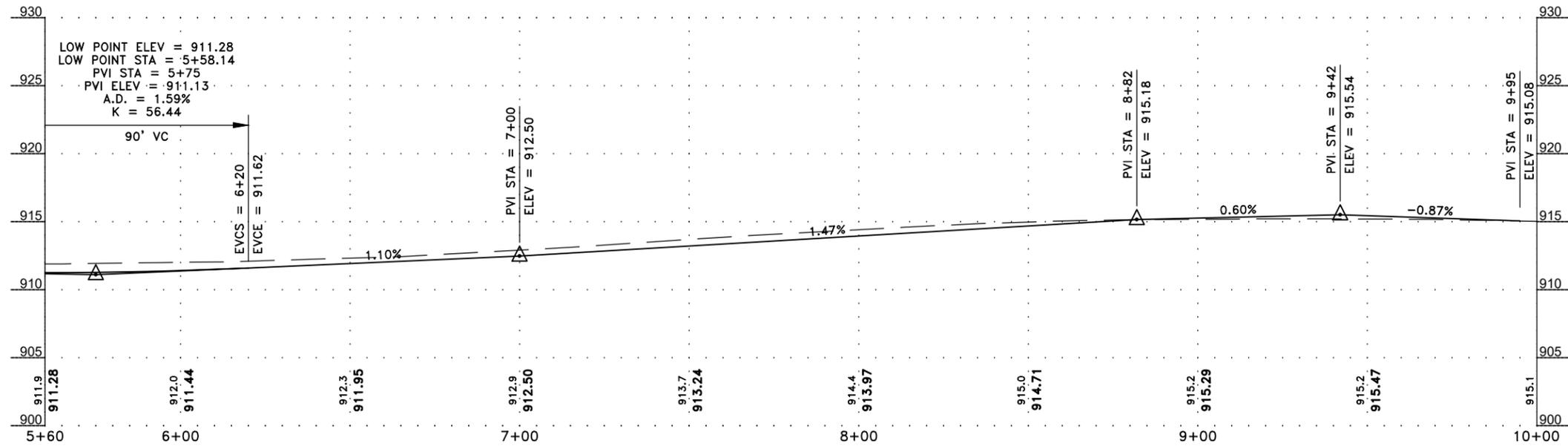
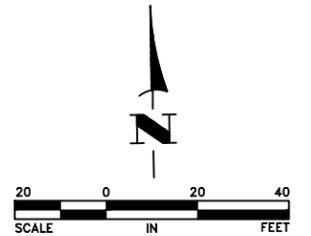
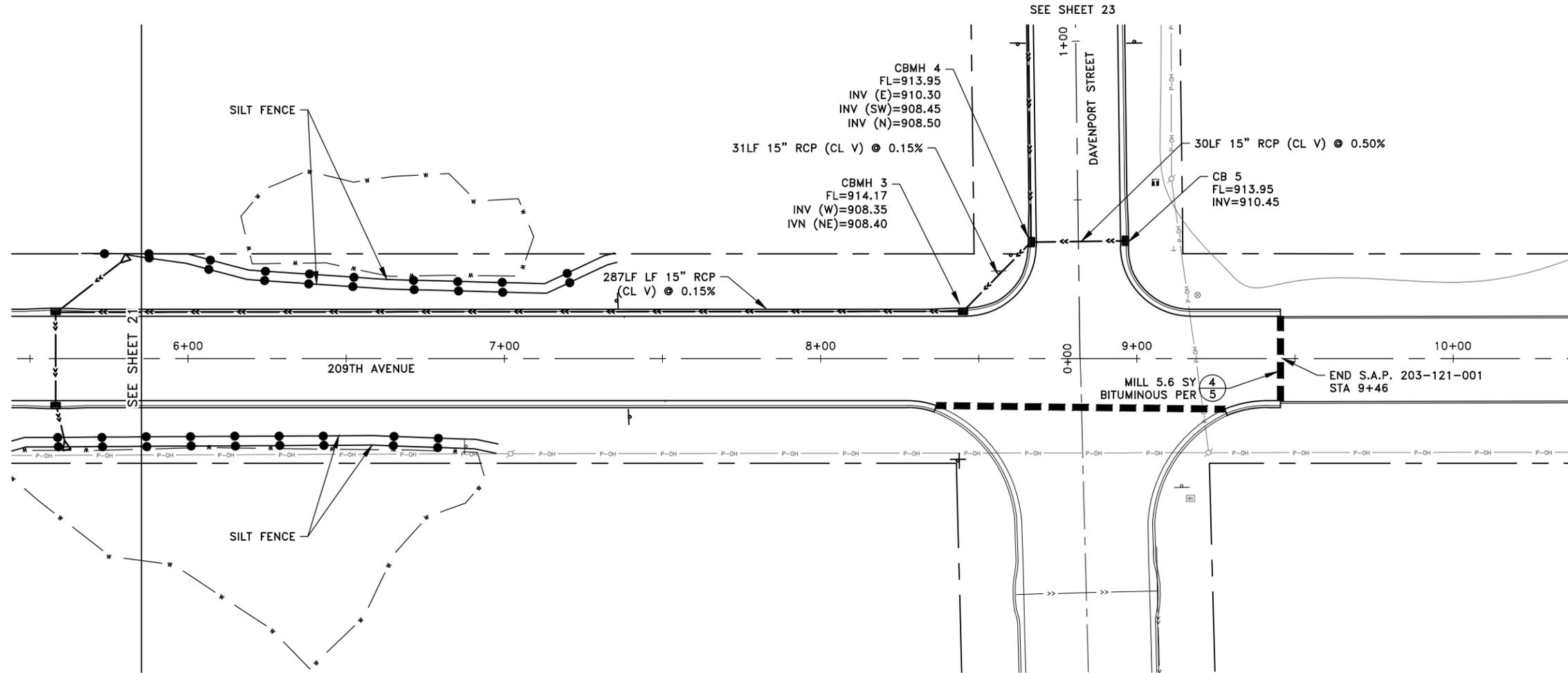


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**2024 STREET RECONSTRUCTION PROJECT**

**CONSTRUCTION PLAN**  
 209TH AVENUE NE  
 CITY OF EAST BETHEL

SHEET 21 OF 37 SHEETS



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*Craig Jochum*  
CRAIG J. JOCHUM, P.E.  
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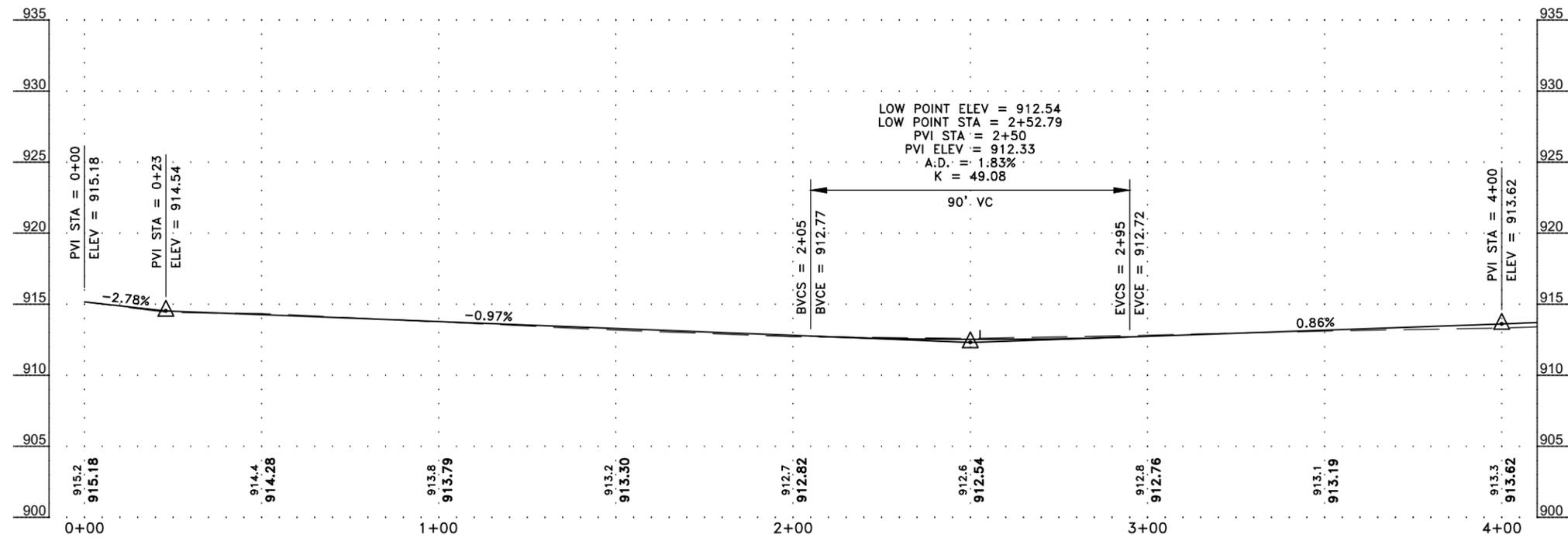
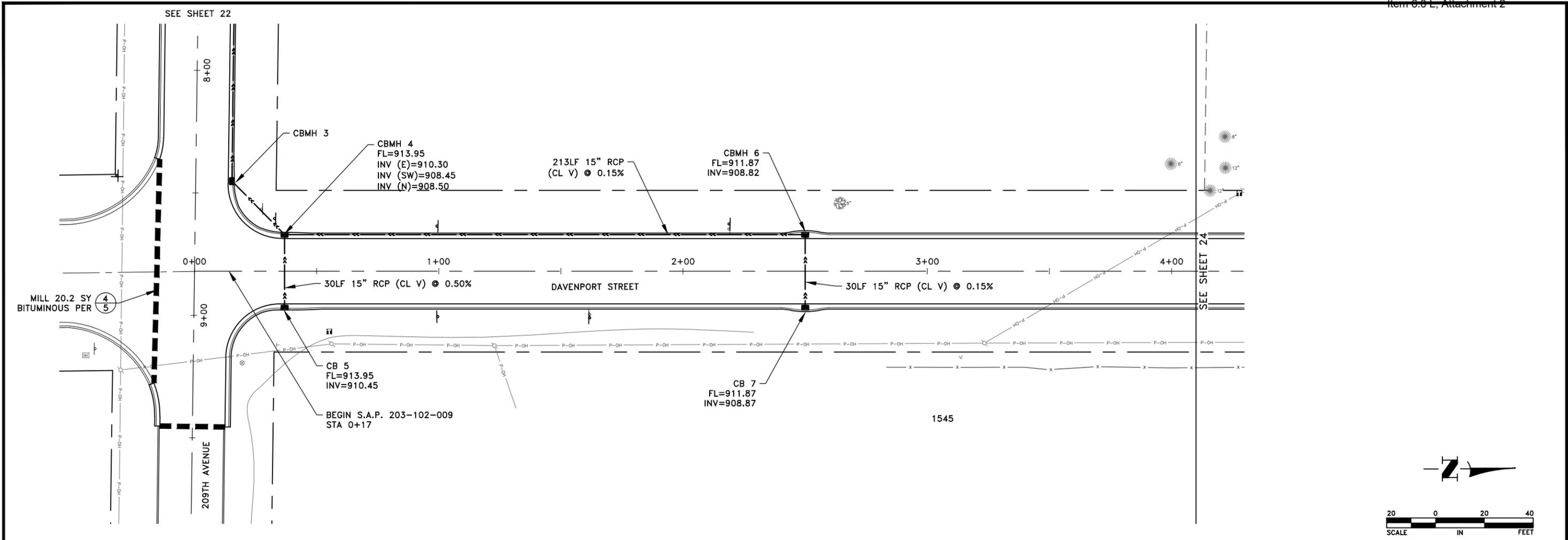


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**2024 STREET RECONSTRUCTION PROJECT**

**CONSTRUCTION PLAN**  
209TH AVENUE NE  
CITY OF EAST BETHEL

SHEET 22 OF 37 SHEETS



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CJJ

DRAWN BY:  
DMS

CHECKED BY:  
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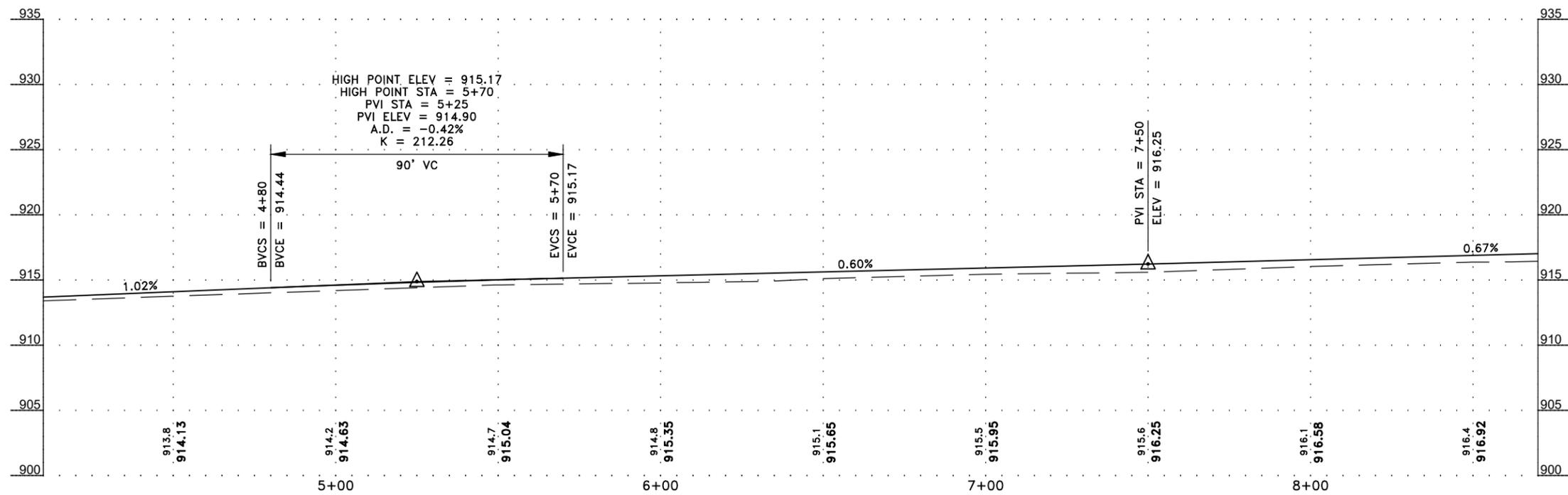
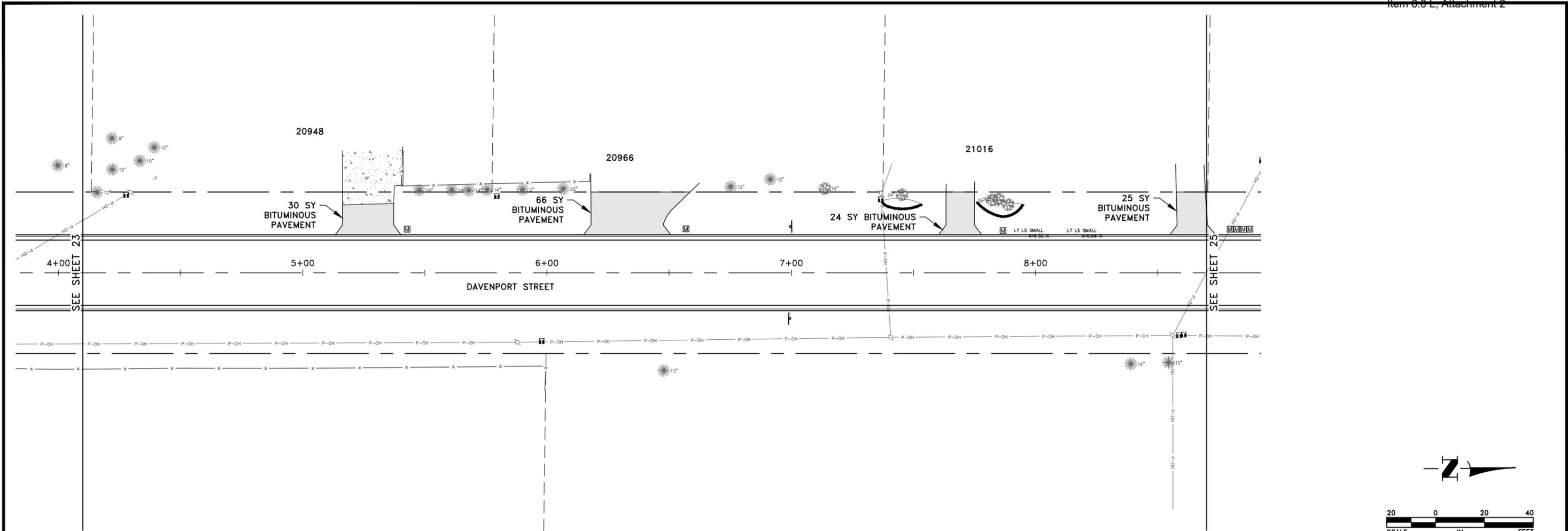
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City Council Packet, page 105

2024 STREET RECONSTRUCTION PROJECT

CONSTRUCTION PLAN  
DAVENPORT STREET NE  
CITY OF EAST BETHEL

SHEET 23 OF 37 SHEETS



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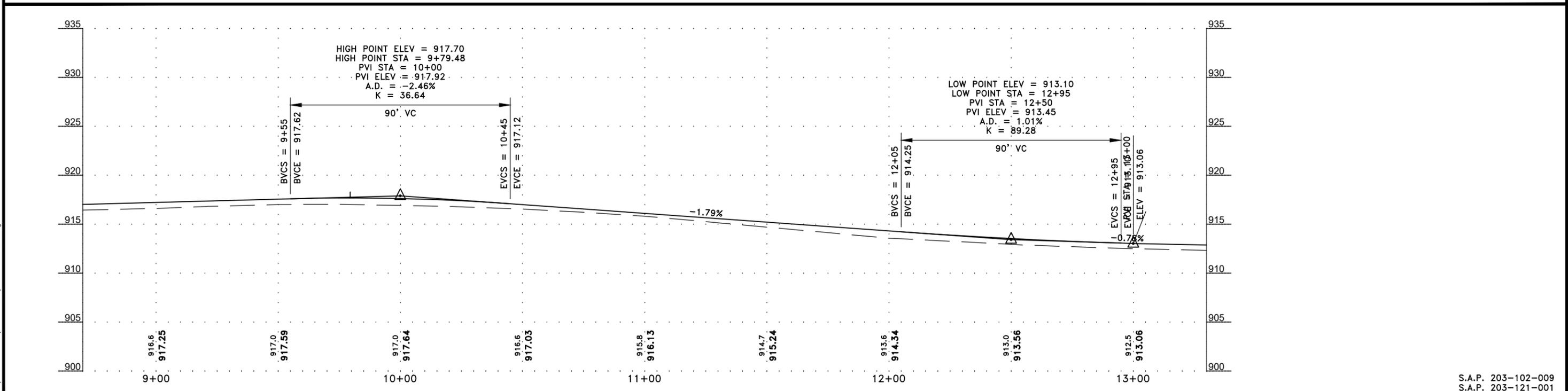
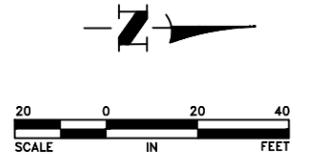
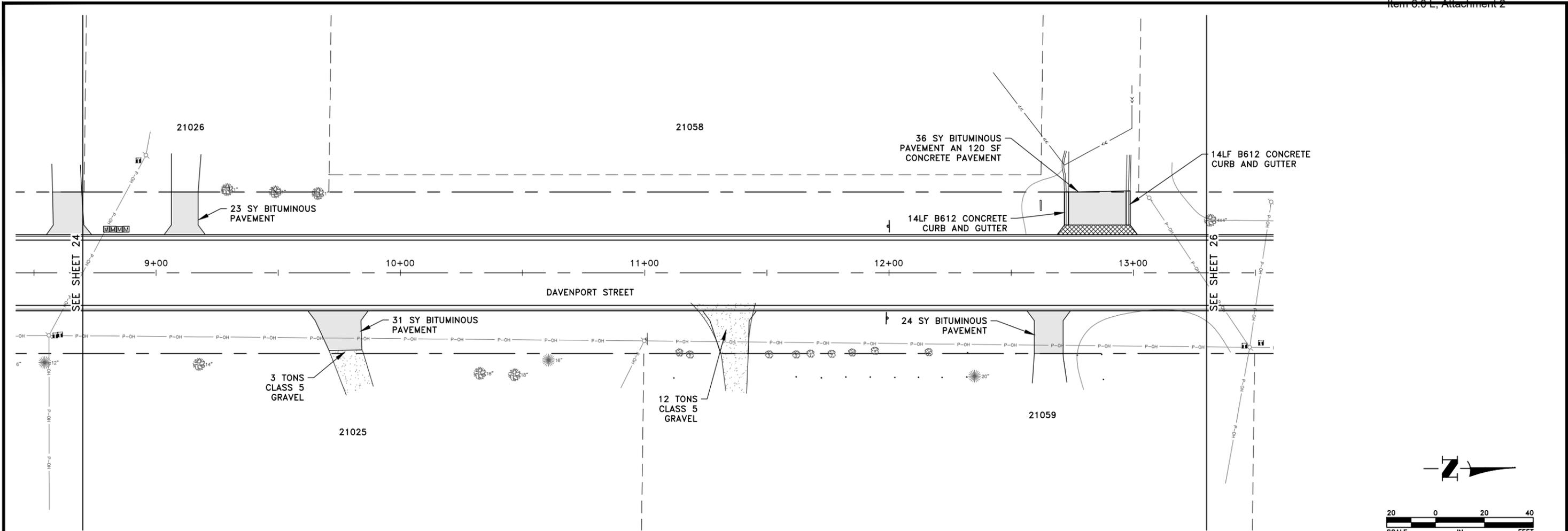
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2024 STREET RECONSTRUCTION PROJECT

CONSTRUCTION PLAN  
 DAVENPORT STREET NE  
 CITY OF EAST BETHEL

SHEET 24 OF 37 SHEETS

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**CRAIG J. JOCHUM, P.E.**  
 Date 2/8/24 Lic. No. 23461

DESIGNED BY: CJJ  
 DRAWN BY: DMS  
 CHECKED BY: CJJ



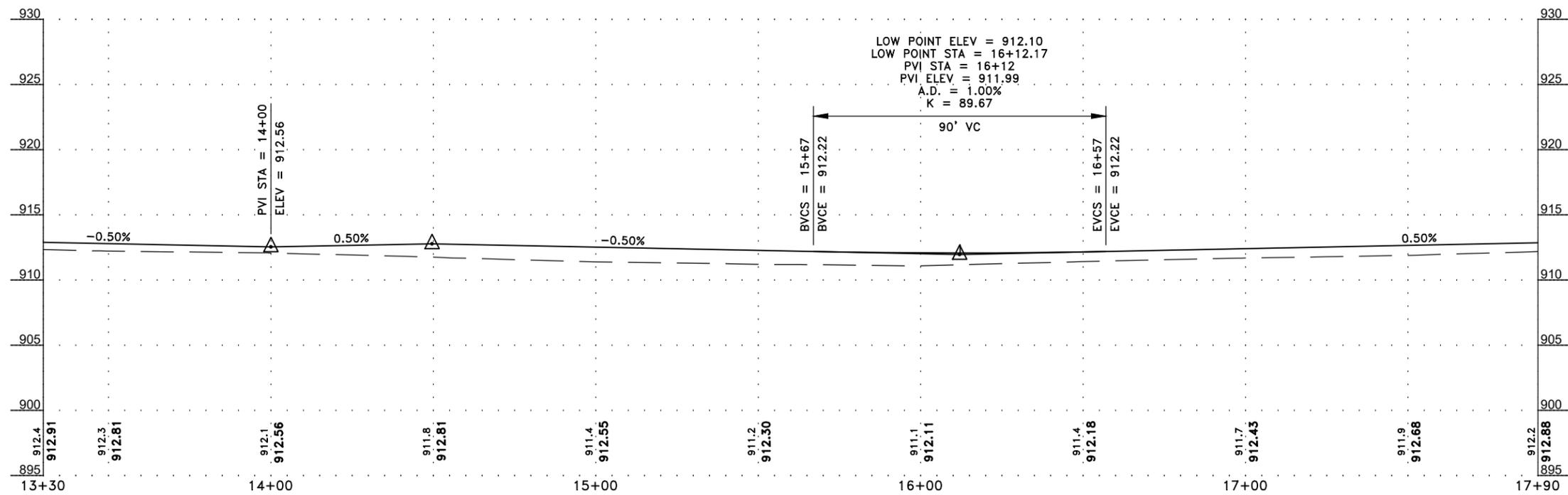
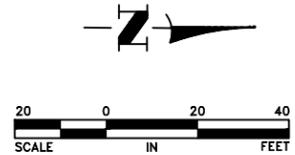
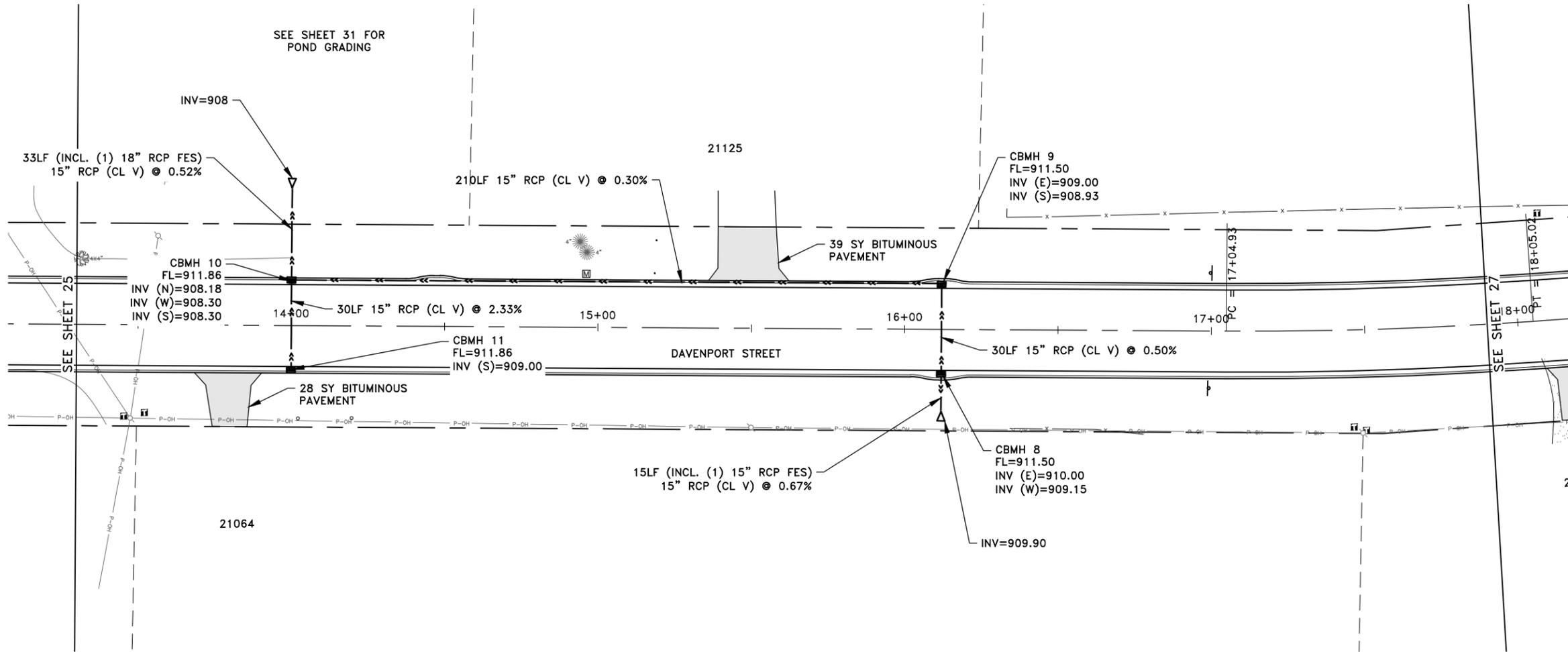
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**2024 STREET RECONSTRUCTION PROJECT**

**CONSTRUCTION PLAN**  
**DAVENPORT STREET NE**  
**CITY OF EAST BETHEL**

S.A.P. 203-102-009  
 S.A.P. 203-121-001

SHEET 25 OF 37 SHEETS



S.A.P. 203-102-009  
S.A.P. 203-121-001

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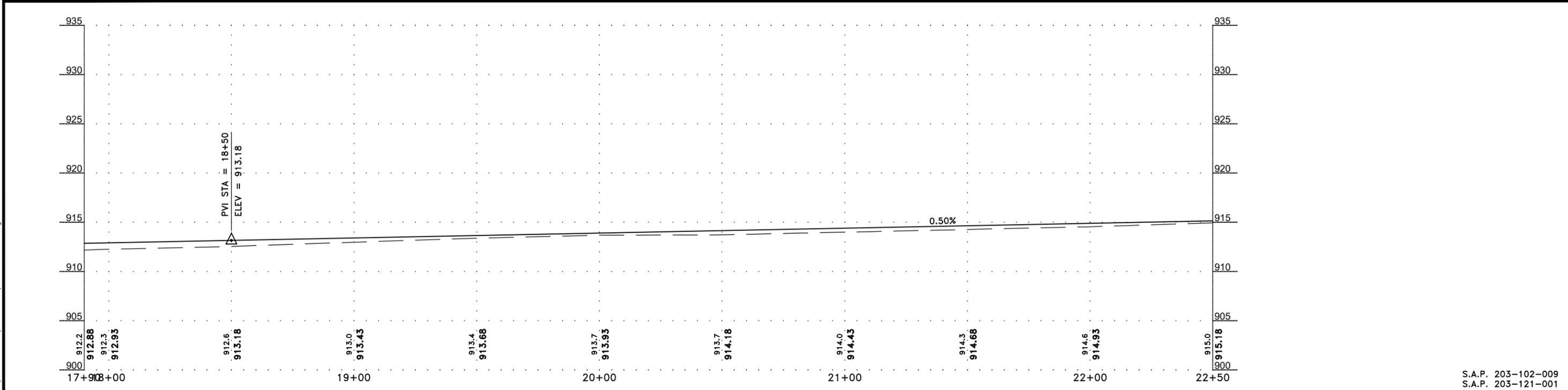
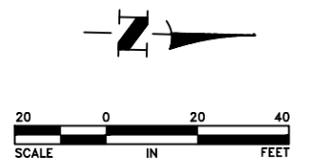
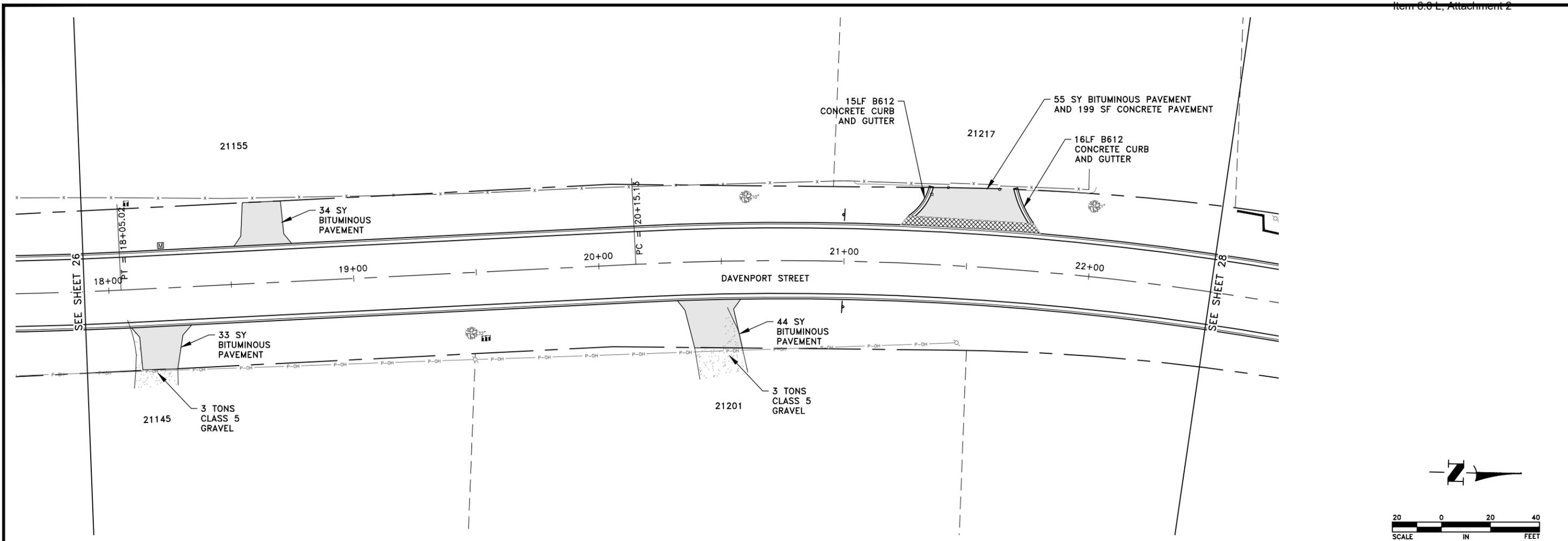


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CONSTRUCTION PLAN  
DAVENPORT STREET NE  
CITY OF EAST BETHEL

SHEET 26 OF 37 SHEETS



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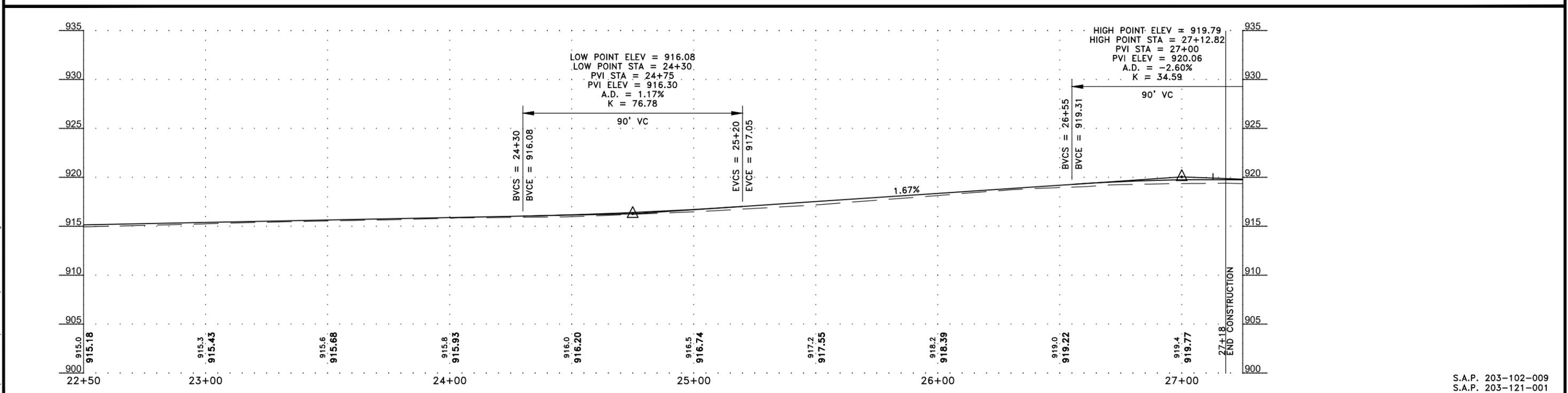
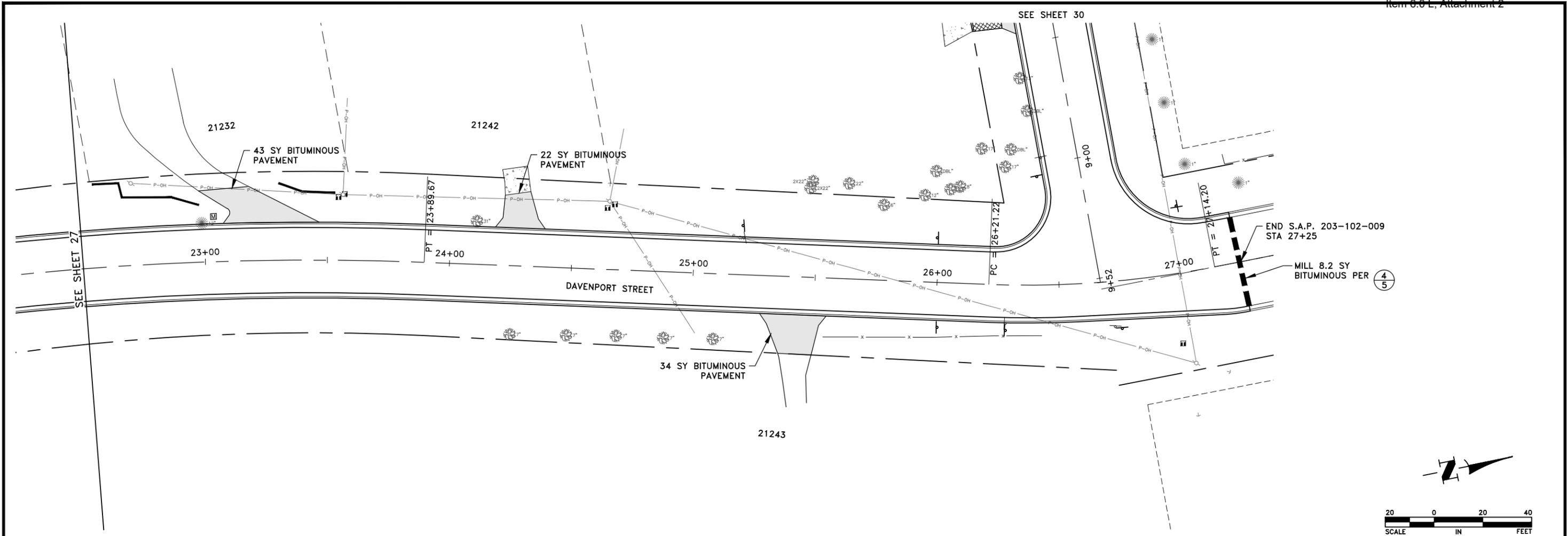


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**CONSTRUCTION PLAN**  
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**CITY OF EAST BETHEL**

SHEET 27 OF 37 SHEETS



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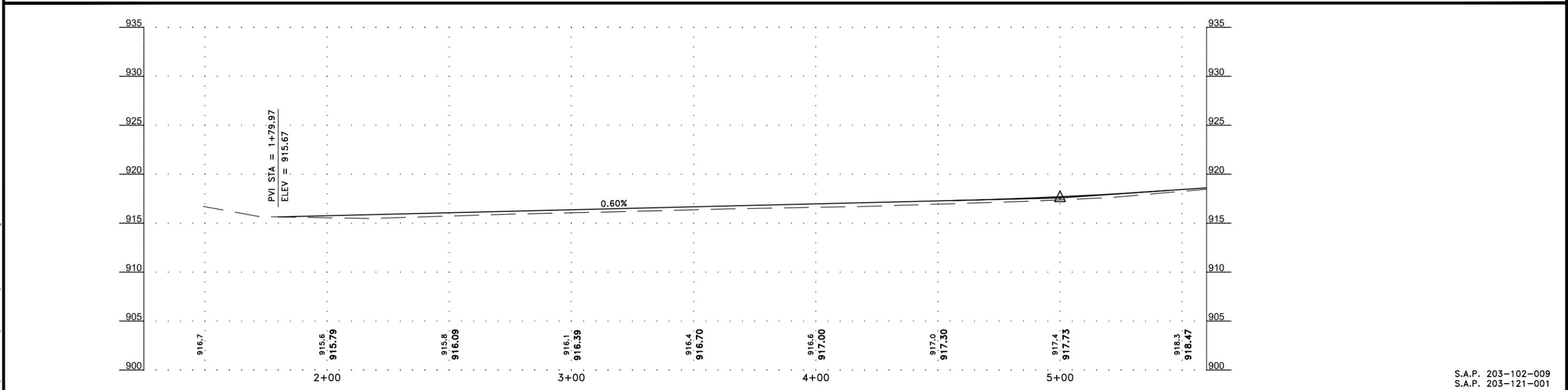
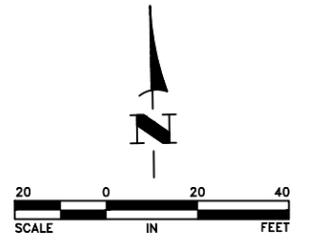
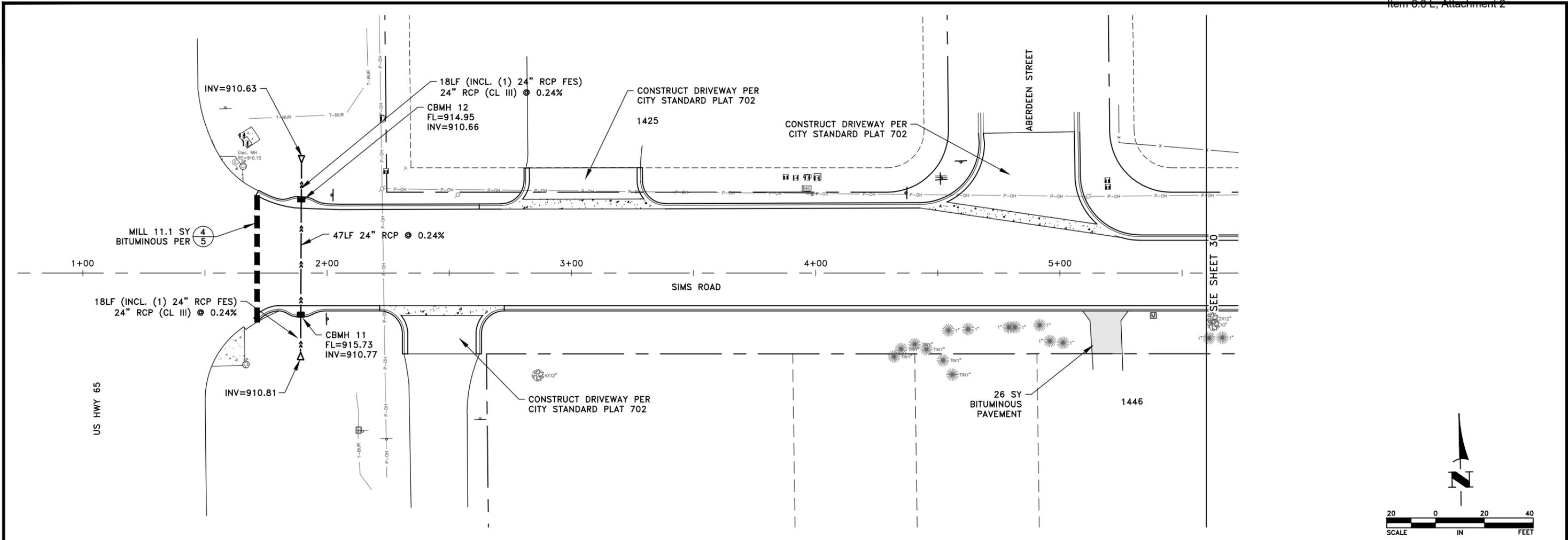
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CONSTRUCTION PLAN  
 DAVENPORT STREET NE  
 CITY OF EAST BETHEL

S.A.P. 203-102-009  
 S.A.P. 203-121-001

SHEET 28 OF 37 SHEETS



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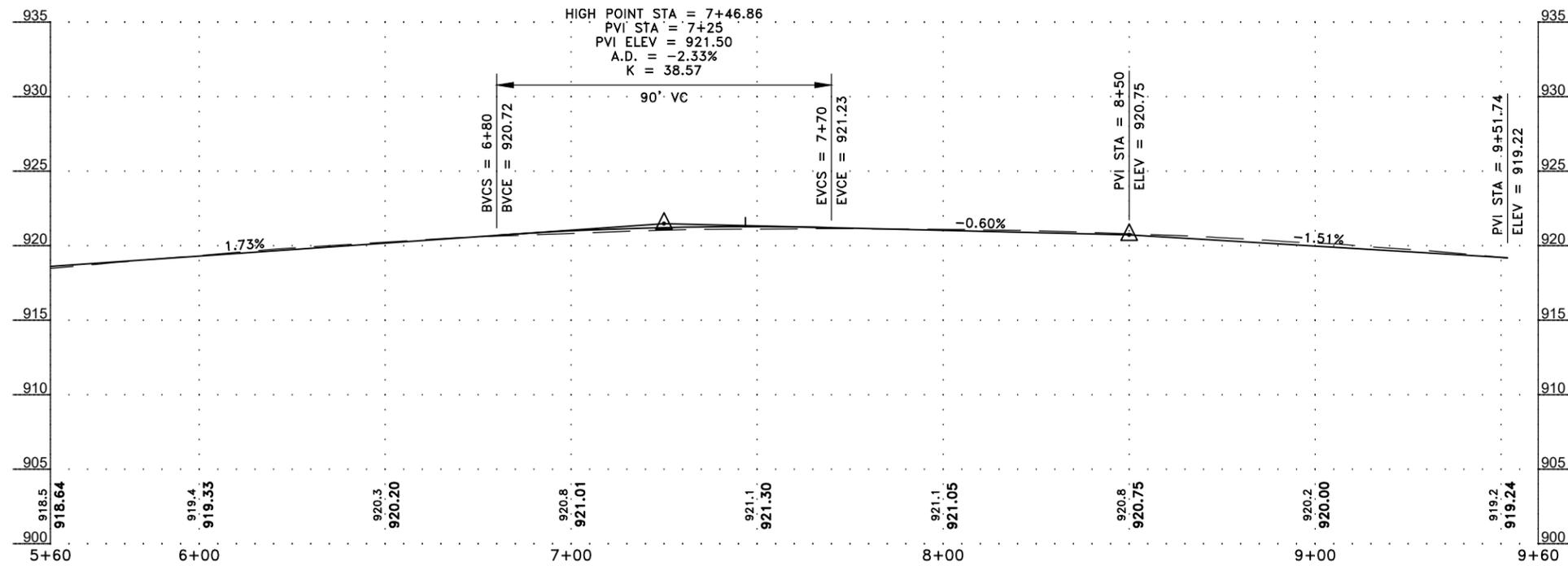
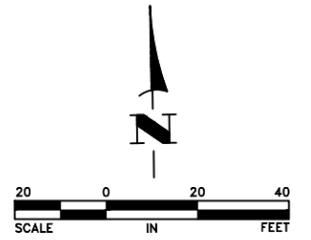
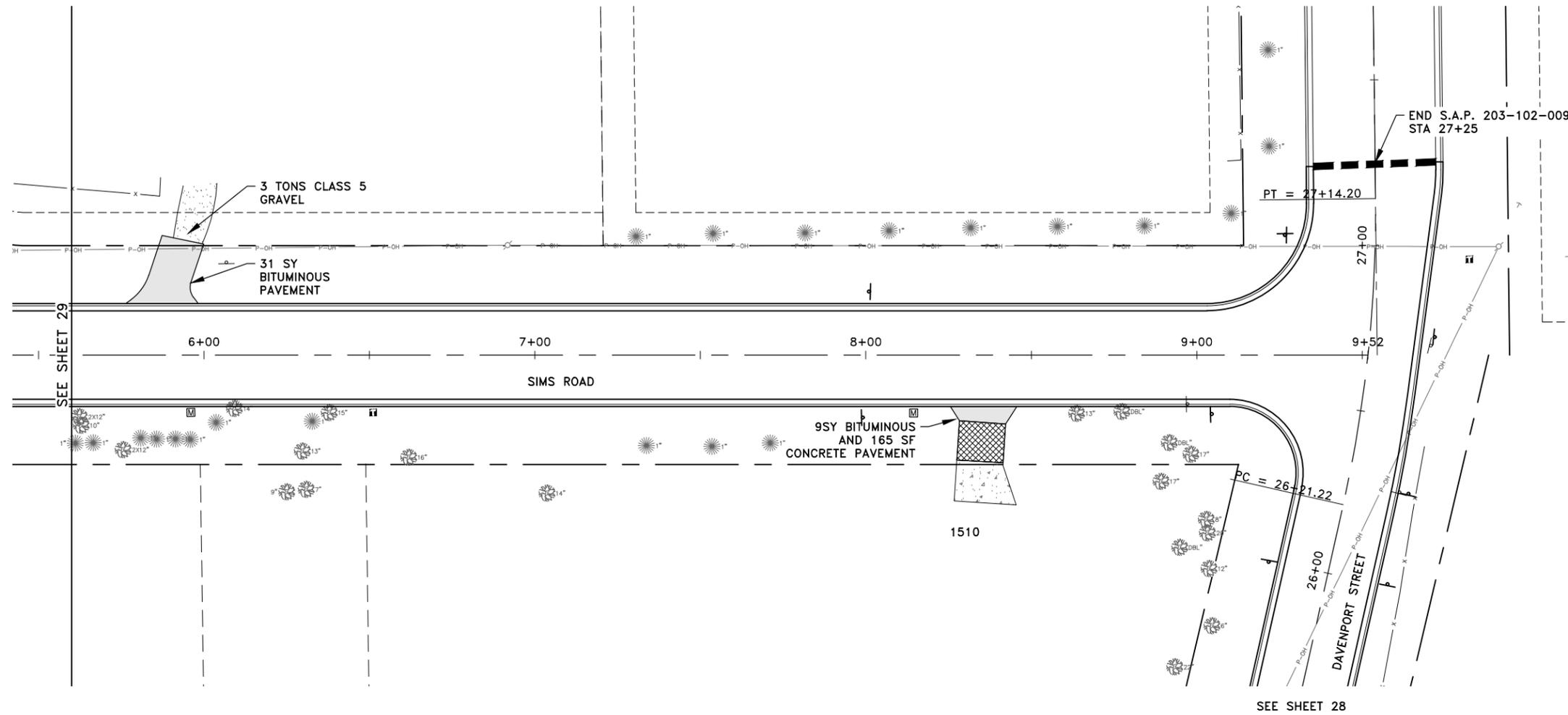


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**2024 STREET RECONSTRUCTION PROJECT**

**CONSTRUCTION PLAN**  
**SIMS ROAD**  
**CITY OF EAST BETHEL**

SHEET 29 OF 37 SHEETS



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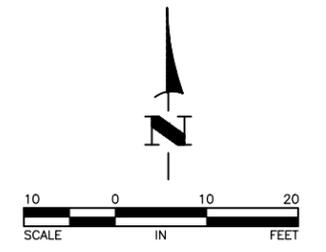
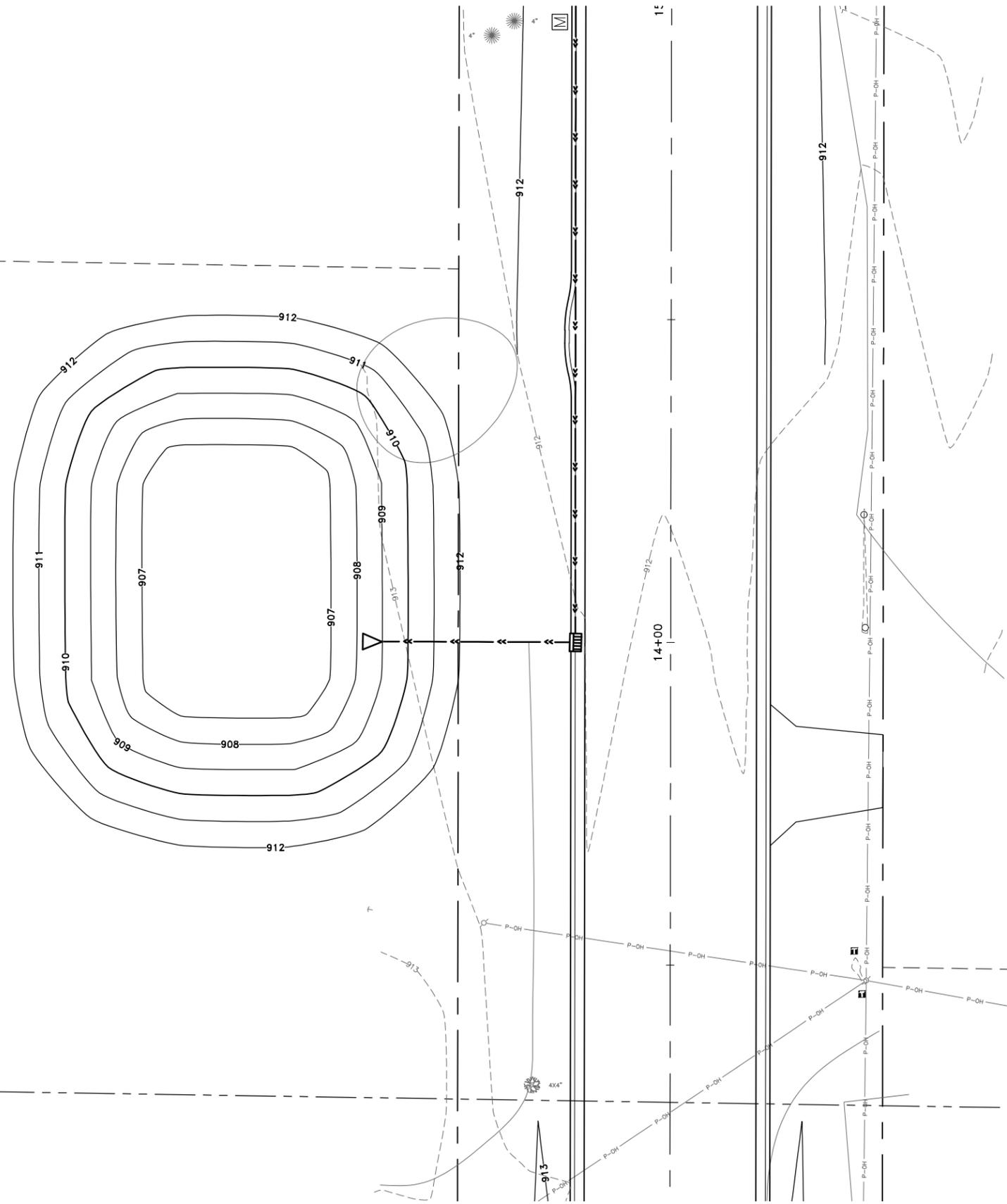
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2024 STREET RECONSTRUCTION PROJECT

CONSTRUCTION PLAN  
SIMS ROAD  
CITY OF EAST BETHEL

SHEET 30 OF 37 SHEETS



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2024 STREET RECONSTRUCTION PROJECT

POND GRADING PLAN  
 209TH AVENUE NE  
 CITY OF EAST BETHEL

SHEET 31 OF 37 SHEETS

**GENERAL PAVEMENT MARKING NOTES AND INFORMATION:**  
 THE ENGINEER'S INVOLVEMENT IN THE APPLICATION OF THE MATERIAL SHALL BE LIMITED TO FIELD CONSULTATION AND OBSERVATION. ENGINEER WILL PLACE NECESSARY "SPOTTING" AT APPROPRIATE POINTS TO PROVIDE HORIZONTAL CONTROL FOR STRIPING AND TO DETERMINE NECESSARY STARTING AND CUTOFF POINTS. LONGITUDINAL JOINTS, PAVEMENT EDGES AND EXISTING MARKINGS MAY SERVE AS HORIZONTAL CONTROL WHEN SO DIRECTED.

EDGE LINES AND LANE LINES ARE TO BE BROKEN ONLY AT INTERSECTIONS WITH PUBLIC ROADS AND AT PRIVATE ENTRANCES IF THEY ARE CONTROLLED BY A YIELD SIGN, STOP SIGN OR TRAFFIC SIGNAL. THE BREAK POINT IS TO BE AT THE START OF THE RADIUS FOR THE INTERSECTION OR AT MARKED STOP LINES OR CROSSWALKS.

A TOLERANCE OF 1/4 INCH UNDER OR 1/4 INCH OVER THE SPECIFIED WIDTH WILL BE ALLOWED FOR STRIPING PROVIDED THE VARIATION IS GRADUAL AND DOES NOT DETRACT FROM THE GENERAL APPEARANCE. BROKEN LINE SEGMENTS MAY VARY UP TO ONE-HALF FOOT FROM THE SPECIFIED LENGTHS PROVIDED THE OVER AND UNDER VARIATIONS ARE REASONABLY COMPENSATORY. ALIGNMENT DEVIATIONS FROM THE CONTROL GUIDE SHALL NOT EXCEED 1 INCH. MATERIAL SHALL NOT BE APPLIED OVER LONGITUDINAL JOINTS. ESTABLISHMENT OF APPLICATION TOLERANCES SHALL NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY TO COMPLY AS CLOSELY AS PRACTICABLE WITH THE PLANNED DIMENSIONS.

**MULTI COMPONENT (MULTI COMP):**  
 THE ROAD SURFACE SHALL BE CLEANED AT THE DIRECTION OF THE ENGINEER JUST PRIOR TO APPLICATION. PAVEMENT CLEANING SHALL CONSIST OF AT LEAST BRUSHING WITH A ROTARY BROOM (NON-METALLIC) OR AS RECOMMENDED BY THE MATERIAL MANUFACTURER AND ACCEPTABLE TO THE ENGINEER. NEW PORTLAND CEMENT CONCRETE SURFACES SHALL BE SANDBLAST CLEANED TO REMOVE ANY SURFACE TREATMENT AND/OR LAITANCE ON LOW SPEED (SPEED LIMIT 35 MPH OR LESS) URBAN PORTLAND CEMENT CONCRETE ROADWAYS. SANDBLAST CLEANING SHALL BE USED FOR ALL MULTI COMP PAVEMENT MARKINGS.

THE MULTI COMP MARKING APPLICATION SHALL IMMEDIATELY FOLLOW THE PAVEMENT CLEANING. GLASS BEADS SHALL BE APPLIED IMMEDIATELY AFTER APPLICATION OF THE MULTI COMP LINE TO PROVIDE AN IMMEDIATE NO-TRACK SYSTEM.

A MULTI COMP LINE SHALL BE APPLIED WITH A MINIMUM THICKNESS OF 20 MILS (WET) AND A MINIMUM WIDTH OF 4". GLASS BEADS SHALL BE APPLIED AT A MINIMUM RATE OF 25 LBS POUNDS PER GALLON. THE APPLICATION RATE SHALL BE SUFFICIENT TO ACHIEVE AN ACCEPTABLE NO-TRACK SYSTEM.

OPERATIONS SHALL BE CONDUCTED ONLY WHEN THE ROAD PAVEMENT SURFACE TEMPERATURES ARE 50 DEGREES FAHRENHEIT OR GREATER.

PERMANENT PAVEMENT MARKINGS SHALL NOT BE PLACED OVER TEMPORARY TAPE MARKINGS.

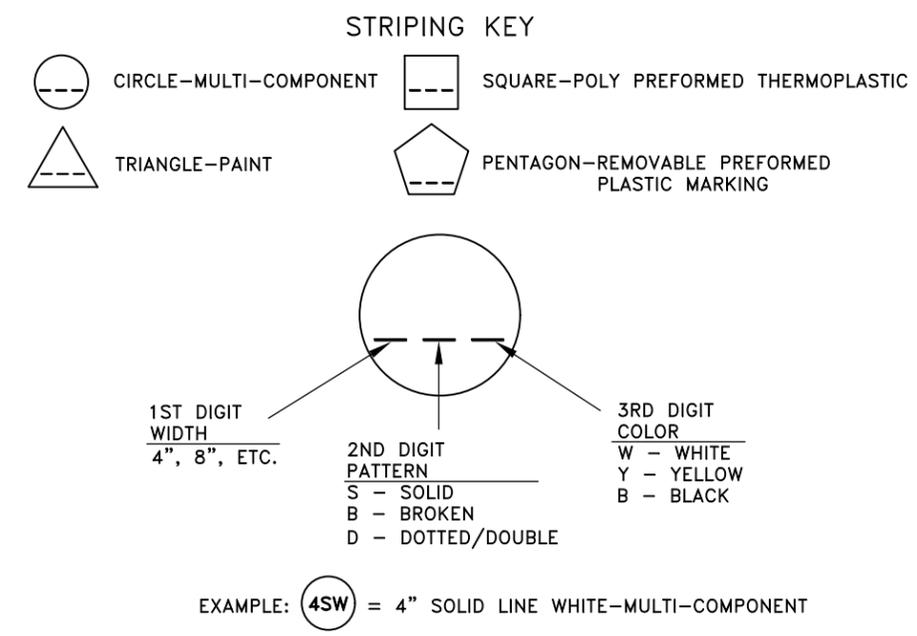
**PREFORMED THERMOPLASTIC:**  
 THE PREFORMED THERMOPLASTIC MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS ON CLEAN AND DRY SURFACES. SEE SPECIAL PROVISIONS FOR PREFORMED THERMOPLASTIC MARKING SPECIFICATIONS.

**PAINT:**  
 AT THE TIME OF APPLYING THE MARKING MATERIAL, THE APPLICATION AREA SHALL BE FREE OF CONTAMINATION. THE CONTRACTOR SHALL CLEAN THE ROADWAY SURFACE PRIOR TO THE LINE APPLICATION IN A MANNER AND TO THE EXTENT REQUIRED BY THE ENGINEER.

GLASS BEADS SHALL BE APPLIED IMMEDIATELY AFTER APPLICATION OF THE PAINT LINE.

EXCEPT WHEN USED AS A TEMPORARY MARKING, PAVEMENT MARKINGS SHALL ONLY BE APPLIED IN SEASONABLE WEATHER WHEN AIR TEMPERATURE IS 50 DEGREES FARHENHEIT OR HIGHER AND SHALL NOT BE APPLIED WHEN THE WIND OR OTHER CONDITIONS CAUSE A FILM OR DUST TO BE DEPOSITED ON THE PAVEMENT SURFACE AFTER CLEANING AND BEFORE THE MARKING MATERIAL CAN BE APPLIED.

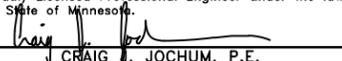
THE FILLING OF TANKS, POURING OF MATERIALS OR CLEANING OF EQUIPMENT SHALL NOT BE PERFORMED ON UNPROTECTED PAVEMENT SURFACES UNLESS ADEQUATE PROVISIONS ARE MADE TO PREVENT SPILLAGE OF MATERIAL.



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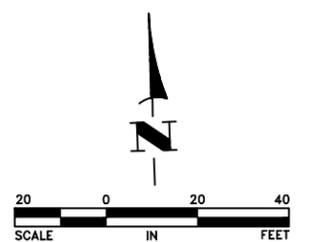
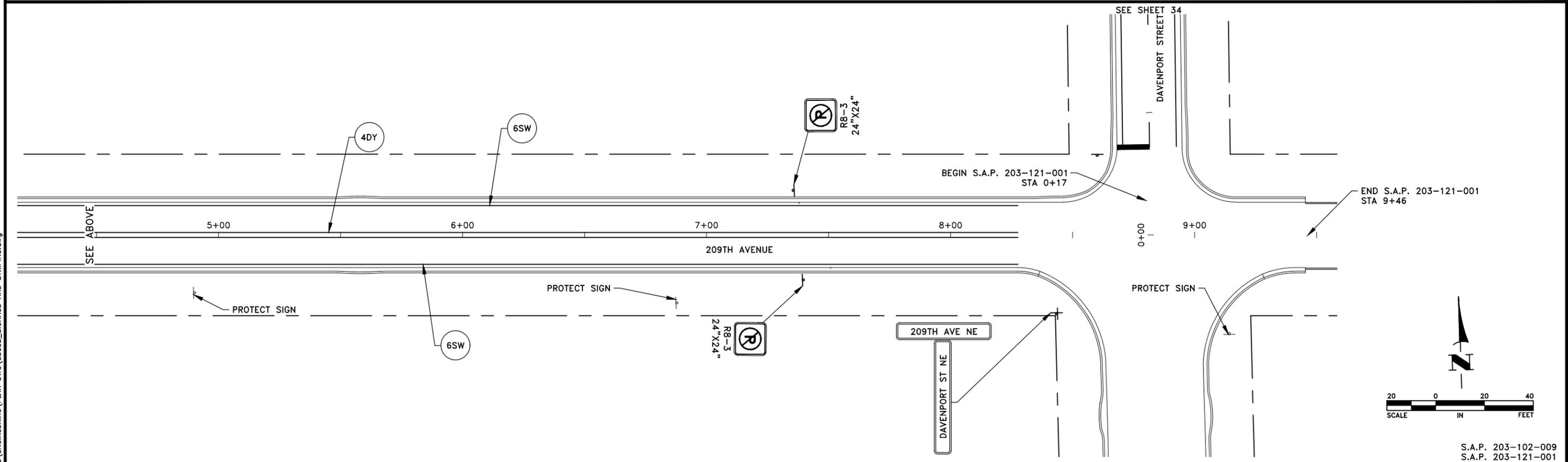
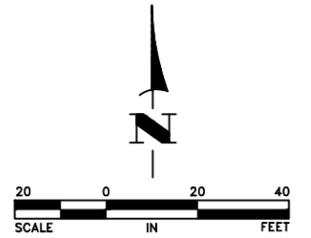
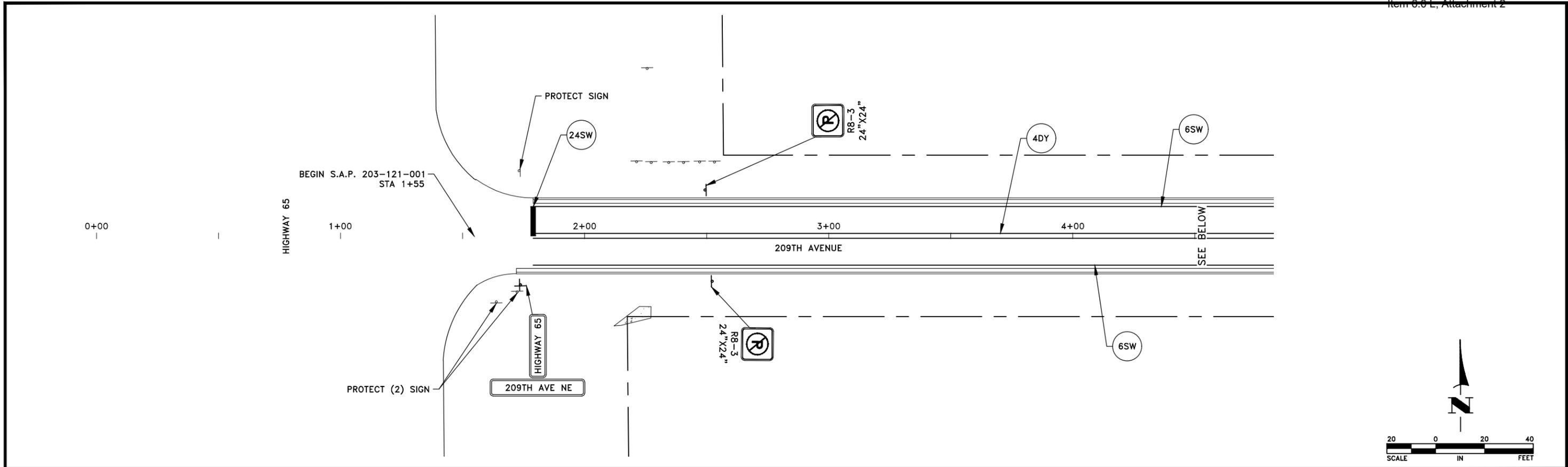
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**PAVEMENT MARKING NOTES, KEY, AND DETAILS**

CITY OF EAST BETHEL

SHEET 32 OF 37 SHEETS

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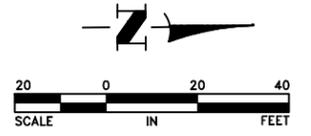
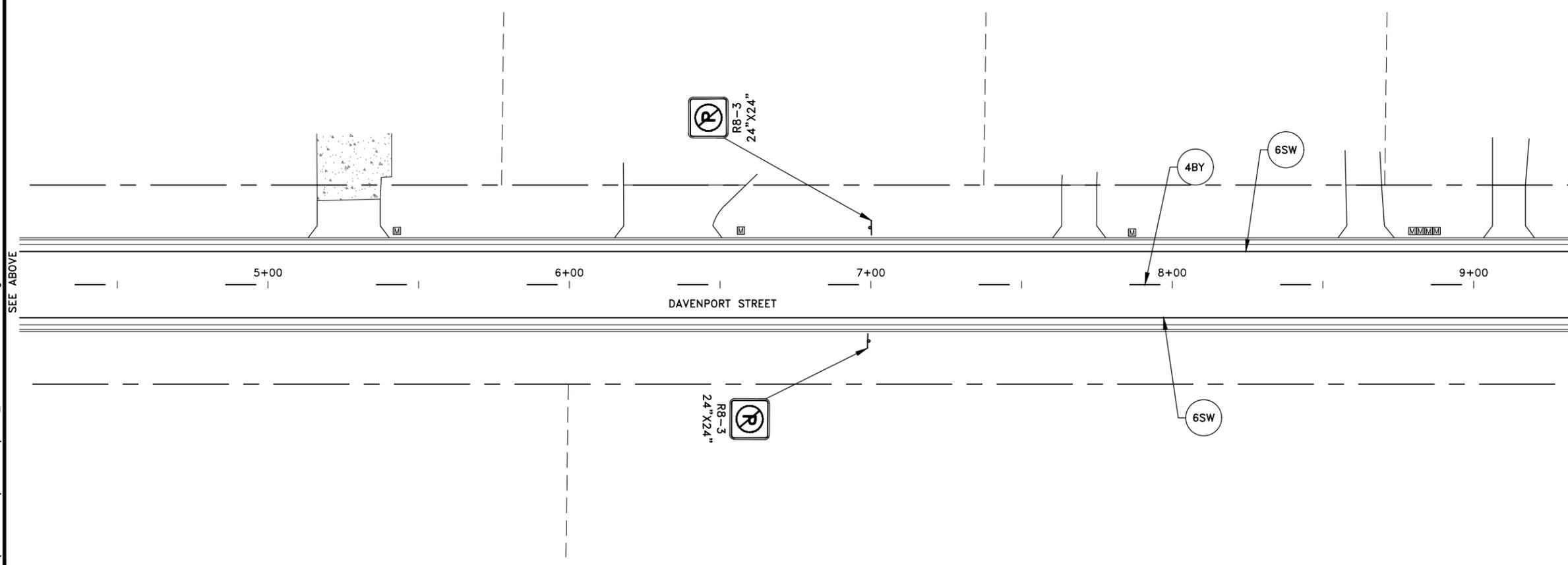
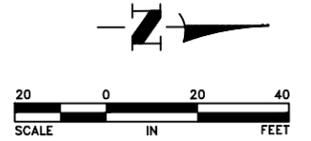
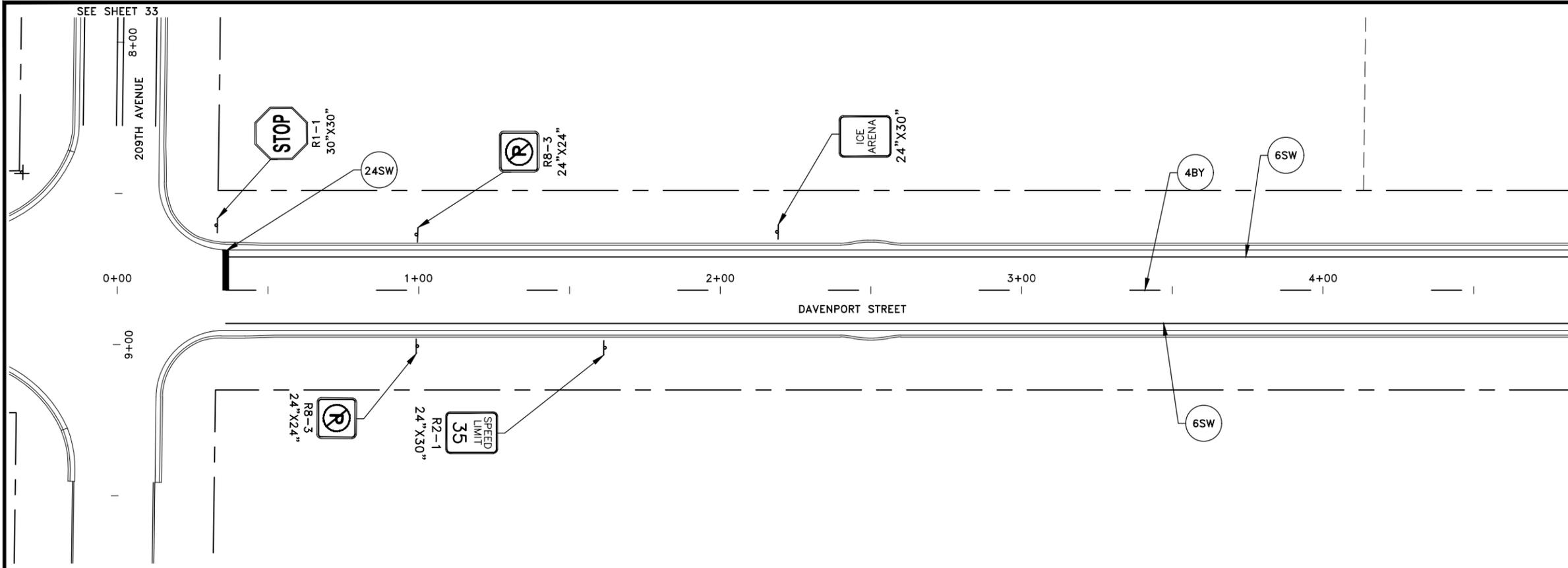


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**SIGNAGE AND STRIPING PLAN**  
**209TH AVENUE NE**  
**CITY OF EAST BETHEL**

SHEET **33** OF **37**  
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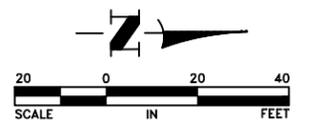
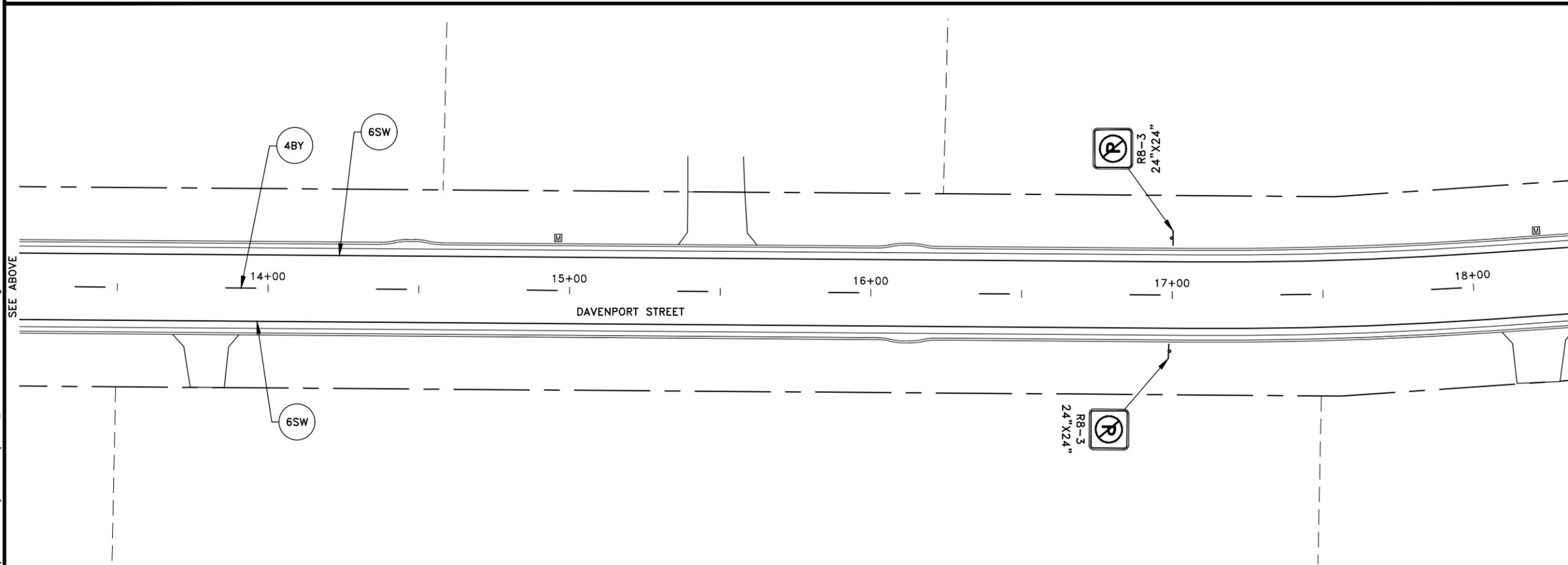
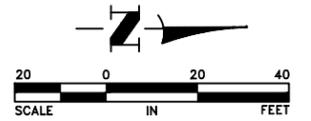
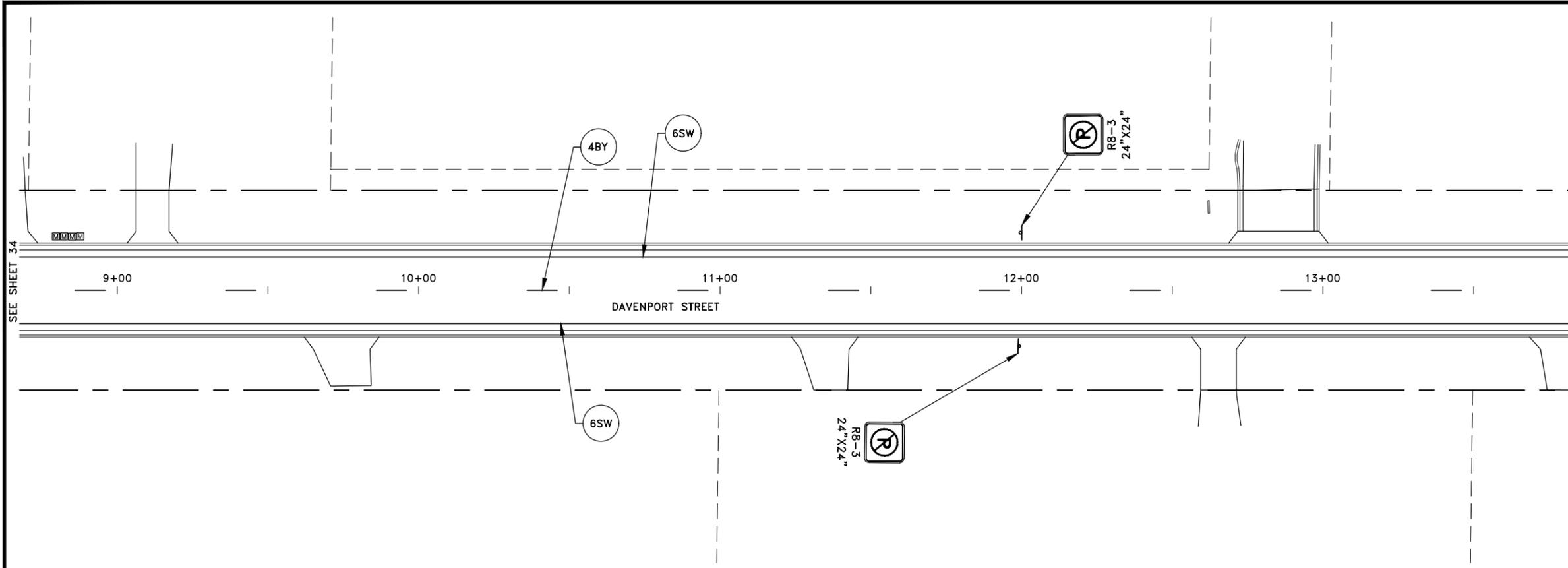


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2024 STREET RECONSTRUCTION PROJECT

SIGNAGE AND STRIPING PLAN  
DAVENPORT STREET NE  
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SHEET 34 OF 37 SHEETS



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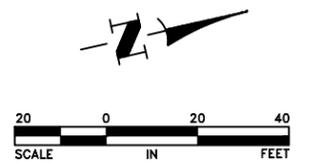
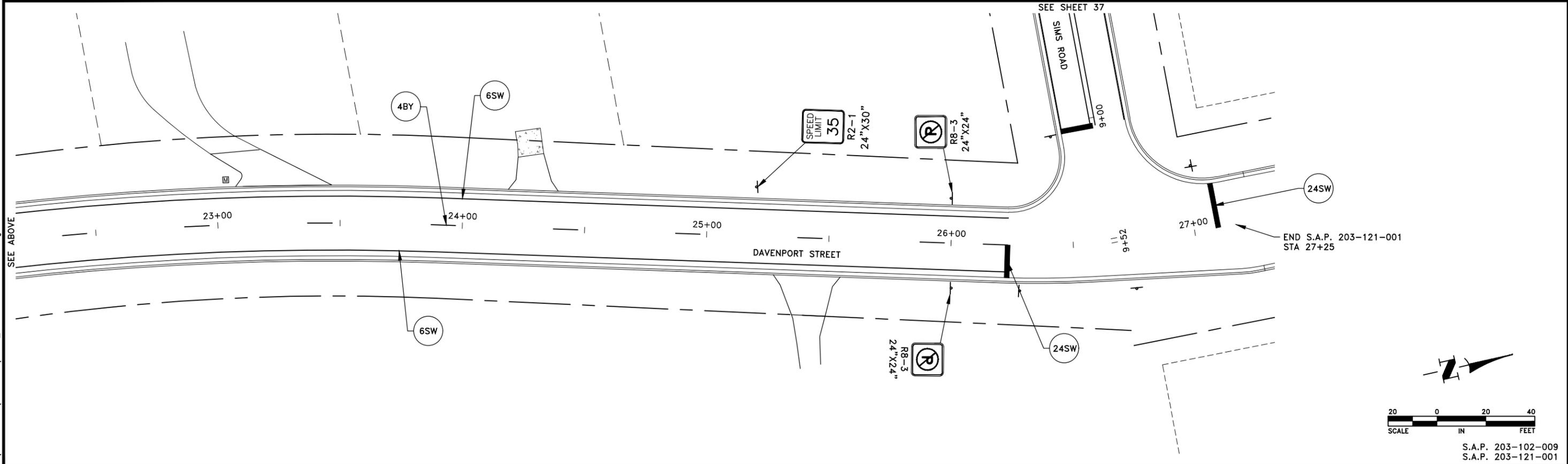
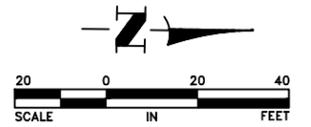
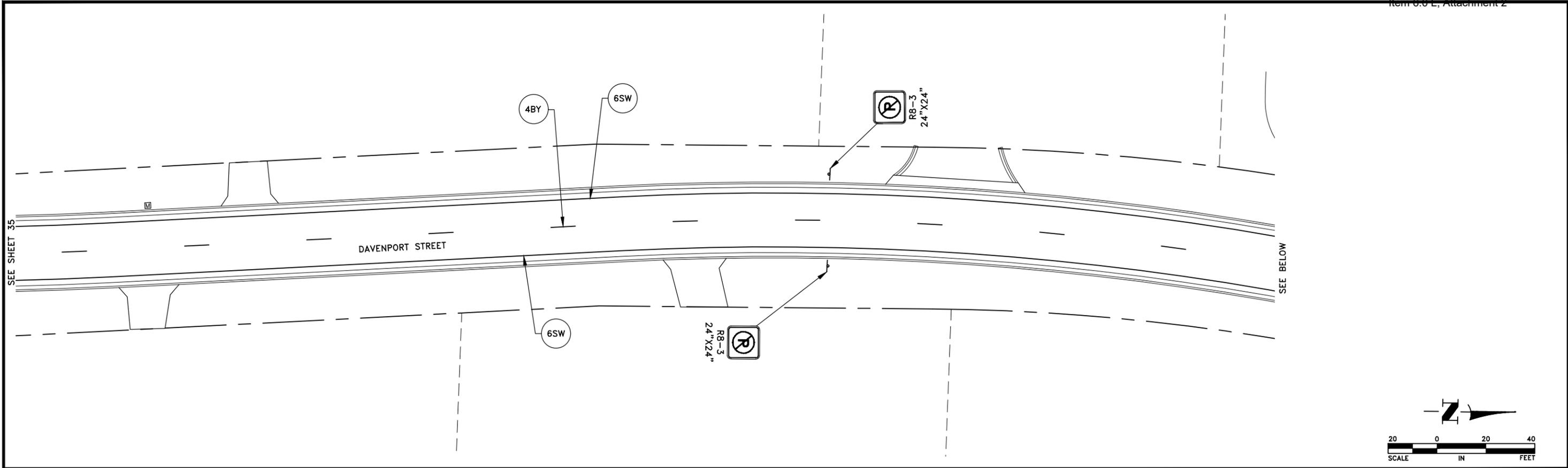


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SIGNAGE AND STRIPING PLAN  
DAVENPORT STREET NE  
CITY OF EAST BETHEL

SHEET 35 OF 37 SHEETS



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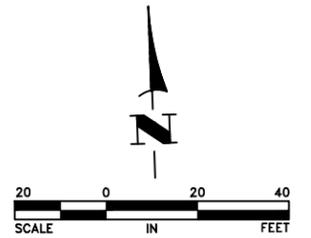
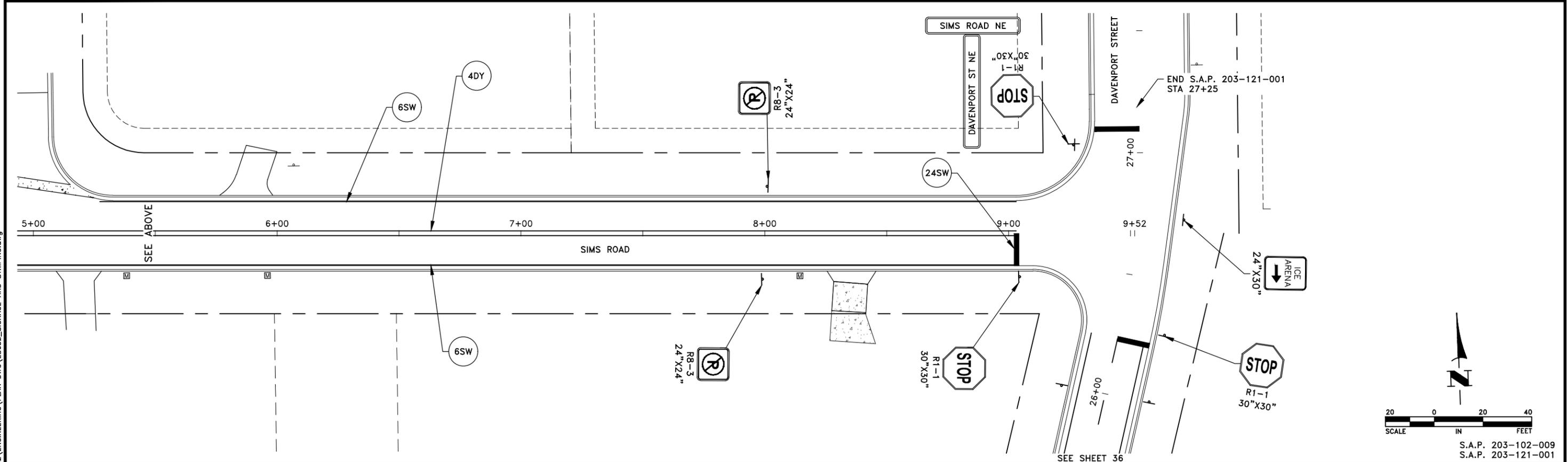
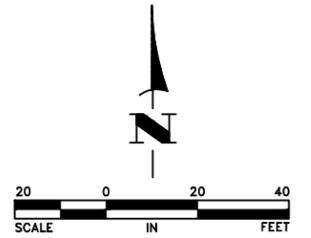
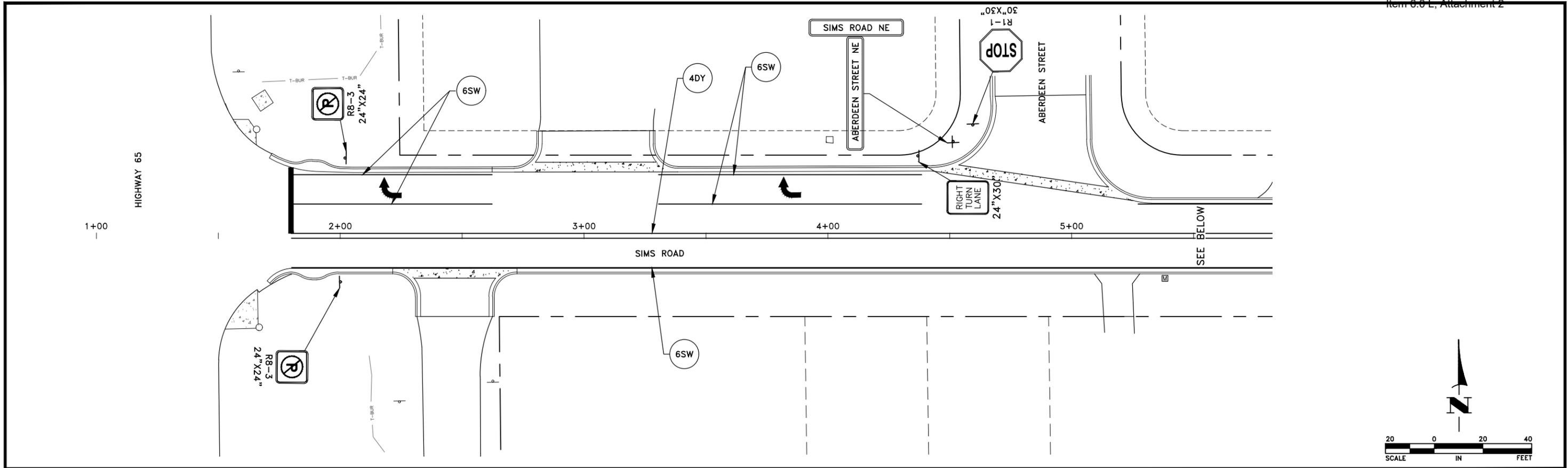


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**2024 STREET RECONSTRUCTION PROJECT**

**SIGNAGE AND STRIPING PLAN**  
**DAVENPORT STREET NE**  
**CITY OF EAST BETHEL**

SHEET **36** OF **37**  
 SHEETS



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DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Craig J. Joqhum*  
**CRAIG J. JOQHUM, P.E.**  
 Date 2/8/24 Lic. No. 23461

DESIGNED BY: CJJ  
 DRAWN BY: DMS  
 CHECKED BY: CJJ



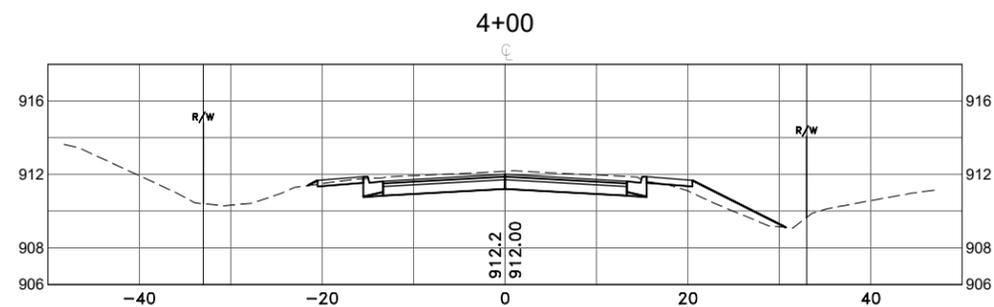
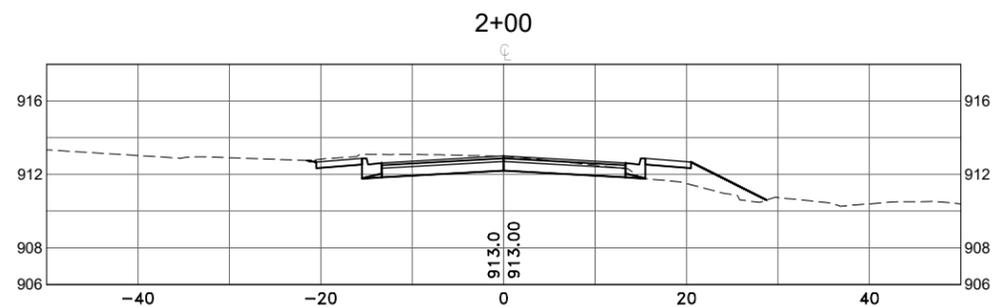
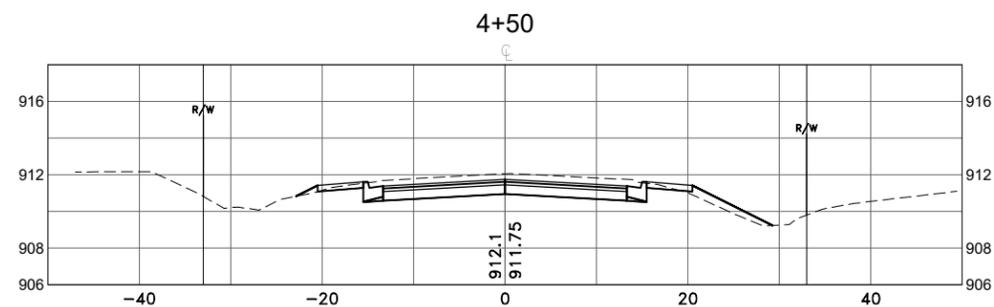
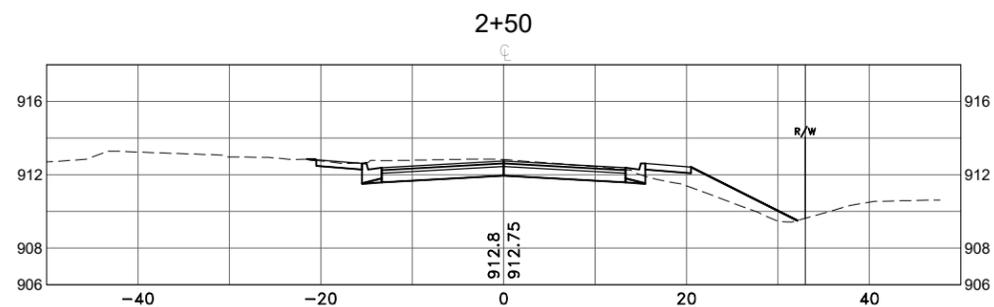
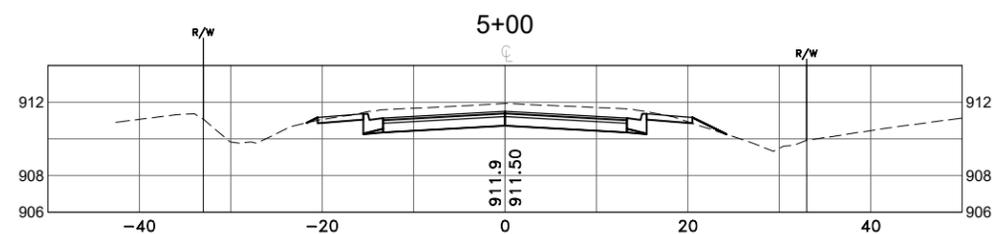
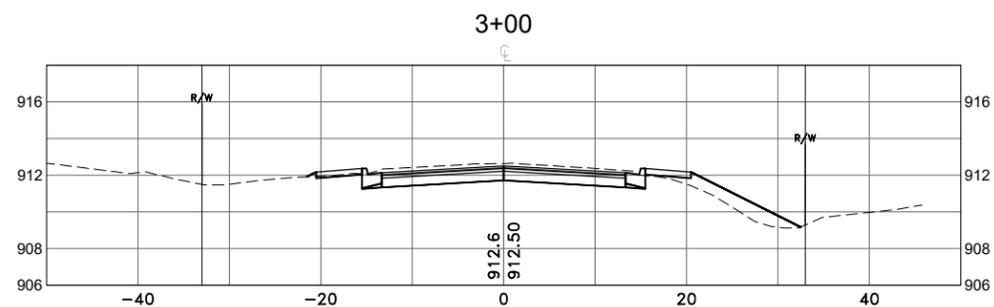
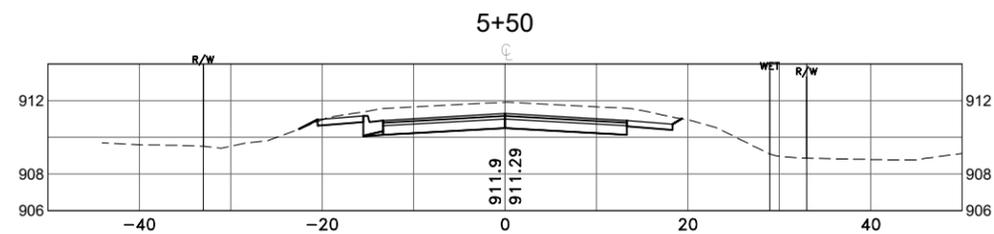
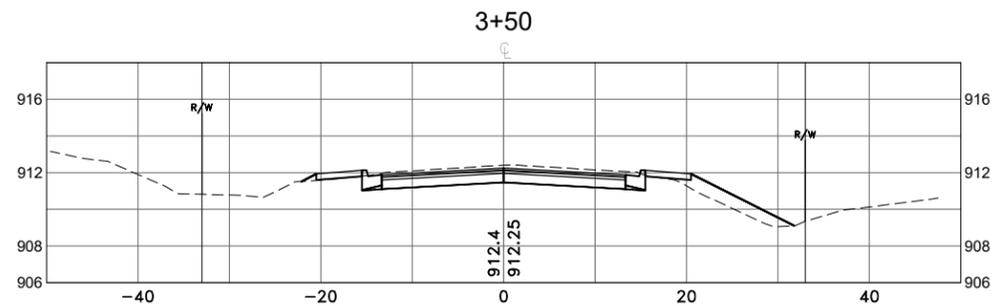
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**2024 STREET RECONSTRUCTION PROJECT**

**SIGNAGE AND STRIPING PLAN**  
 209TH AVENUE NE  
 CITY OF EAST BETHEL

SHEET 37 OF 37 SHEETS  
 EB362

S.A.P. 203-102-009  
 S.A.P. 203-121-001



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CJJ



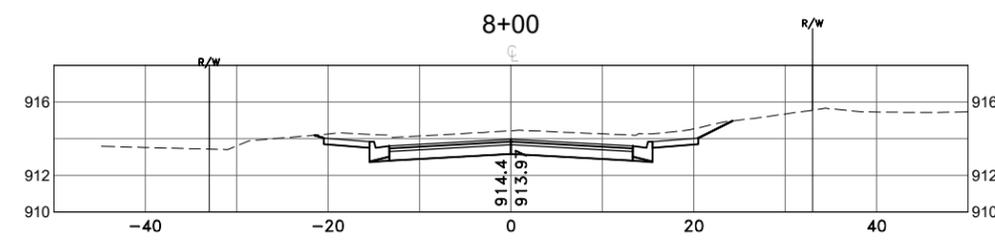
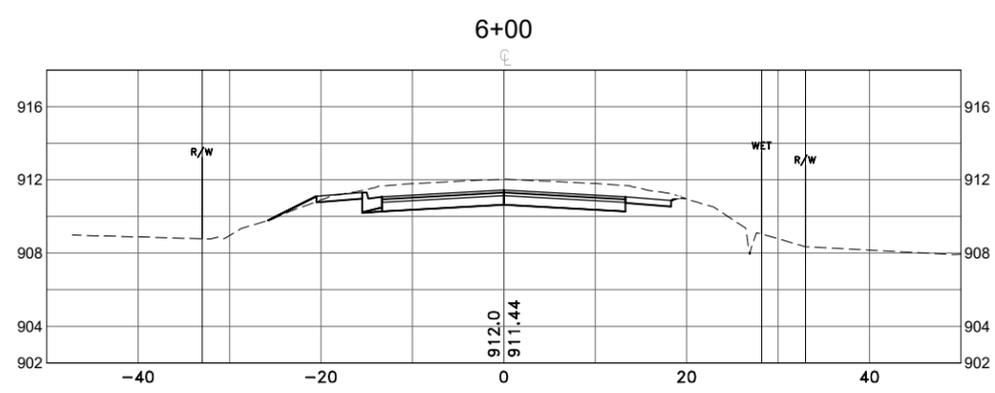
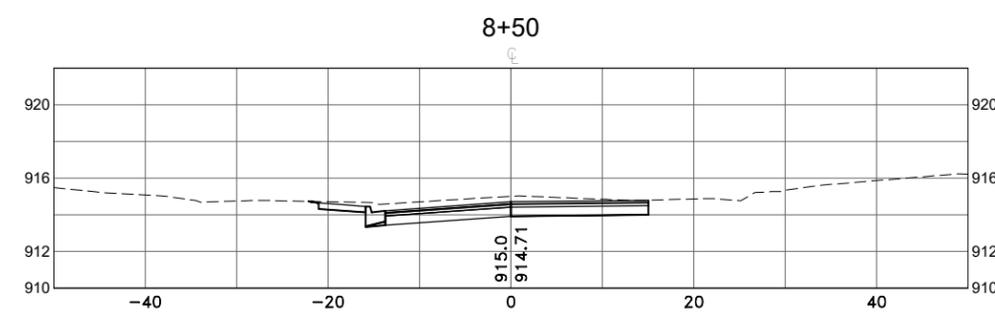
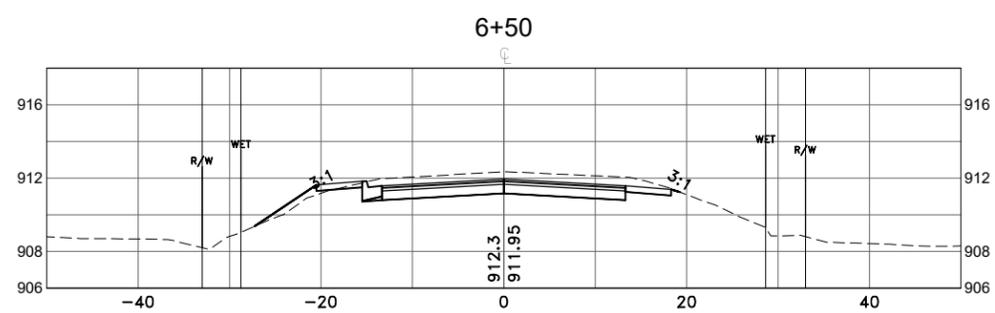
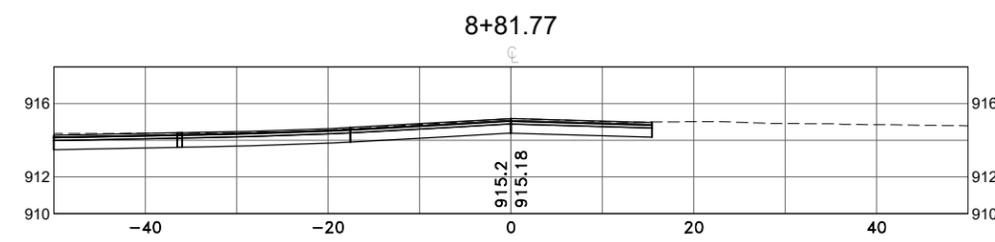
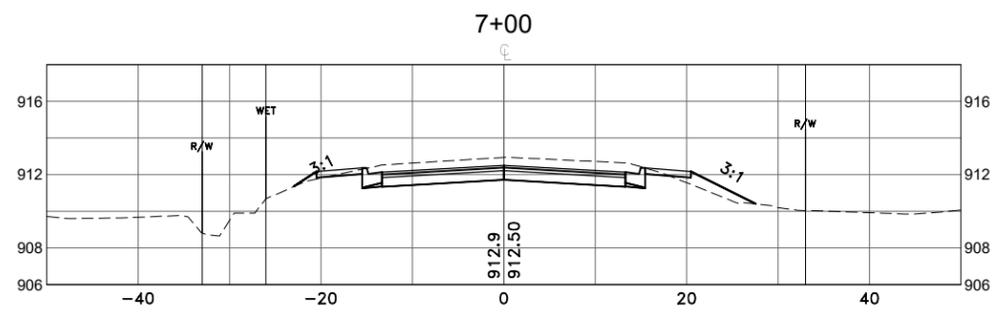
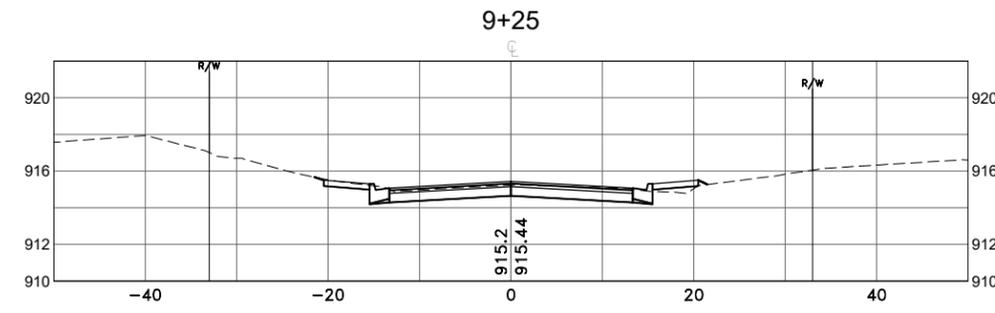
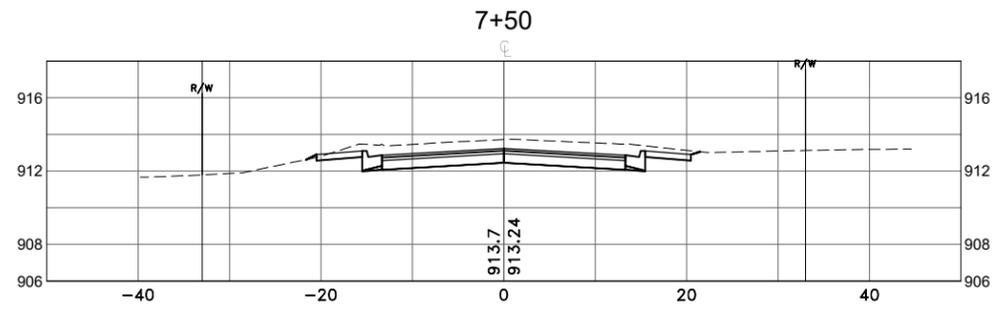
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2024 STREET RECONSTRUCTION PROJECT

CROSS SECTIONS  
209TH AVENUE NE  
CITY OF EAST BETHEL

S.A.P. 203-102-009  
S.A.P. 203-121-001

SHEET  
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OF  
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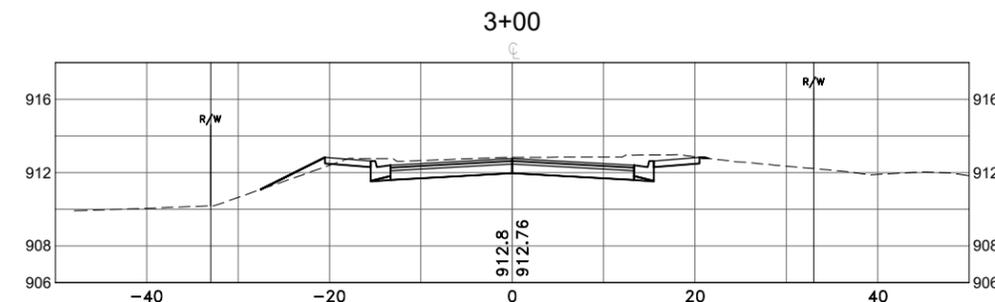
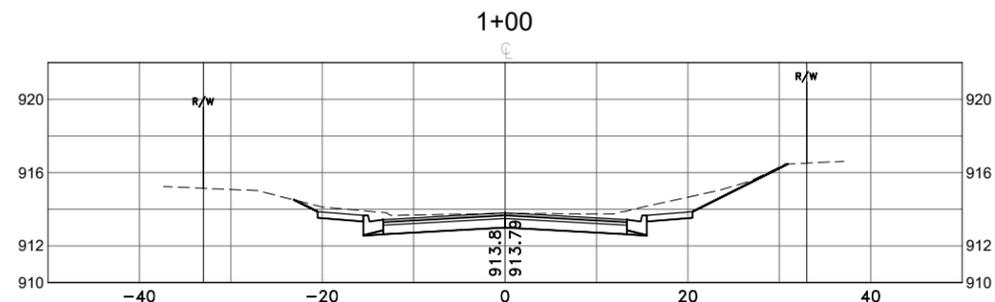
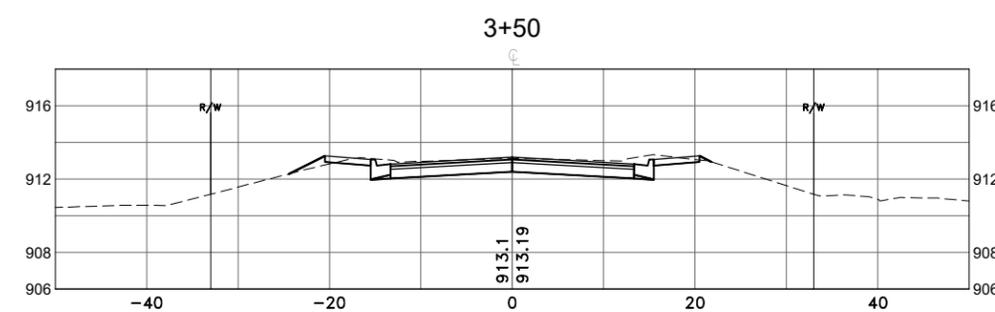
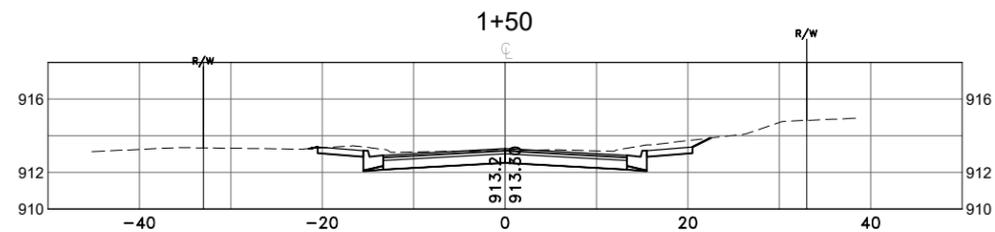
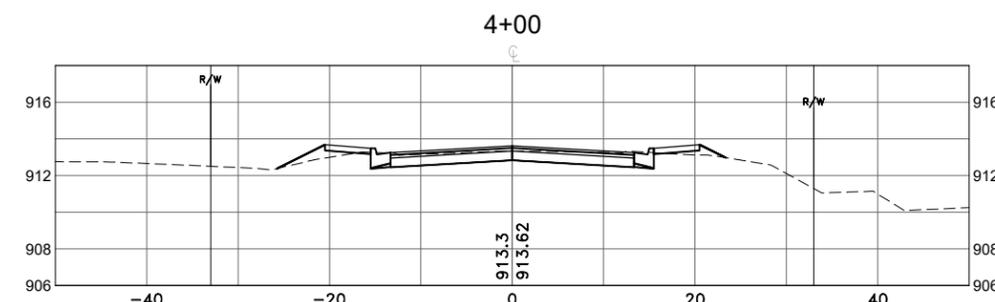
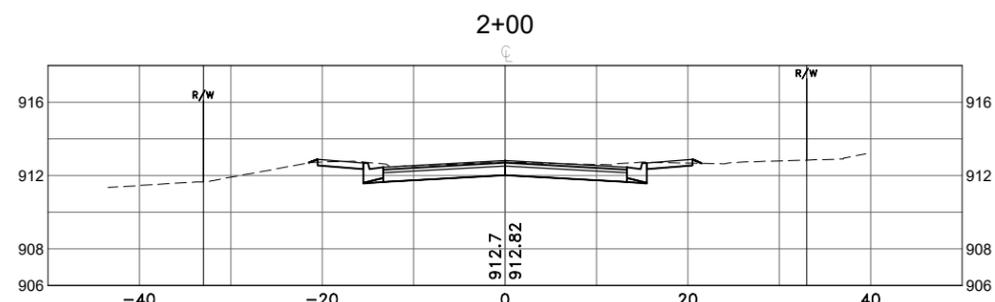
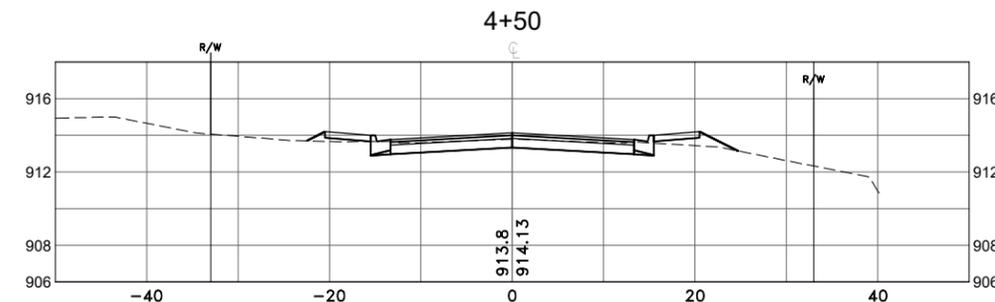
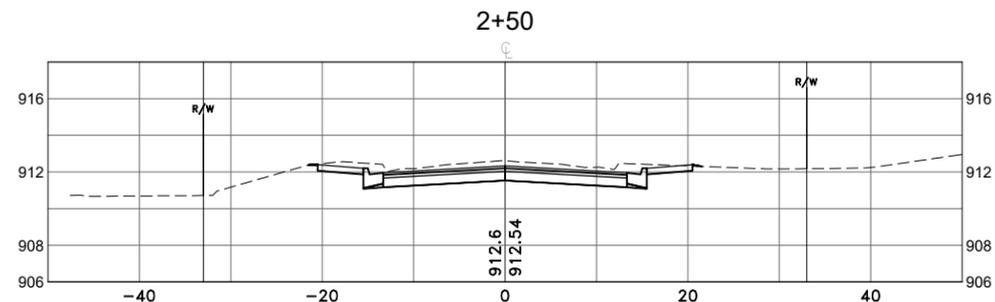
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2024 STREET RECONSTRUCTION PROJECT

CROSS SECTIONS  
209TH AVENUE NE  
CITY OF EAST BETHEL

SHEET X2  
OF X13 SHEETS

S.A.P. 203-102-009  
S.A.P. 203-121-001



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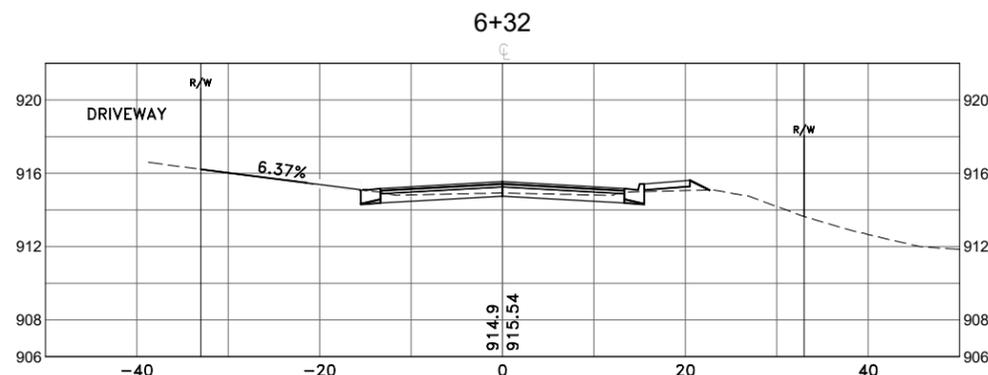
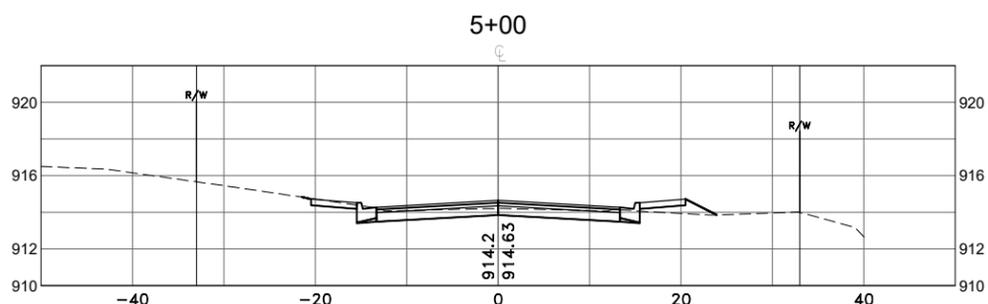
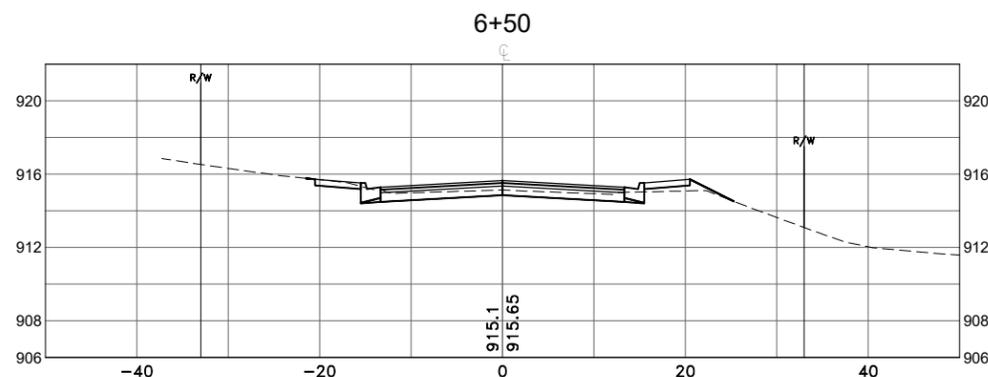
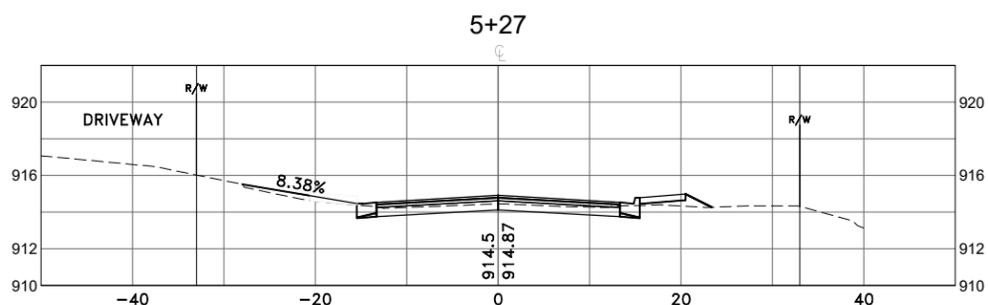
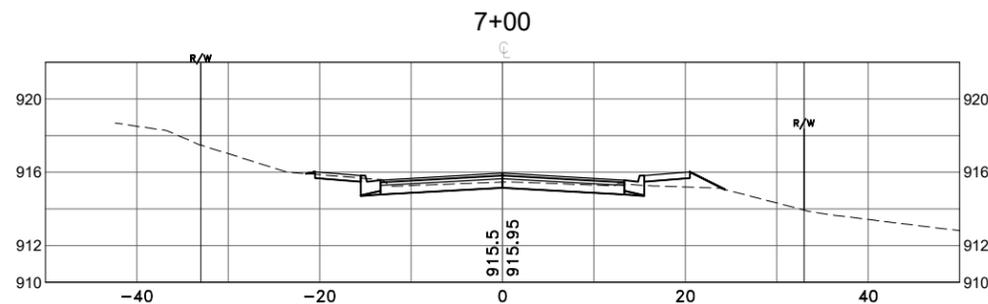
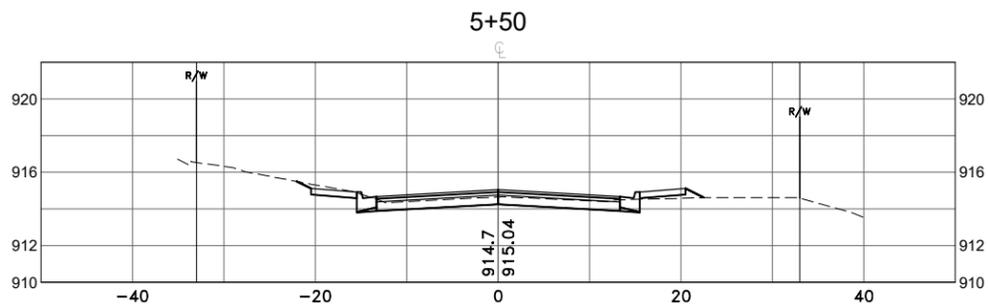
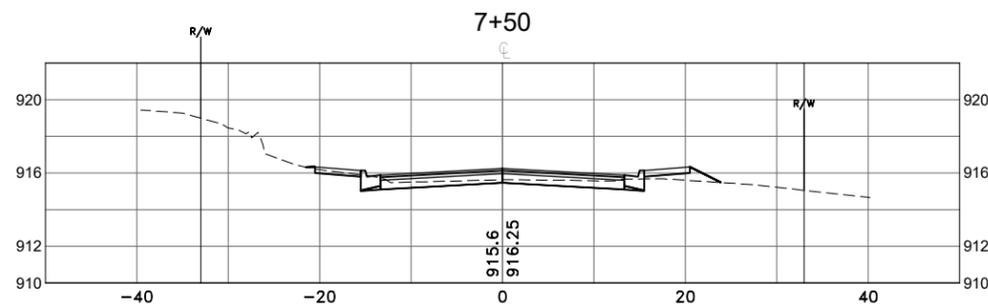
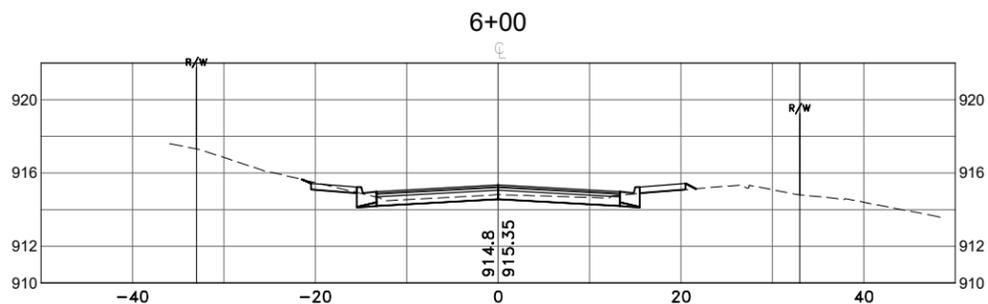
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2024 STREET RECONSTRUCTION PROJECT

CROSS SECTIONS  
DAVENPORT STREET NE  
CITY OF EAST BETHEL

SHEET  
X3  
OF  
X13  
SHEETS

S.A.P. 203-102-009  
S.A.P. 203-121-001



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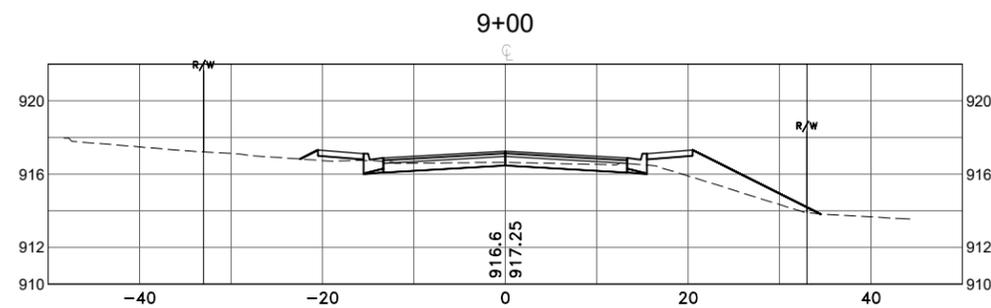
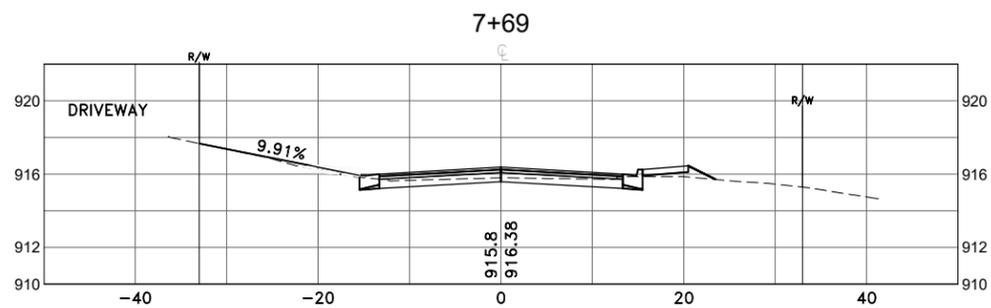
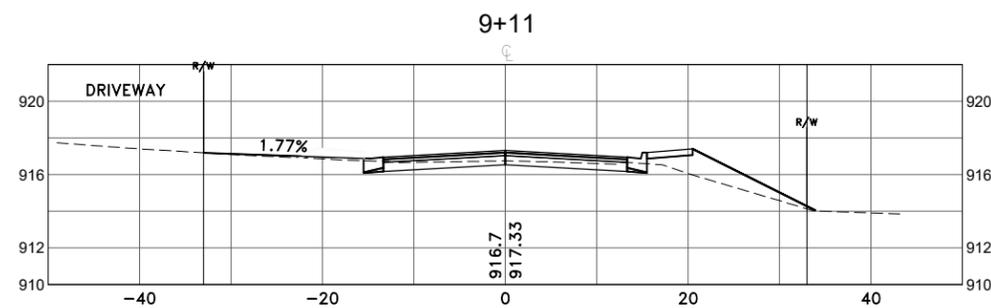
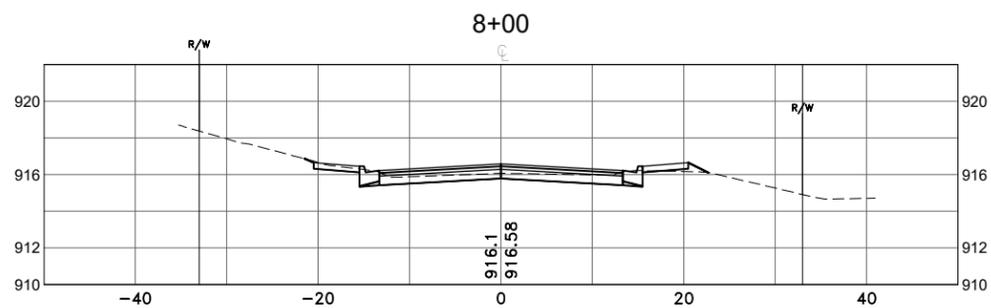
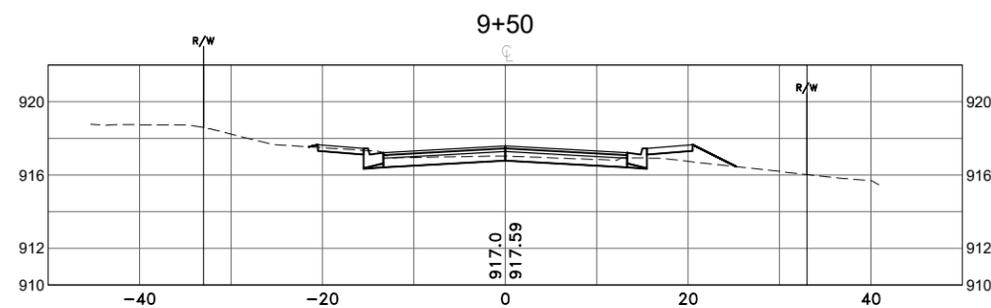
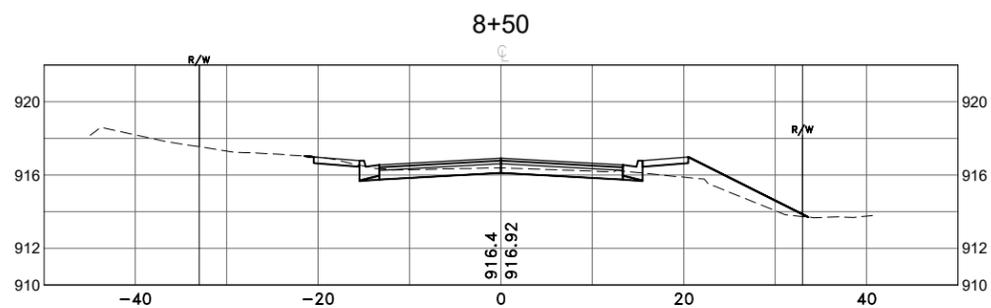
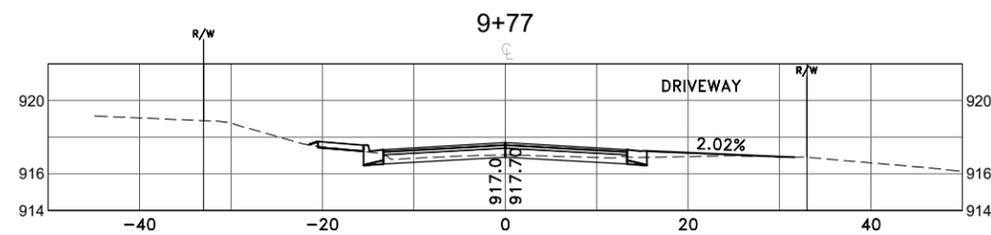
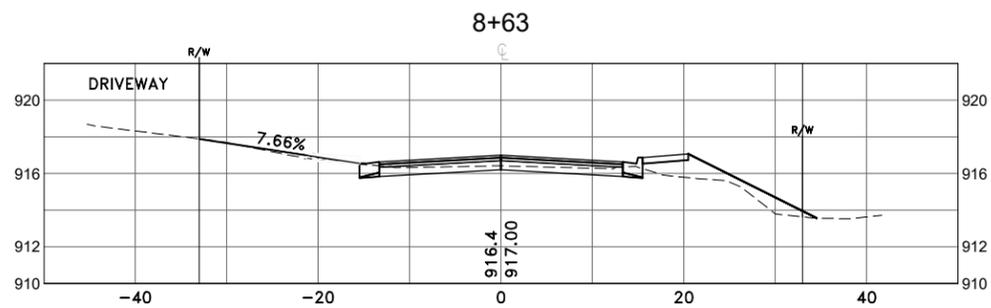
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2024 STREET RECONSTRUCTION PROJECT

CROSS SECTIONS  
DAVENPORT STREET NE  
CITY OF EAST BETHEL

S.A.P. 203-102-009  
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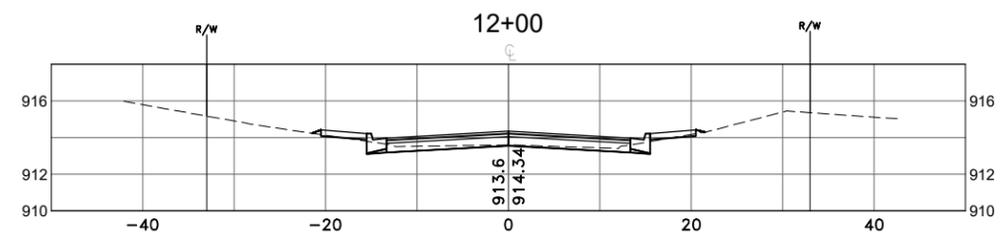
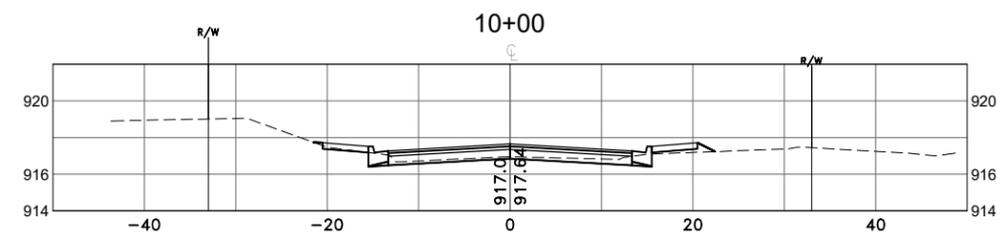
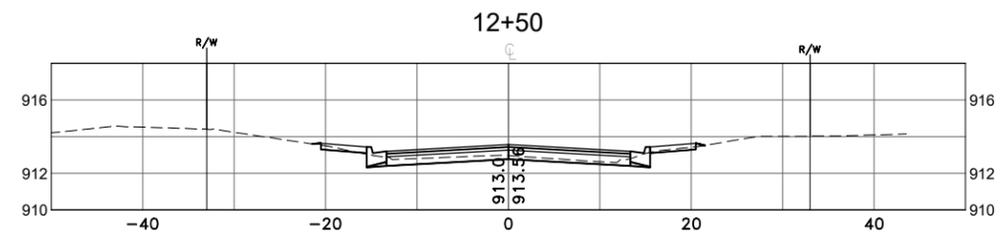
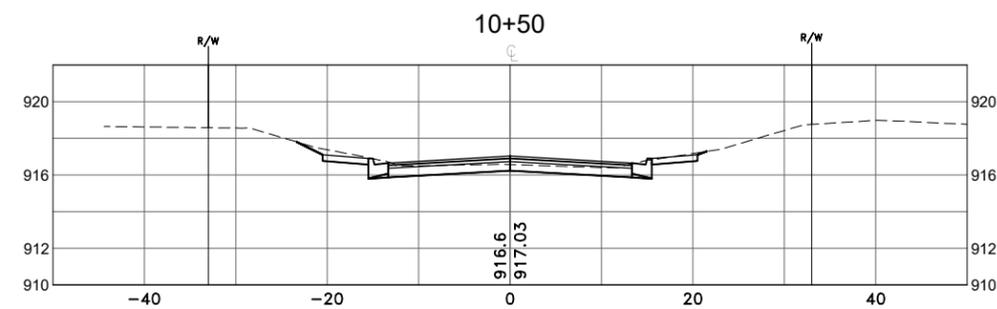
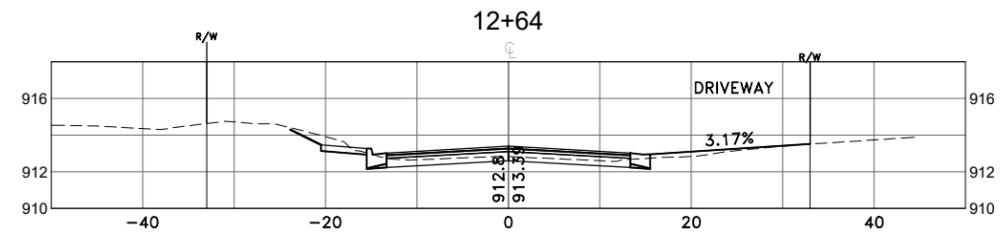
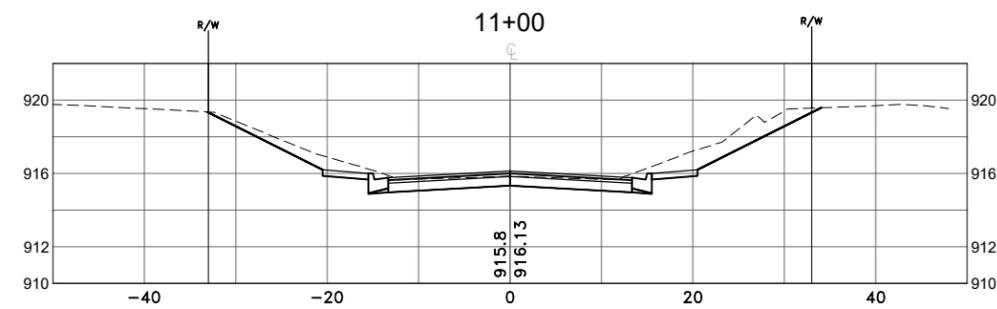
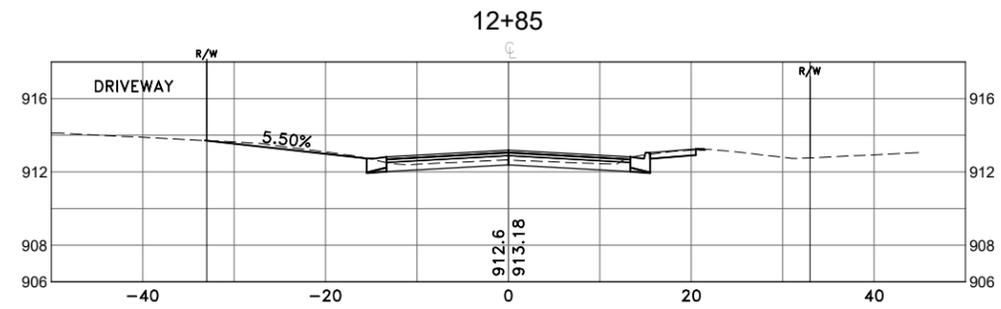
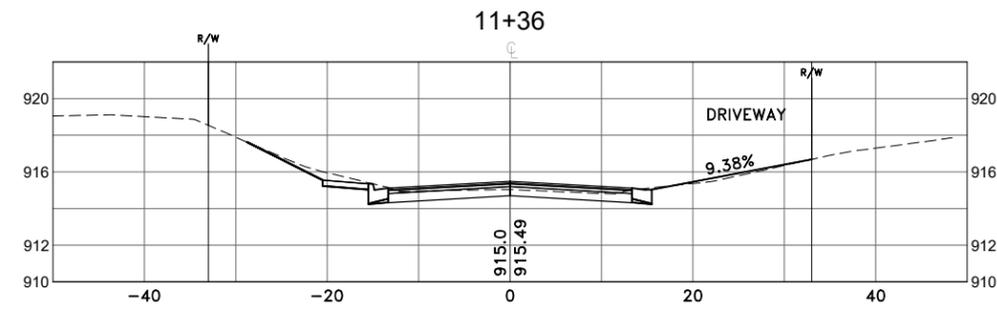
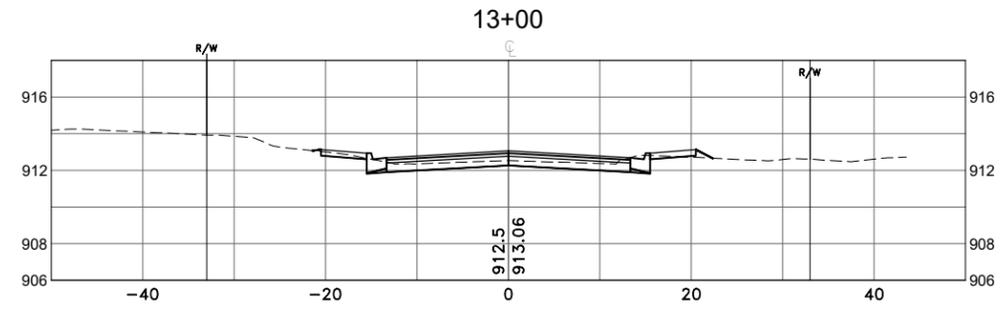
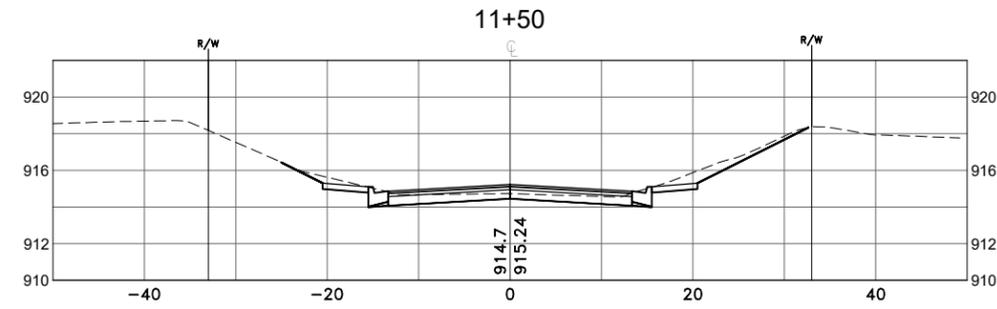
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2024 STREET RECONSTRUCTION PROJECT

CROSS SECTIONS  
DAVENPORT STREET NE  
CITY OF EAST BETHEL

S.A.P. 203-102-009  
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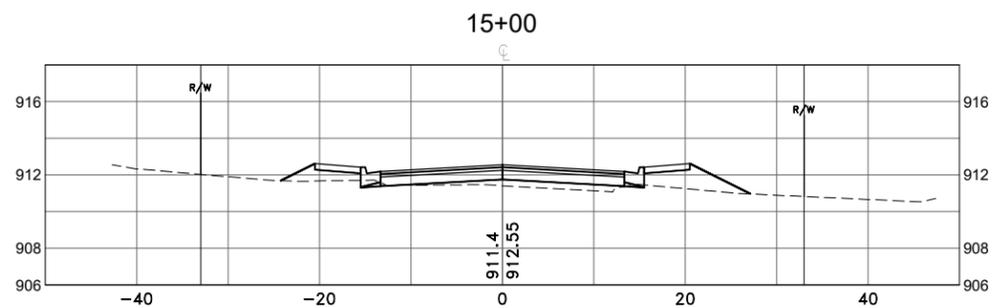
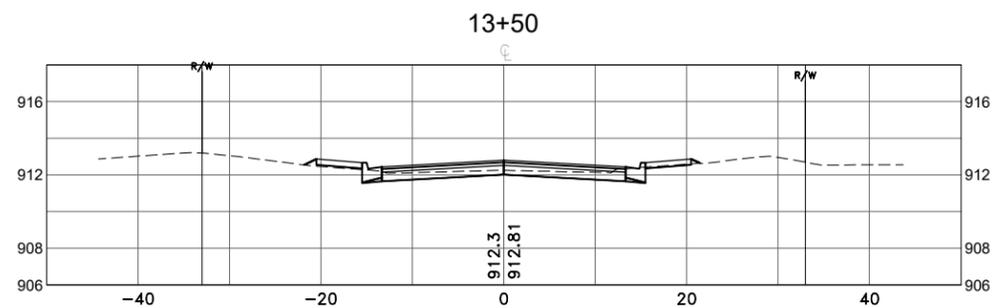
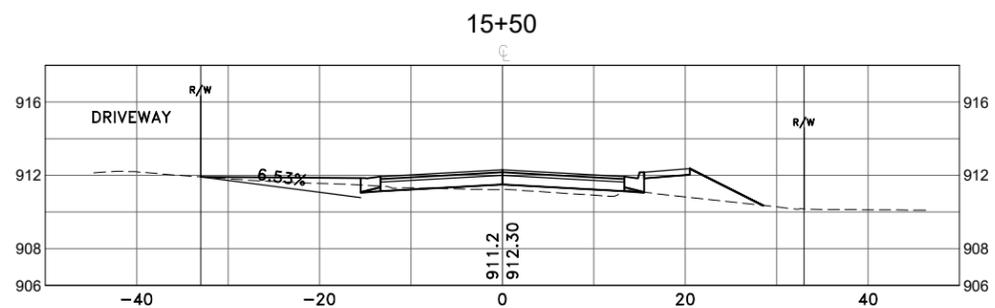
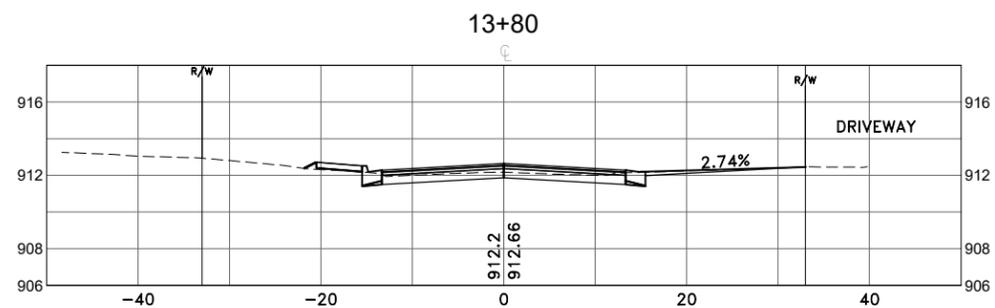
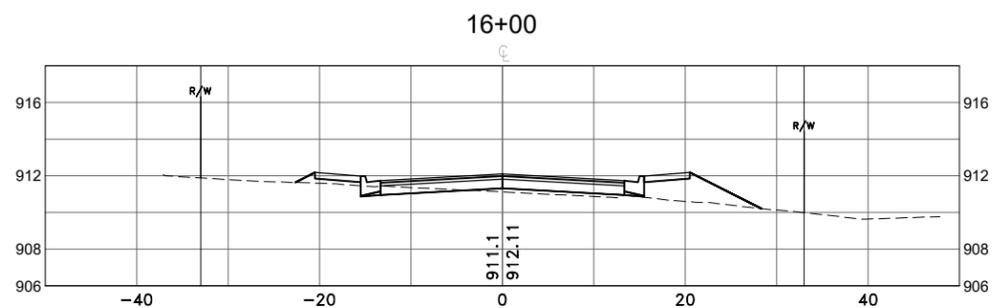
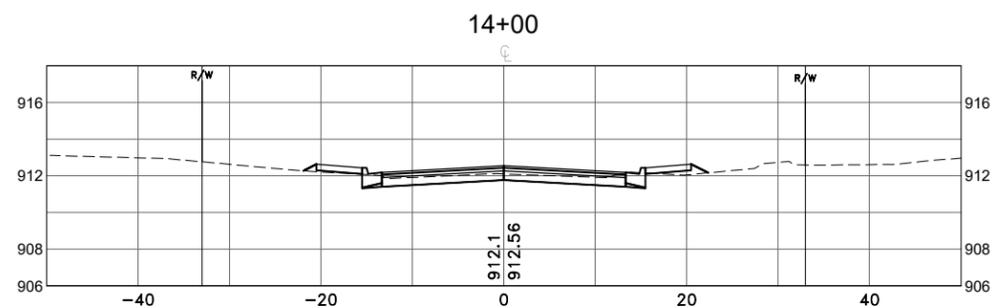
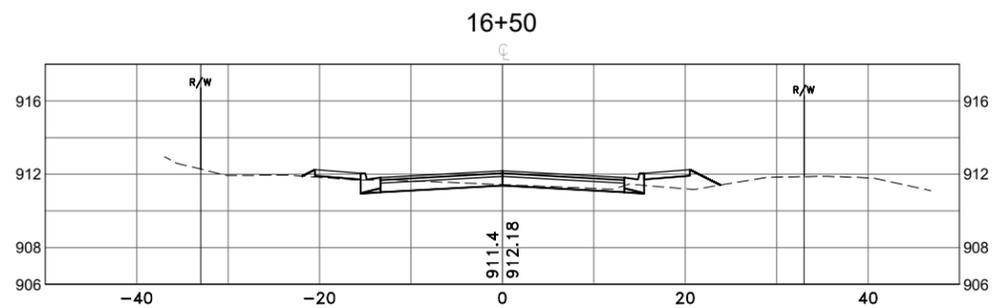
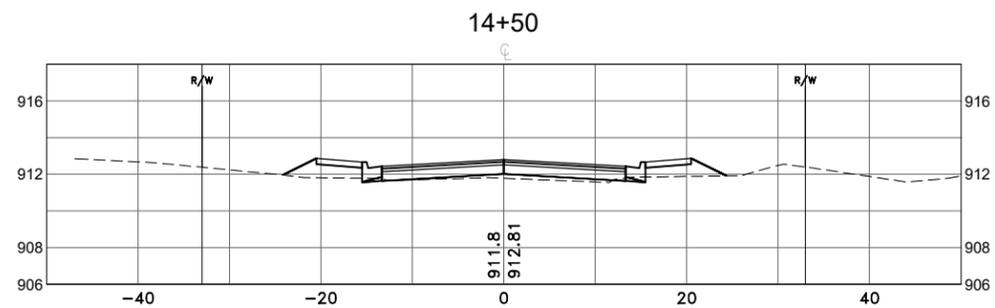
City Council Packet, page 125

2024 STREET RECONSTRUCTION PROJECT

CROSS SECTIONS

DAVENPORT STREET NE  
CITY OF EAST BETHEL

SHEET  
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OF  
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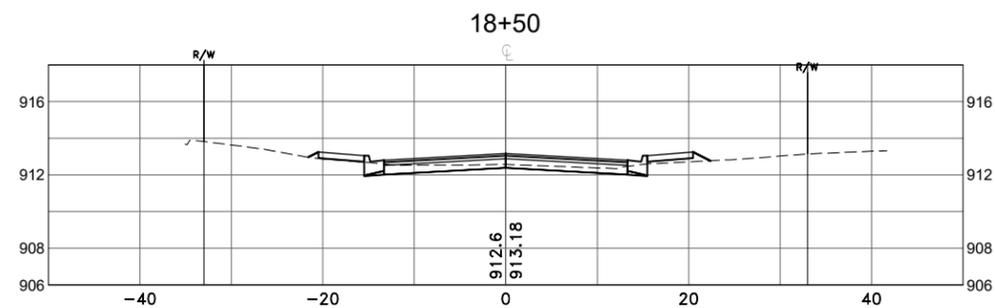
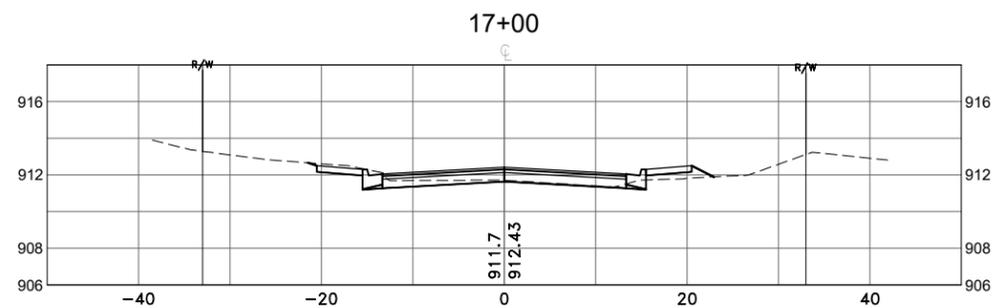
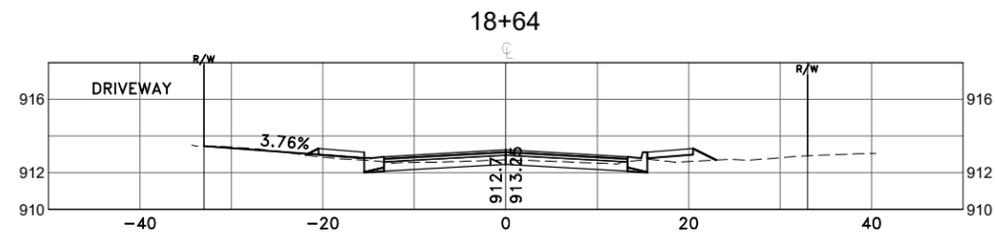
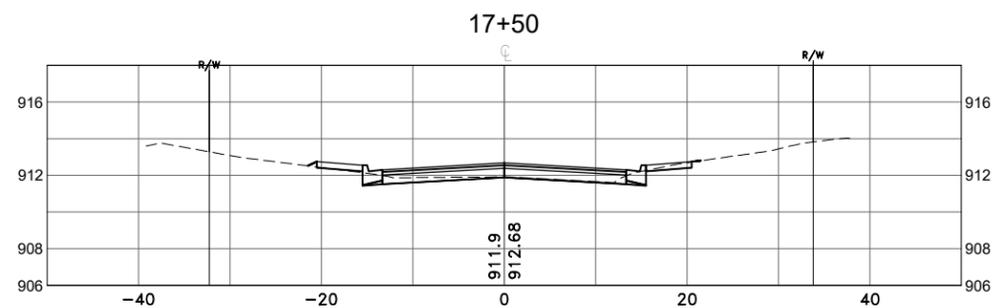
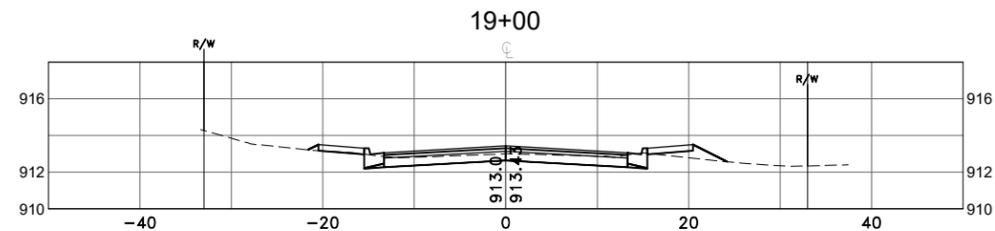
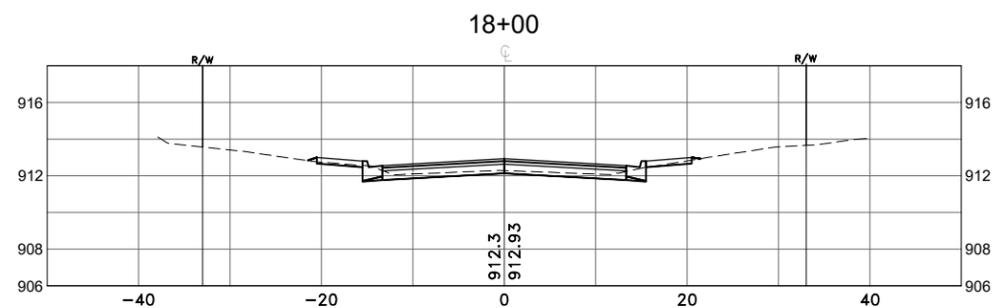
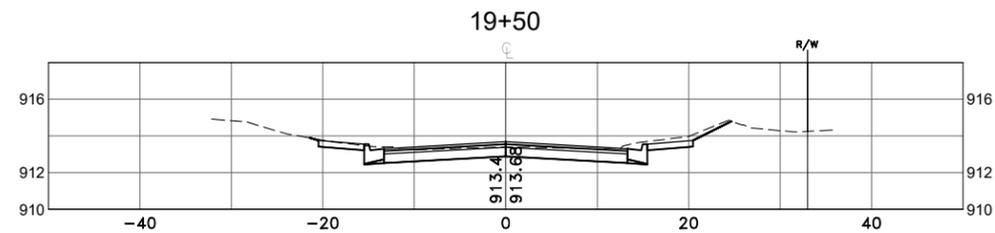
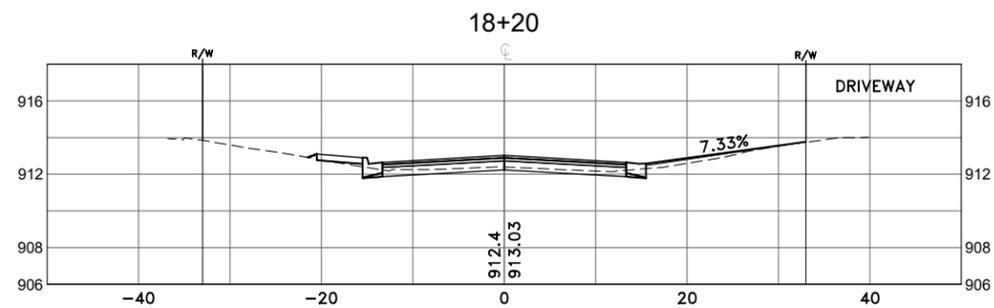
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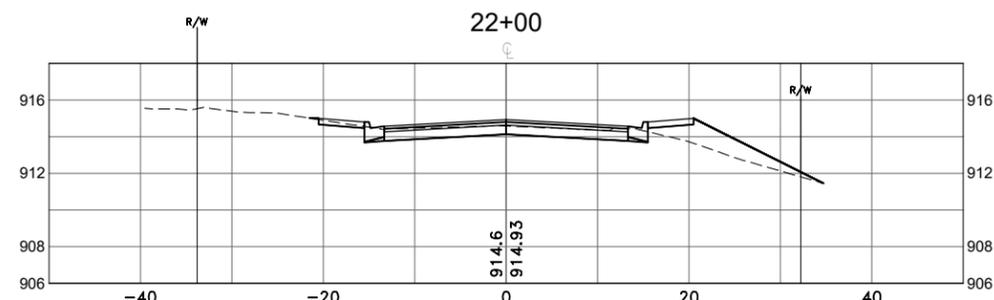
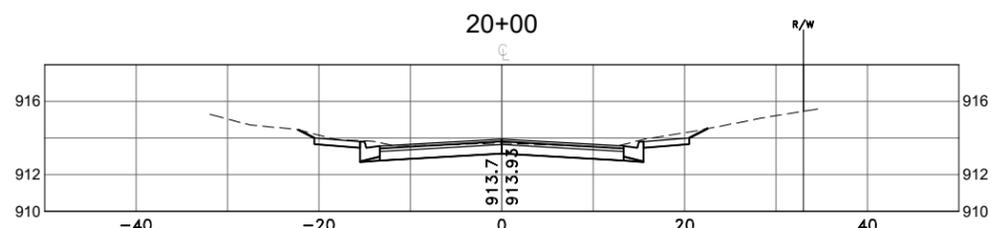
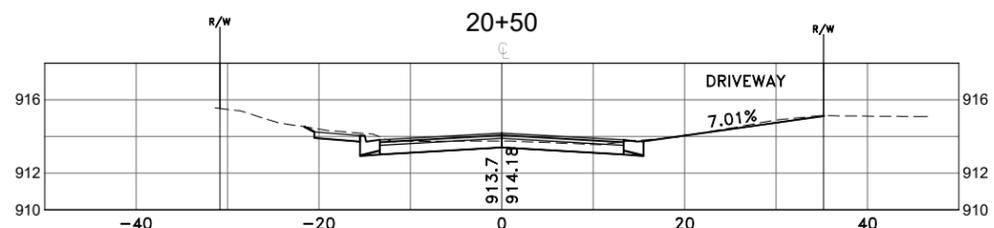
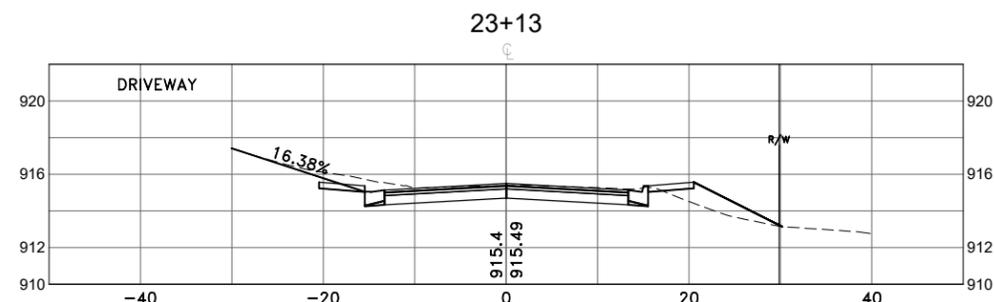
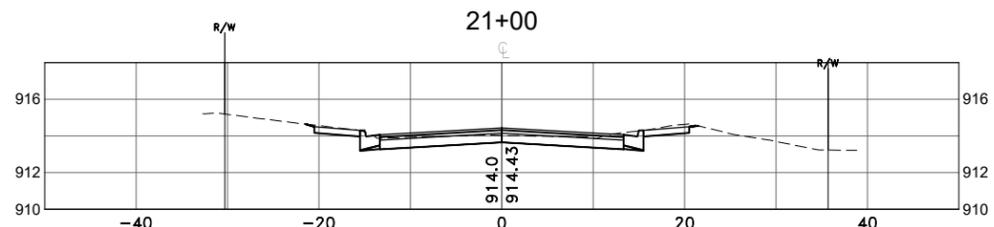
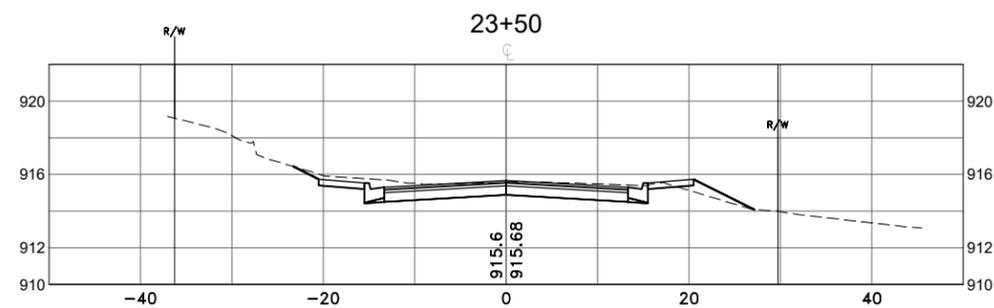
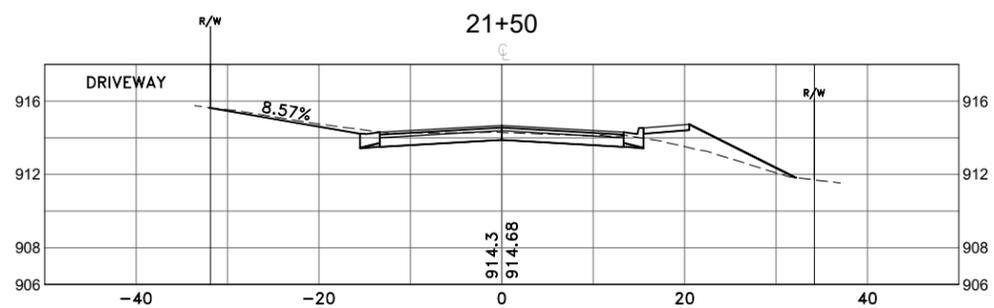
City Council Packet, page 130

2024 STREET RECONSTRUCTION PROJECT

CROSS SECTIONS  
DAVENPORT STREET NE  
CITY OF EAST BETHEL

S.A.P. 203-102-009  
S.A.P. 203-121-001

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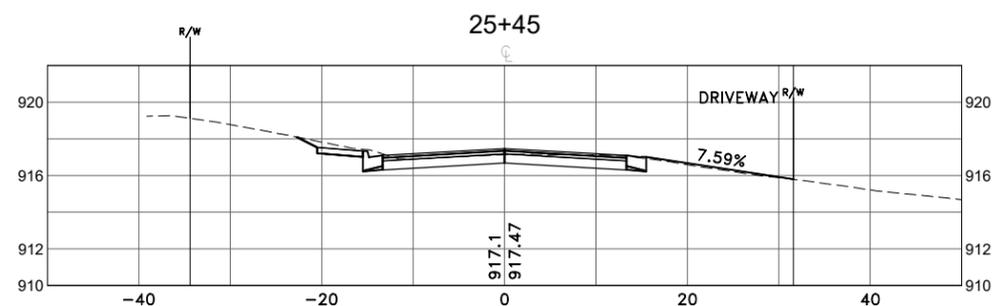
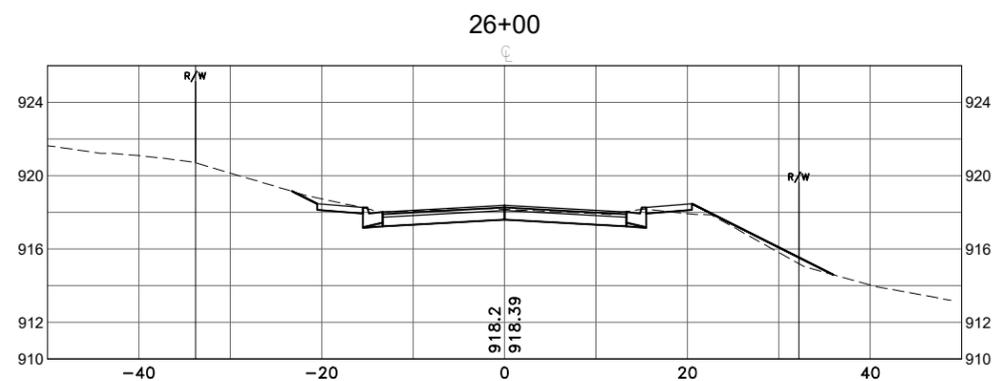
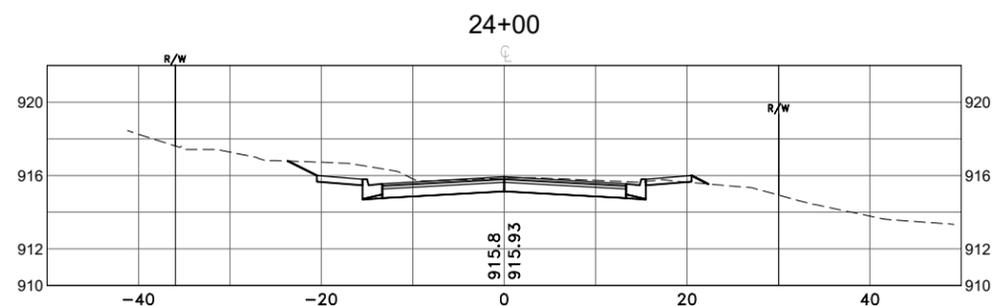
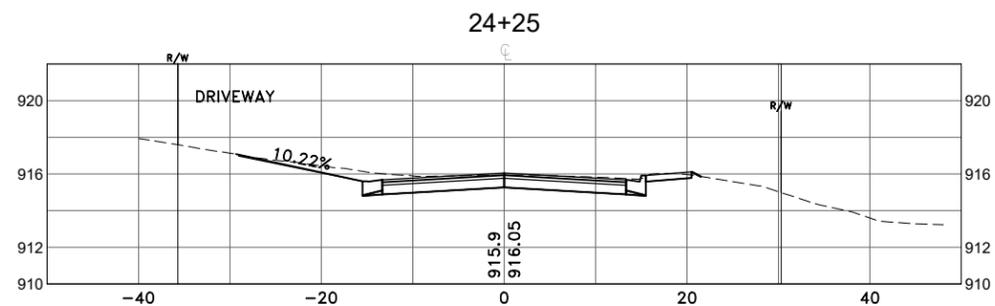
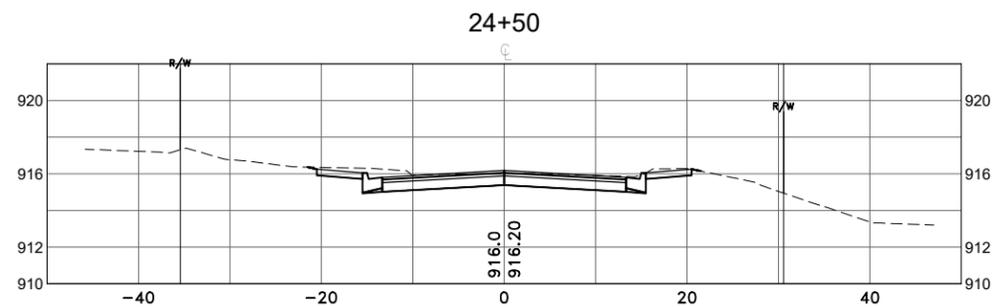
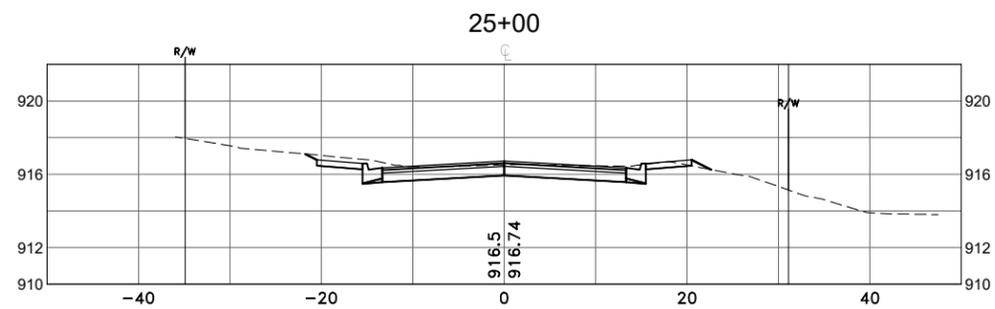
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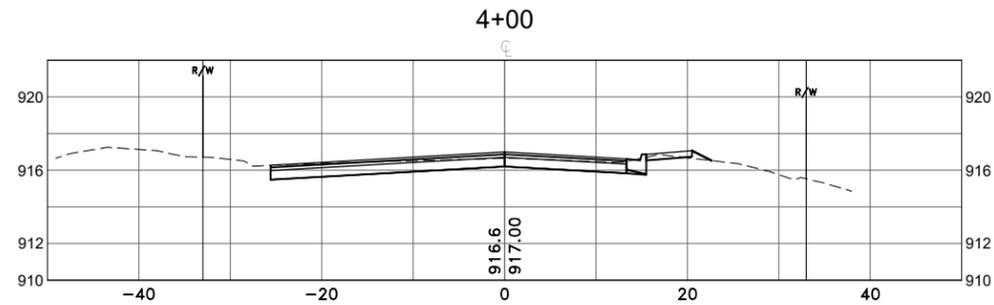
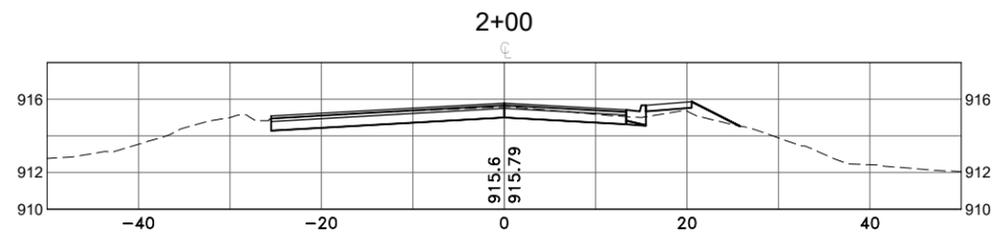
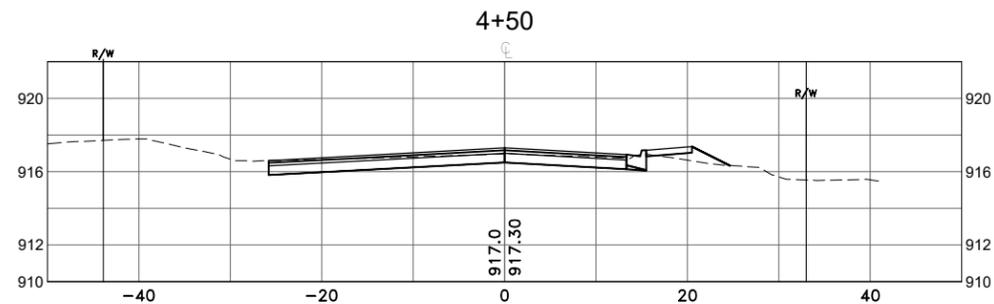
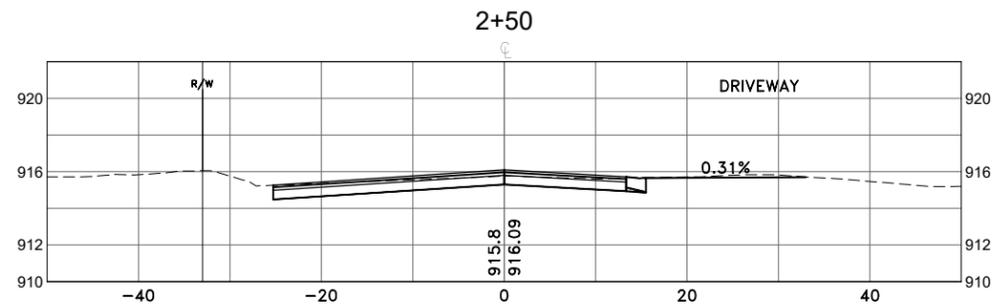
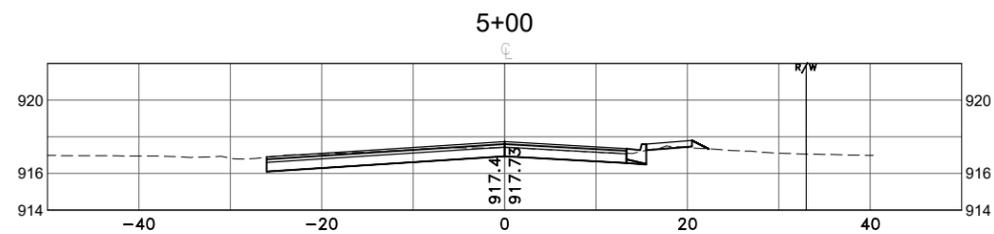
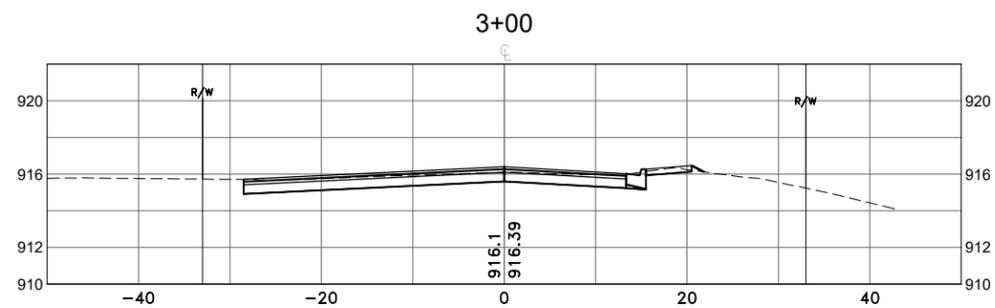
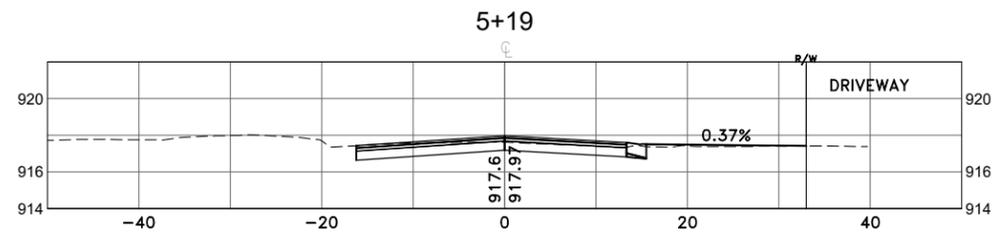
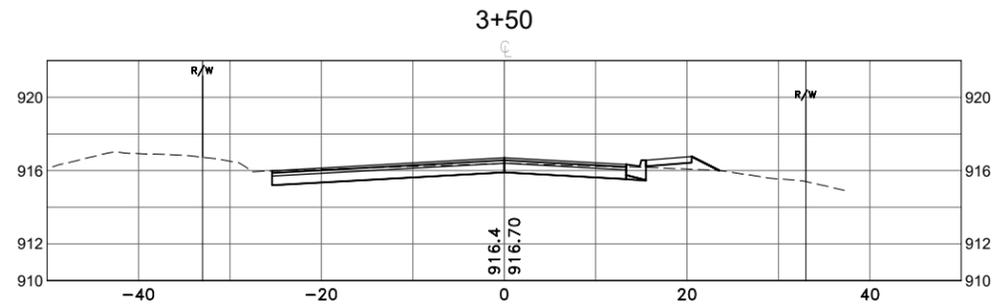
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CROSS SECTIONS  
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CITY OF EAST BETHEL

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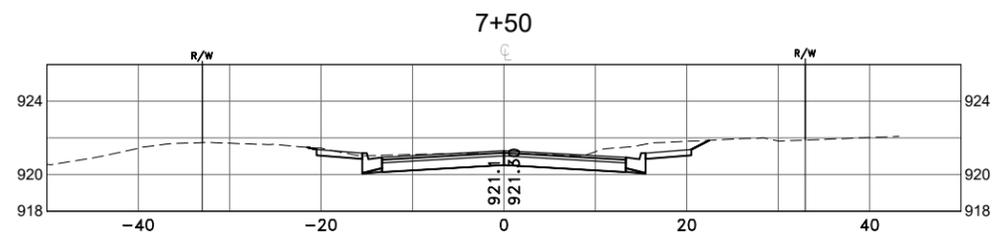
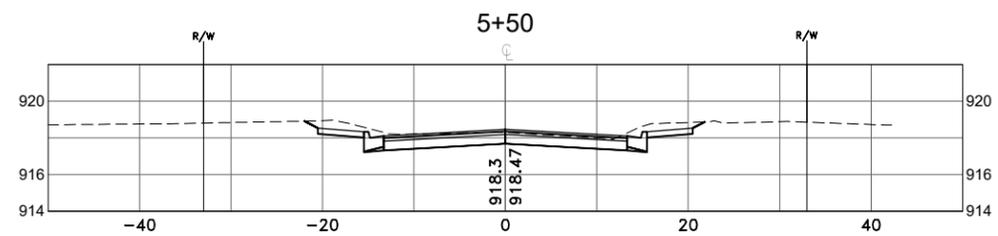
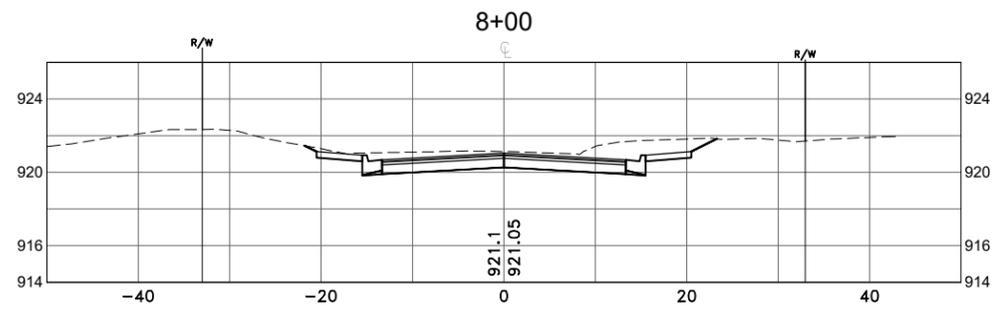
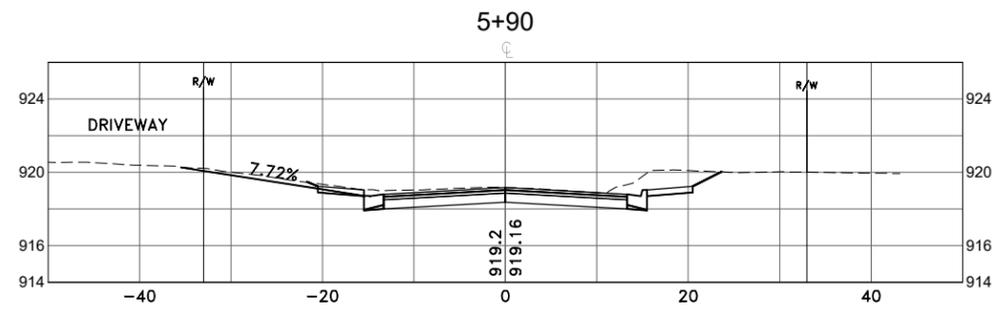
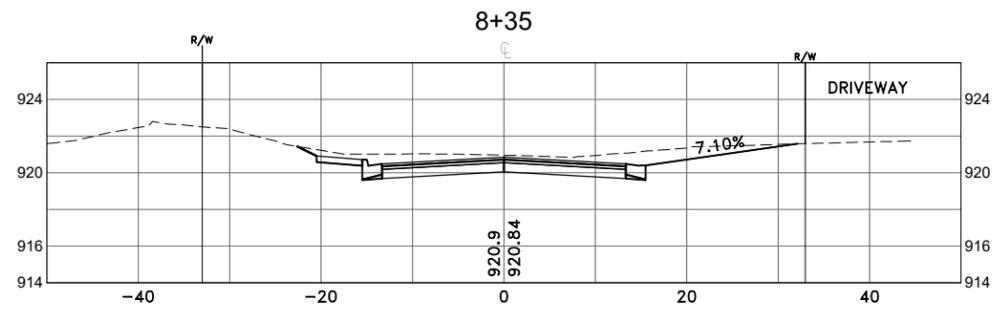
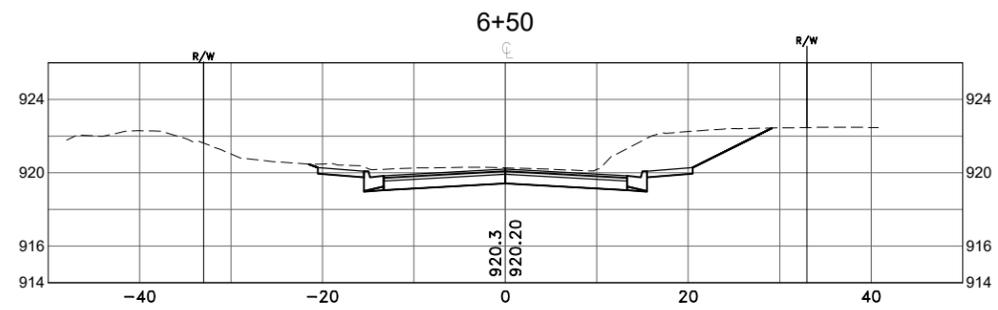
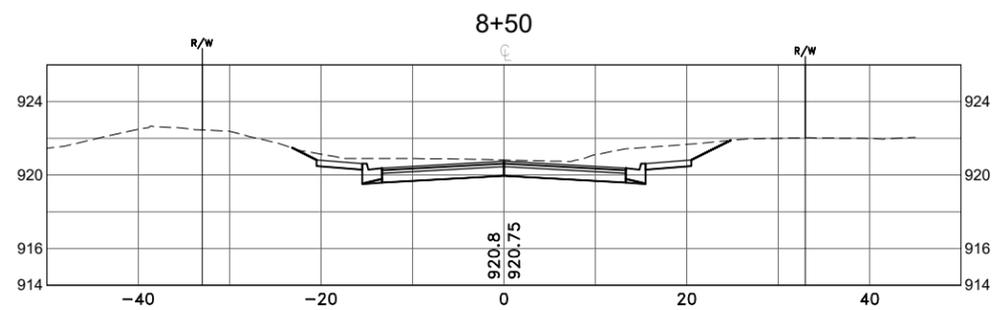
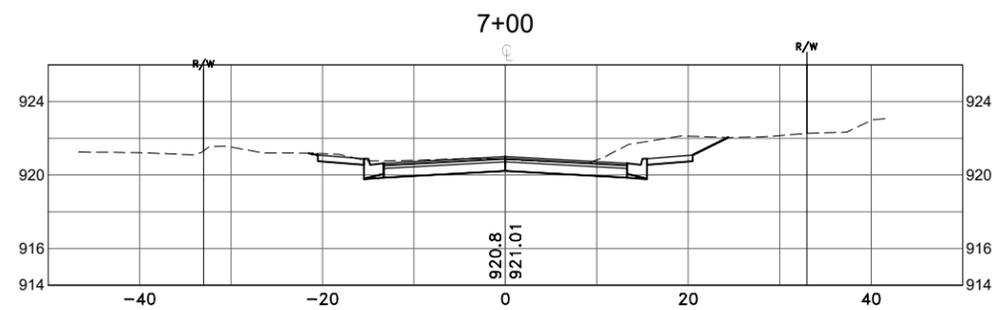
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2024 STREET RECONSTRUCTION PROJECT

CROSS SECTIONS  
SIMS ROAD  
CITY OF EAST BETHEL

S.A.P. 203-102-009  
S.A.P. 203-121-001

SHEET X11 OF X13 SHEETS



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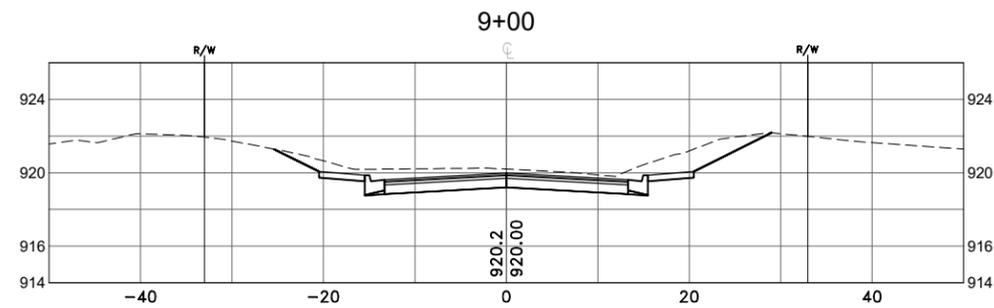
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2024 STREET RECONSTRUCTION PROJECT

CROSS SECTIONS  
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CITY OF EAST BETHEL

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2024 STREET RECONSTRUCTION PROJECT

CROSS SECTIONS  
SIMS ROAD  
CITY OF EAST BETHEL

S.A.P. 203-102-009  
S.A.P. 203-121-001

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**CITY OF EAST BETHEL  
EAST BETHEL, MINNESOTA**

**RESOLUTION NO. 2024-17**

**MUNICIPAL STATE AID STREET FUNDS ADVANCE RESOLUTION**

**WHEREAS**, the Municipality of East Bethel is planning to reconstruct 209<sup>th</sup> Avenue NE from Highway 65 to Davenport Street NE and Davenport Street NE from 209<sup>th</sup> Avenue to SIMS Road NE, in 2024 and;

**WHEREAS**, this project will require State Aid funds in excess of those available in its State Aid Construction Account, and;

**WHEREAS**, said municipality is prepared to proceed with the construction of said project through the use of an advance from the Municipal State Aid Street Fund to supplement the available funds in their State Aid Construction Account, and

**WHEREAS**, the advance is based on the following determination of estimated expenditures:

<b>Account Balance as of date 2/8/24</b>	<b>\$ -76,962</b>
<b>Estimated disbursements:</b>	
Project: – 2024 Street Reconstruction Project	\$ 884,000.00
<b>Advance Amount (amount in excess of acct balance)</b>	<b>\$ 884,000.00</b>

**WHEREAS**, repayment of the funds so advanced will be made in accordance with the provisions of Minnesota Statutes 162.14, Subd. 6 and Minnesota Rules, Chapter 8820.1500, Subp. 10b, and;

**WHEREAS**, the Municipality acknowledges advance funds are released on a first-come-first-serve basis and this resolution does not guarantee the availability of funds.

**NOW, THEREFORE**, Be It Resolved: That the Commissioner of Transportation be and is hereby requested to approve this advance for financing approved Municipal State Aid Street Project; of the Municipality of East Bethel in an amount up to \$844,000. I hereby authorize repayments from subsequent accruals to the Municipal State Aid Street Construction Account of said Municipality from future year allocations until fully repaid.

**I HEREBY CERTIFY** that the above is a true and correct copy of a resolution presented to and adopted by the Municipality of East Bethel, County of Anoka, State of Minnesota, at a duly authorized Municipal Council Meeting held in the Municipality of East Bethel, Minnesota on the 12<sup>th</sup> day of February, 2024, as disclosed by the records of said Municipality on file and of record in the office.

CITY OF EAST BETHEL

---

Kevin Lewis, Mayor

ATTEST:

---

Matt Look, City Administrator

**CITY OF EAST BETHEL  
EAST BETHEL, MINNESOTA**

**MUNICIPAL REQUEST TO RESERVE ADVANCE FUNDING**

The Municipality of East Bethel requests that the amount of \$884,000.00 be reserved from the Municipal State Aid Street Construction Fund for the State Aid Project listed below.

**Project:** 2024 Street Reconstruction Project, SAP 203-102-009 & 203-121-001

**MUNICIPAL APPROVAL**

A Municipal Council Resolution authorizing this advance funding is attached.

\_\_\_\_\_  
City Engineer

\_\_\_\_\_  
Date

**STATE AID APPROVAL**

Construction funds in the amount of \$884,000.00 has been approved and reserved from the Municipal State Aid Street Construction Fund.

\_\_\_\_\_  
State Aid Finance

\_\_\_\_\_  
Date

**City of East Bethel  
City Council Meeting  
Agenda Item Information**



**Date:** February 12, 2024

**Agenda Item Number:** 7.0 A.1

**Agenda Item:** Planning Commission Appointments

**Background Information:**

The resignations of two (2) Planning Commissioners created vacancies on the Planning Commission. The term of Commissioner Sherry Allenspach was to expire on January 31, 2024 and the term for Commissioner Randy Plaisance expires on January 31, 2025.

City staff advertised the openings for a month and received three (3) Letters of Interest and Resumes. Interviews were scheduled and conducted by the Planning Commission as has been past practice for filling commission vacancies.

**Planning Commission:** The Planning Commission conducted interviews of all three (3) candidates at its January 23, 2024 meeting. At the conclusion of the interviews the commission voted to recommend the City Council appointment Steve Voss for a three year term expiring January 31, 2027 and Korey Jorgenson for a partial term expiring January 31, 2025.

**Recommendation:** City Council should review the applicants attached Letters of interest and Resumes, consider the Planning Commission's recommendation, and consider appointing candidate/candidates to fill the two (2) Planning Commission vacancies.

**Attachments:**

1. Steve Voss – Letter of interest and Resume
2. Brian Downie – Letter of interest and Resume
3. Kory Jorgensen – Letter of interest and Resume

**City Council Action:**

Motion by: \_\_\_\_\_

Second by: \_\_\_\_\_

Vote Yes: \_\_\_\_\_

Vote No: \_\_\_\_\_

Mr. Aaron Berg  
Community Development Director  
City of East Bethel  
2241 221st Ave NE  
East Bethel, MN 55011

December 6, 2023

Re: Letter of Interest for Opening on Planning Commission

Dear Mr. Berg

Please accept this letter of interest regarding the opening on the East Bethel Planning Commission. I have attached a copy of my current resume.

I have been involved in community functions from the time I graduated from high school. Civics and community service are a part of my makeup. I enjoy working with others to help solve the challenges our communities face as we slowly grow and develop. I have a definite calling to community service. It has been nearly a year since my final term as Mayor ended, and frankly, I miss being involved in our community. I would like to continue serving the city as a member of the Planning Commission.

We purchased our first home in East Bethel in 1993 and have moved twice since then – both times staying in the same great neighborhood. By the summer of 1993, I was appointed to the EB Planning & Zoning Commission and served on that commission for 11 years, many as the chairman. I was elected to the EB City Council in 2004 to the first of two terms, and then elected Mayor in 2014 for four terms. During my tenure on the City Council, I served as liaison to the Parks Commission, the Roads Commission, the EB Economic Development Authority, the Sandhill Crane Committee, the Upper Rum and Sunrise River WMOs, the Booster Days committee, the EB Fire Department, and the Anoka County Sheriff's Office. I am also a longtime member of the Coon Lake Improvement Association.

We currently have a very strong Planning Commission, with members of varied professional and personal backgrounds that contribute to thorough discussions and debate of the issues presented to the city. I believe that my background, experience, and historical perspectives would be an enhancement and an asset to the commission.

I love our community and would like to continue my service to the city as a member of the East Bethel Planning Commission.

Thank you for your consideration.

Kind Regards



Steven Voss

**STEVEN VOSS**

[REDACTED] East Front Boulevard NE  
East Bethel, Minnesota 55092  
[REDACTED]

**EDUCATION**

B.S. Biology (Environmental Studies), University of Minnesota  
M.S. Civil and Environmental Engineering, Clarkson University

**EMPLOYMENT****Senior Project Manager/Engineer** 1992 to 2020

*Conestoga-Rovers & Associates, Inc./GHD, Inc. (St. Paul, Minnesota)*

Responsible for planning, coordinating, and managing multi-disciplinary, environmental projects. Duties included developing and managing client and subcontractor agreements, project schedules, and project budgets; developing project work plans, health and safety plans, and system operations and maintenance plans; developing project specifications and contractor agreements, contractor procurement, construction oversight, and construction documentation; negotiating with Federal and State regulatory agencies and local governmental permitting agencies; supervising and mentoring engineering and technical staff, client maintenance, and business development.

**Environmental Engineer** 1990 to 1992

*C&S Engineers, Inc. (Syracuse, New York)*

Responsible for managing project analytical data, developing groundwater monitoring programs at several landfill sites throughout New York State, negotiating with State regulatory agencies, and completing Phase I and Phase II Environmental Site Assessments.

**COMMUNITY-BASED ACTIVITIES, EXPERIENCE, AND BACKGROUND****Mayor** 2014 to 2022

*City of East Bethel*

**City Council Member** 2004 to 2012

*City of East Bethel*

**Planning & Zoning Commission** 1993 to 2004

*City of East Bethel*

**Board Member** 2007 to 2014

*Forest Lake Baseball Association*

**Association President** 2005 to 2007

*Soderville Athletic Association*

**Youth Sports Coach** 2000 to 2012**Local Representative** 2001 to 2004

*DNR Metro Greenways Planning Initiative/Metrowide Open Space Preservation Committee*

**Environmental Quality Commission** 1986 to 1987

*City of Crystal, Minnesota*

Dear East Bethel Community Development Director,

My name is Brian Downie, & I am interested in the Planning Commission position opening. My interest in this position (either the 3-year or 1 year term) comes from my desire to serve my community.

My wife & I moved to East Bethel in 2017. Since then, we have started our family & decided this is where we want to spend the rest of our lives. My job as a quality manager promotes growth through hard work, dedication, and appreciation with what is done every day. I also currently serve on the East Bethel Fire Department, & my time with the department has shown me the importance of teamwork.

I am excited about this opportunity to serve the city of East Bethel. Please let me know if you have any questions; I look forward to hearing from you.

Thank you,

Brian Downie

## **BRIAN DOWNIE**

Collen Street, East Bethel, MN 55092

### **PROFESSIONAL EXPERIENCE**

Precision Repair & Calibration, Inc., Blaine, MN **2021 to Present**

**Quality Manager**

Approval of certification, maintenance of procedures & performance reviews.

Precision Repair & Calibration, Inc., Blaine, MN **2003 to 2021**

**Metrologist**

Calibration of cylindrical hard gages, hand tools, pressure, temperature, electronics & inspection of parts using VMM. Familiar with gage tracking software, measurement uncertainty budgets, ANSI/ASME specifications & requirements for ISO17025:2005 accreditation. Currently manage the dimensional lab to ensure customer expectations are met and questions are promptly answered. Constantly improving on standard operating procedures, allowing for teamwork skills, leadership training & better efficiency.

Lake Engineering, Long Lake, MN **2014 to 2015**

**Quality Manager**

Maintained calibration laboratory for inspection of machined parts, including out-sourcing and internal measurement. Tracked, set and distributed gages needed for inspection at critical points of part development.

### **RELEVANT EXPERIENCE**

NSCL steering committee **2017 to Present**

**Set up conferences, found speakers & helped develop agendas**

EAST BETHEL FIRE DEPARTMENT, East Bethel, MN **2017 to Present**

**Firefighter II, Haz Mat Operations Certified, First Responder, Fire Instructor I, Fire Officer I**

### **EDUCATION AND CERTIFICATIONS**

High School diploma, Lourdes High School, Rochester, MN 1999

First Responder Certification, EMSRB #988421 Minneapolis, MN

CPR Certification, East Bethel, MN

Firefighter I, Firefighter II & HAZ-MAT Operations, Anoka County Fire Academy, Blaine, MN

**Kory Jorgensen**

---

[REDACTED]  
Taylor Street NE, East Bethel, MN 55003

Mr. Berg -

I am writing with my interest in the Planning Commission position with the City of East Bethel. Bringing my years of work experience and training, I would look forward to the opportunity to make my city a better place as I have been an East Bethel homeowner for the last seven years.

By being able to contribute to the long-term vision of the city, the three-year position is important to me, however the opportunity to join the team in the one-year availability would be something I would be excited to accept.

With three specific certifications in public works, building inspections, and housing inspections, I believe I could help in the construction and planning process. As my career has progressed into both sewer and water departments, I have been able to gain experience in fields that translate well to commercial and residential development. My work has always been collaborative with consulting firms, municipalities, and contractors, something that I would look forward to continuing with the City of East Bethel through the Planning Commission.

Over the course of 34 years in public works, I was able to collaborate on the City of Fridley and City of Coon Rapids comprehensive plans. Through both the design and implementation, these were experiences I would like to bring to the City of East Bethel.

I look forward to hearing more about the future plans and goals for the City of East Bethel soon.

Sincerely,



Kory Jorgensen

## Kory Jorgensen

---

[REDACTED]  
[REDACTED] Taylor Street NE, East Bethel, MN 55005

### Water Operations Specialist

**Short Elliott Hendrickson Inc. (SEH)**

**Jan. 2021 – Present**

**Vadnais Heights, MN**

- Provide water system design and operation assistance with clients and engineers
- Observe on-site construction and serve as the Resident Project Representative (RPR)
- Piloting water for water treatment plant design
- Pursue projects and potential clients by creating a strategic plan by marketing services
- Assist with protective coatings on water towers and telecom projects
- Provide overall water treatment plant work including planning, reviewing, construction inspections and asbuilts of projects.
- Oversee and troubleshoot well and pumphouse construction projects

### Utilities Supervisor

**City of Coon Rapids**

**Nov. 2014 – Dec. 2020**

**Coon Rapids, MN**

- Planned, directed, and supervised daily operations of city's utility system
- Managed \$7.3 million budget for sewer department and \$11.2 million for water department
- Was responsible for 24 wells, 290 miles of water main, 3,316 fire hydrants, 16 sewer lift stations, 250 miles of sanitary sewer and 5,734 manholes
- Scheduled capital improvement plan for utility division
- Organized and contracted work with outside consulting firms and coordinated work with other government agencies
- Oversaw regulation of safety rules of MDH, MPCA, EPA, OSHA, and DNR
- Implemented well head protection plan Part I and II, CCR, emergency operations plan, and RMP
- Scheduled and planned workloads for 13 full-time staff members

### Water Department Supervisor

**City of Fridley**

**Oct. 2005 – Nov. 2014**

**Fridley, MN**

- Planned, scheduled and assigned daily work for four full-time staff in addition to part-time staff
- Coordinated water department annual budget of \$1 million and developed long-range capital improvement program
- Verified water system met state water quality standards
- Supervised water main break, service leak repairs, and utility construction projects
- Supervised \$1.1 million water treatment plant renovation and \$600,000 filter media replacement
- Supervised and inspected painting and refurbish of 1.5 MG and .5 MG water towers
- Implemented Emergency Operations Plan

### Public Service Worker

**City of Fridley**

**June 1986 – Oct. 2005**

**Fridley, MN**

- Operated water treatment plants, located requests for Gopher State One Call, and worked at water main and service leak repairs
- Inspected utility construction, snow plowed as needed, and executed work orders for service of water and sewer
- Had on-call responsibilities for sewer and water after hours, supervised part-time employees, and repaired and maintained fire hydrants
- Operated equipment such as dump truck, loader, backhoe, skid loader, jetter, air compressor, sidewalk plow, and plow trucks

# Kory Jorgensen

Taylor Street NE, East Bethel, MN 55005

## EDUCATION

**Anoka-Ramsey Community College**  
Diploma – AAS in Marketing Management

**Coon Rapids, MN**  
June 1986

**North Hennepin Community College**  
Certificate – Public Works  
Certificate – Building Inspection Technology  
Certificate – Housing Inspection Technology

**Brooklyn Park, MN**  
Nov. 1993  
May 2003  
May 2005

## ACCREDITATIONS

Class A Water Systems  
Class SB Sewer Collection System  
Special Class Boiler Engineer  
Class A Minnesota Drivers License with Tanker and Air Brake Endorsements

License #8733  
License #SB15774  
License #050204-SP

## ADDITIONAL TRAINING

- Water Utility Management Course
- Municipal Utilities Inspector School
- Microsoft Word, Outlook, and Windows
- MNDOT Hwy 65 Public Advisory Committee Member
- ARCC Leadership Academy - 2015
- AWWA, APWA, and SUSA Active Member
- AWWA Utility Risk and Resilience Certificate`
- Confined Space Training
- Competent Person Training
- Served on Fridley and Coon Rapids Safety Committees
- HAZWOPER 40 Hour
- Defensive Driving Course
- OSHA 10 Construction Safety
- CPR Certification

## REFERENCES

**Mark Hansen**  
City of Coon Rapids City Engineer

**763-767-6465**  
1831 111th Avenue NW  
Coon Rapids, MN 55433

**Brian Noma**  
Minnesota Department of Health, District Engineer

**651-470-4182**  
121 East Seventh Place, Suite 230  
St. Paul, MN 55101

**Jason Wiehle**  
City of Fridley Water Department

**612-710-4734**  
6431 University Ave NE  
Fridley, MN 55432

**Miles Jensen**  
PE Associate SEH Inc.

**651-775-5031**  
3535 Vadnais Center Drive  
St. Paul, MN 55110

**City of East Bethel  
City Council Meeting  
Agenda Item Information**



**Date:** February 12, 2024

**Agenda Item Number:** 7.0 A.2

**Agenda Item:** Septic Variance – 4310 Channel Ln NE- Sue Jensen

**Background Information:** On November 16, 2023, the city received an application from the owner of 4310 Channel LN. NE, to allow the replacement of a non-compliant septic system at the address. The applicant had hired Lashinski Services, Inc. to repair the existing system servicing the property. Lashinski Services, Inc. discovered the location of the existing system is the only location on the .47 acre parcel for the system due to the lot shape, building placement, and shoreland setbacks. While creating the septic design to remove and replace the existing drainfield Lashinski Services, Inc. discovered that it was placed in a City Right of Way (ROW).

4310 Channel Ln NE is located in the Oak Ridge Second Addition, which was originally approved and platted in July 1962 by the Village of East Bethel Council. (See Attachment 4) City Staff have researched the property records and discovered there was septic work completed in 1979, in which a drainfield was added to an existing system. City Staff is unable to locate any license agreement or variances issued to permit the existing placement, nor any discussion in council minutes from 1962 or 1979.

The applicant has owned the property since September 1991, has no knowledge of any previous variance or license and is looking to fix the system in order to put the house on the market for a future sale.

If a variance is approved, a Licensing and Use Agreement will be required to permit the use of the ROW in order to reconstruct the drainfield in its current location as it is 30 feet into the Right of Way and straddling the front property line.

The applicant is requesting a variance to reduce the front yard setback standard from 10 feet to 0 feet for the replacement of the septic drainfield and tanks.

The system current placement meets setback requirements of all neighboring wells.

Consideration of a variance requires the following three-factor test for practical difficulties:

- The first factor, a test of reasonableness, means that the landowner would like to use the property in a practical way but cannot do so under the rules of the ordinance.

In this case:

***Septic systems are required for a home to be considered habitable. The approval of the variance would allow this property to continue to be used as a residence.***

- The second factor is, a test of uniqueness, the issue for the variance is due to circumstances unique to the property and not caused by the landowner. The uniqueness generally relates to the physical characteristics of the particular property.

In this case:

*The property has limited space for a drain field due to the lot sizes created by this 1960's era plat. The primary structure (home) was placed approximately 36.5 feet from the Ordinary High Water Level OHWL, 31.1 feet from the front lot line, and 10.5 feet from the side yard lot line. The detached garage was placed 60 feet from the OHWL, 22.7 feet from the front property line and 18.4 feet from the side yard lot line.*

*Today's Shoreland setback for structures is 75 feet from the OHWL, 25 feet from the front lot line and 7 feet from the side yard lot lines. Additionally, there is 30 feet between the primary residence and the detached garage.*

*Current setback requirements for sewage treatment systems are 50 feet from the OHWL, 50 feet from any well, 20 foot from any structure and 10 foot setback from any property line. Tanks are required to be placed 10 feet from any structure and 10 feet from property lines. The well serving this residence is in the basement of the house.*

- The third factor is, that a variance would not alter the essential character of the neighborhood. This factor is used to consider whether the resulting structure or improvement will be out of scale, out of place, or otherwise inconsistent with the surrounding area.

In this case:

*The existing non-compliance sewage treatment system is already in this location and it is being proposed to be replaced. It has existed in this location since at least May 1979 when a permit was issued for installation.*

**Planning Commission:** On January 23rd, 2024, the Planning Commission Meeting held a Public Hearing and there were no public comments. After reviewing the material the Planning Commission by a 5-0 vote made a recommendation of approval to the City Council, on Resolution 2024-XX, granting a variance to a reduction of the standard allowing for the installation of a replacement septic system, at the front yard setback standard from 10 feet to 0 feet at 4310 Channel Ln. NE with conditions.

**Recommendation:** City Council should review the request, consider the Planning Commission's formal recommendation and consider approving the variance as presented in Resolution 2024-12, with the following conditions:

1. A License and Use Agreement with the City of East Bethel must be obtained prior to the issuance of a septic replacement permit.

**Attachments:**

1. Resolution 2024-12, Approving variance to the reduction of the standard for the installation of a septic system in the front yard setback.
2. Location Map
3. Aerial of Property
4. Oak Ridge Second Addition Plat
5. Certificate of Survey
6. Septic Design

**City Council Action:**

Motion by: \_\_\_\_\_

Second by: \_\_\_\_\_

Vote Yes: \_\_\_\_\_

Vote No: \_\_\_\_\_

**CITY OF EAST BETHEL  
COUNTY OF ANOKA  
STATE OF MINNESOTA**

**RESOLUTION NO. 2024-12**

A RESOLUTION **GRANTING** VARIANCE FOR THE REDUCTION IN SETBACK FROM THE FRONT PROPERTY LINE FROM TEN FEET TO ZERO FEET FOR THE INSTALLATION OF A SEPTIC SYSTEM DRAINFIELD ON A PROPERTY LOCATED AT 4310 CHANNEL LN NE (PIN: 25-33-23-33-0035) LEGALLY DESCRIBED AS:

LOTS 17 & 18 BLK 1 OAK RIDGE 2ND ADD SUBJ TO EASE OF REC

**WHEREAS**, the property owner requested a variance for a reduction in setbacks from the front property line from 10 feet to 0 feet; for the placement of a septic system drainfield, and;

**WHEREAS**, the Minnesota Septic Code requires the approval of a variance to the standards by the governing municipality, per Minnesota Rule Chapter 7080; and,

**WHEREAS**, the Planning Commission held a public hearing on January 23, 2024; and,

**WHEREAS**, the Planning Commission finds the request:

1. Is a reasonable request:
  - Minnesota Septic Code allows municipalities to grant variances to the standards.
  - The issuance of a variance for the drainfield installation is necessary for this home to continue to be a habitable structure.
2. Is due to circumstances unique to the property, not caused by the landowner;
  - Because of existing lot sizes within this subdivision, setback requirements from wells and residences, the property has limited space for a compliant drain field.
3. Will not have a negative effect on the characteristic of the neighborhood;
  - Neighborhood near Coon Lake have had numerous septic variances issued.
  - With a number of the older systems needing to be replaced in this area, a variance request is quite common and granting this variance will not change the essential character of the neighborhood.

**WHEREAS**, the City Council approves of the variance request.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of East Bethel hereby approves the variance to the standard to allow for the installation of a septic system drainfield 0 feet from the front lot line on property located at 4310 Channel LN NE with the following conditions:

1. A Certificate of Survey must be submitted indicating the septic system location to verify setbacks.
2. A Licensing and Use Agreement for the use of the City Right of Way must be executed prior to the issuance of a septic replacement permit.

Adopted this 12<sup>th</sup> day of February, 2024 by the City Council of the City of East Bethel.

CITY OF EAST BETHEL

ATTEST

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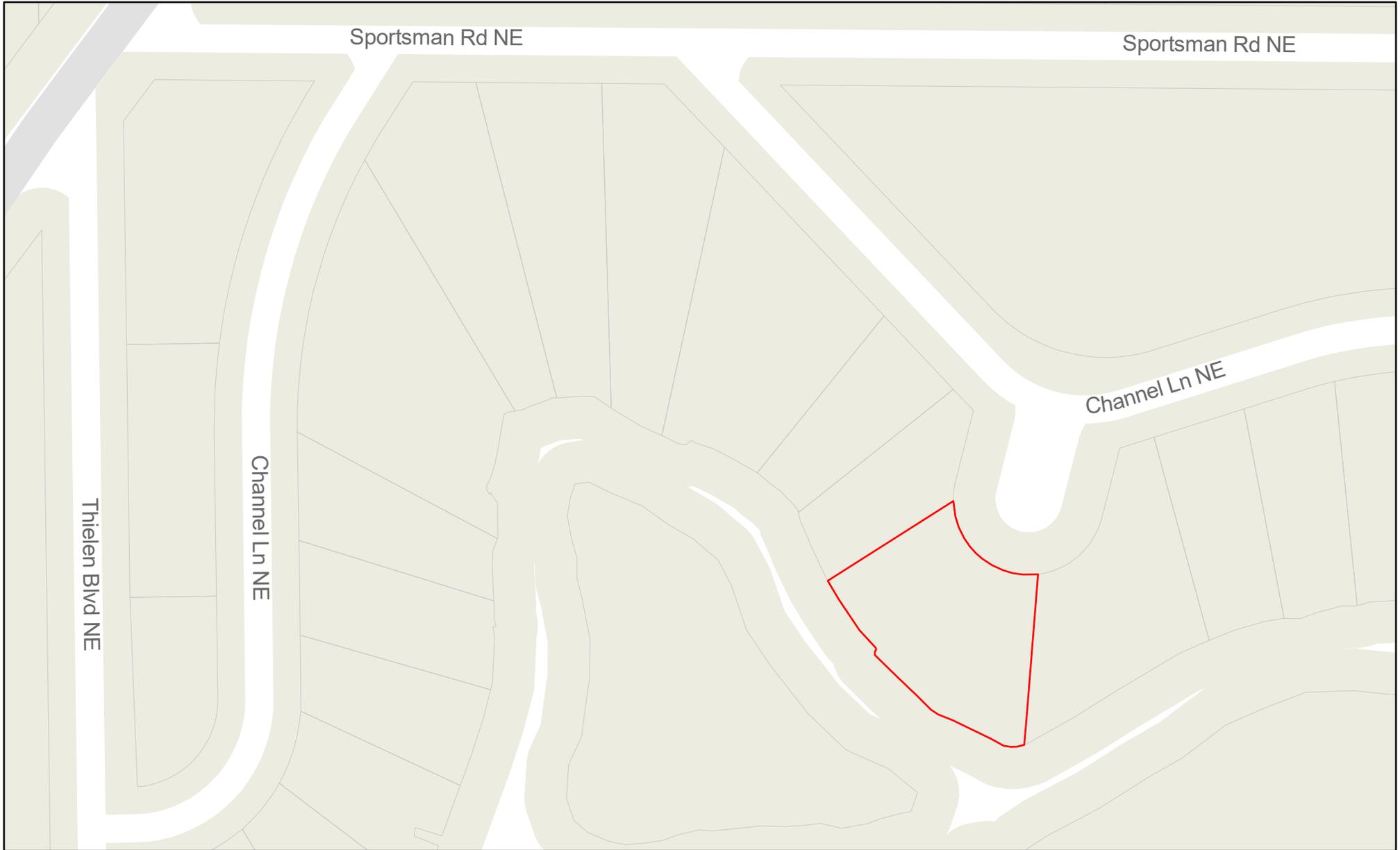
Kevin Lewis, Mayor

---

Matt Look, City Administrator

# 4310 Channel Ln - Location Map

Item 7.0 A.2, Attachment 2



1 inch equals 149 feet



Parcels

City Mask

# 4310 Channel Ln - Aerial Map

Item 7.0 A.2, Attachment 3



1 inch equals 227 feet



Parcels

City Mask

Original

# OAK RIDGE SECOND ADDITION

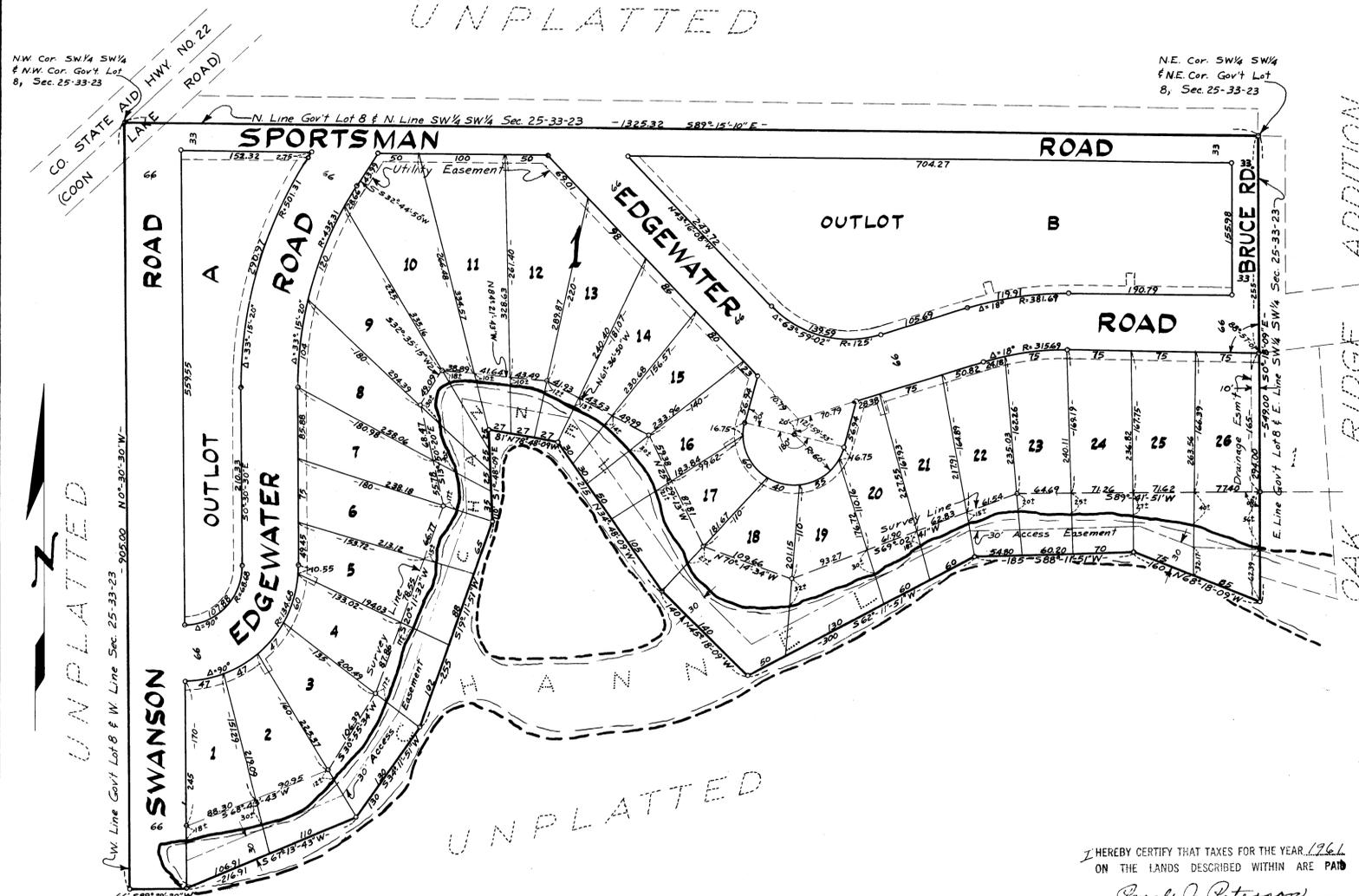
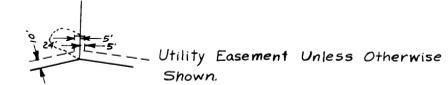
## VILLAGE OF EAST BETHEL ANOKA COUNTY, MINNESOTA

○ INDICATES IRON MONUMENTS

MILNER W. CARLEY  
& ASSOCIATES  
SURVEYORS-ENGINEERS

SCALE: 1"=100'

Note: 25 Foot Building Set-back From All Street Right-of-way Lines



N.W. Cor. SW 1/4 SW 1/4 & N.W. Cor. Gov't Lot 8, Sec. 25-33-23

N.E. Cor. SW 1/4 SW 1/4 & N.E. Cor. Gov't Lot 8, Sec. 25-33-23

KNOW ALL MEN BY THESE PRESENTS: that Buford A. Olson, a single man, owner and proprietor of the following described property situated in the County of Anoka, State of Minnesota to wit: All that part of Government lot numbered Eight (8), in Section numbered Twenty-five (25), Township numbered Thirty-three (33), Range numbered Twenty-three (23) described as follows: Beginning at the Northeast corner of said Government Lot 8; thence S 0°18'09"E on the East line of said Government Lot 8, 549 feet; thence N 68°18'09" W, 160 feet; thence S 88°11'51" W, 185 feet; thence S 62°11'51" W, 300 feet; thence N 45°18'09" W, 140 feet; thence N 34°48'09" W, 215 feet; thence N 78°48'09" W, 81 feet; thence S 1°48'09" E, 110 feet; thence S 19°11'51" W, 255 feet; thence S 34°11'51" W, 130 feet; thence S 67°13'43" W, 216.91 feet; thence S 89°29'30" W, 66 feet to the West line of said Government Lot 8; thence N 0°30'30" W, 905 feet to the Northwest corner of said Government Lot 8; thence S 89°15'10" E, 1325.32 feet to the point of beginning; subject to the reservation of a 150 foot strip for rail-way purposes as the same was described in that deed recorded in Book 5, Page 382, in the office of the Register of Deeds, Anoka County, Minnesota, and subject to County State Aid Highway No. 22, have caused the same to be surveyed and platted as OAK RIDGE SECOND ADDITION, as shown by this plat, and hereby dedicate to the public and for the public use forever all streets, roads and easements as shown.

Witness my hand this 3rd day of July A.D. 1962.

In Presence of

Richard V. Ottlund  
STATE OF MINNESOTA  
COUNTY OF Anoka } SS

Buford A. Olson  
Buford A. Olson

On this 3rd day of July A.D. 1962 before me, the undersigned, personally appeared Buford A. Olson, a single man, to me known to be the person described in and who executed the foregoing instrument and acknowledged that he executed the same as his free act and deed.

Harold E. Tapp  
Notary Public, Anoka County, Minnesota  
My Commission expires April 27, 1963

I hereby certify that I have surveyed and platted the land described in the dedication on this plat as OAK RIDGE SECOND ADDITION; that this plat is a correct representation of said survey; that all distances are correctly shown on said plat in figures denoting feet and decimals of a foot; that the monuments for the guidance of future surveys have been correctly placed in the ground as shown on the annexed plat; that the outside boundaries of the land are correctly designated on said plat; and that there are no wet lands or public highways to be designated on said plat other than are shown thereon.

Donald D. Carley  
Surveyor - Minnesota Registration No. 3527

I HEREBY CERTIFY THAT TAXES FOR THE YEAR 1961 ON THE LANDS DESCRIBED WITHIN ARE PAID

Paul J. Peterson  
County Treasurer

STATE OF MINNESOTA  
COUNTY OF RAMSEY } Above certificate subscribed and sworn to before me, a Notary Public, within and for said County and State, on this 6th day of July A. D. 1962.

Dave Cronquist  
Notary Public, Ramsey County, Minnesota  
My Commission expires April 27, 1963

We hereby certify that the Village Council of the Village of East Bethel, Anoka County, Minnesota, duly accepted and approved the annexed plat of OAK RIDGE SECOND ADDITION at a regular meeting thereof held this 5th day of July A. D. 1962.

VILLAGE OF EAST BETHEL, ANOKA COUNTY, MINNESOTA  
BY John E. Anderson Mayor  
BY Arvid B. Peterson Clerk

Checked and approved by me this 10th day of July A.D. 1962.

Blond W. Anderson  
Anoka County Surveyor

OFFICE OF REGISTER OF DEEDS  
STATE OF MINNESOTA, COUNTY OF ANOKA } SS

I hereby certify that the within instrument was filed in this office for record on the 10th day of July A.D. 1962 at 2:45 o'clock P.M. and was duly recorded in book 21 of Plate page 11

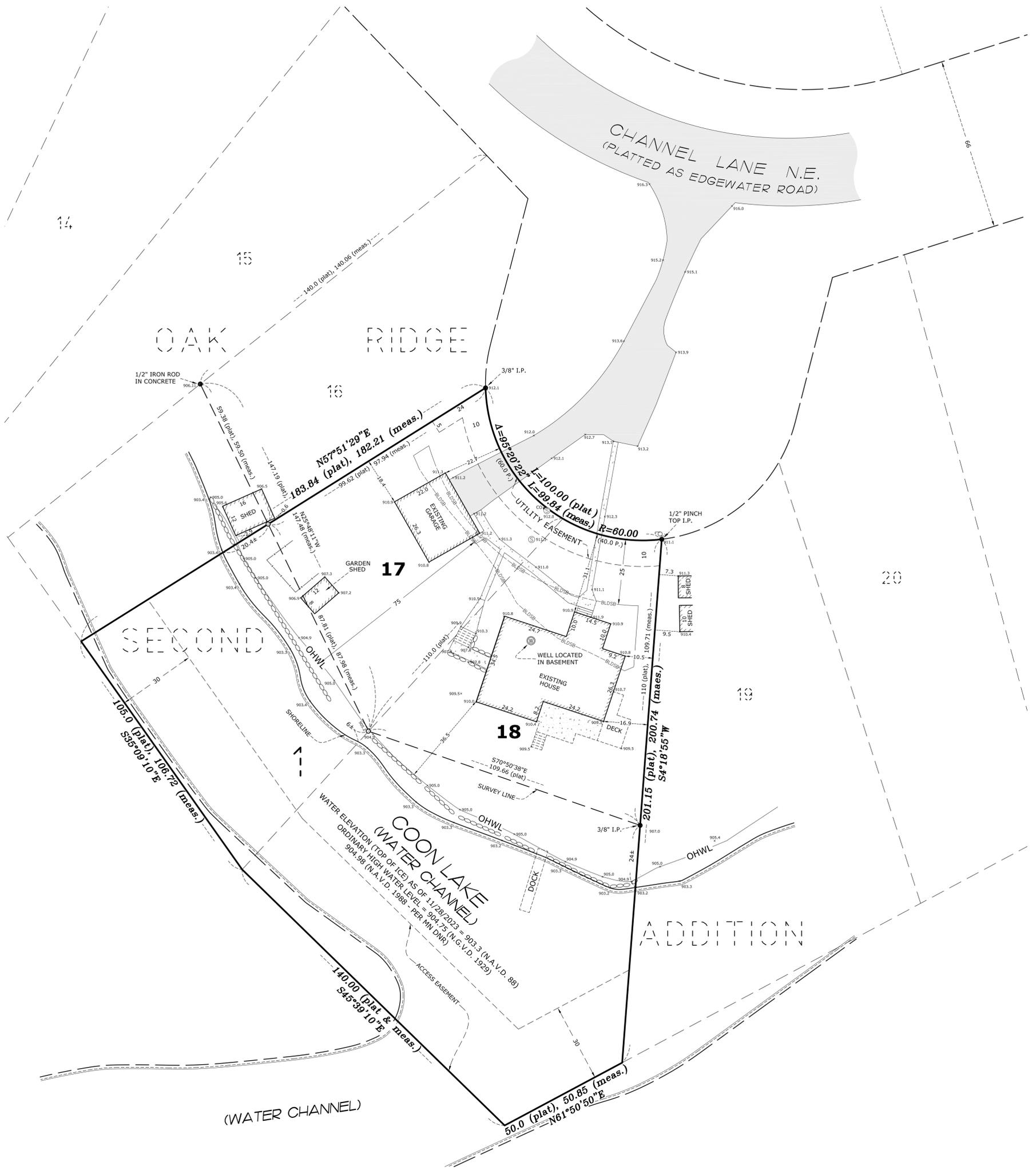
Gertrude Kinison  
Register of Deeds  
By Margaret Russell Deputy

TAXES PAID

This 6th day of July 1962  
Kenneth H. Campbell  
Anoka County, Minn.  
Robert A. Johnson Deputy

# CERTIFICATE OF SURVEY

~for~ SUZANNE JENSEN  
 ~of~ 4310 Channel Lane N.E.  
 East Bethel, Minnesota 55092



### NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 11/28/23.
- Bearings shown are on Anoka County datum.
- Parcel ID Number: 25-33-23-33-0035.
- Total Parcel Area: 35,851.4 Sq. Ft. or 0.82 Acres.
- Total Area Above OHWL: 17,107± Sq. Ft.
- Lake Name: Coon Lake  
 Lake ID#: 02004200 GD  
 Classification: General Development Shoreland
- Property is Zoned: Coon Lake Residential District (CLR)
- Building Setbacks: 25 Feet Front Yard  
 7 Feet Side Yard  
 75 Feet from OHWL
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.

### PROPERTY DESCRIPTION:

LOT 17 and 18, Block 1, OAK RIDGE SECOND ADDITION, Anoka County, Minnesota.

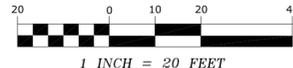
### LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- <sup>CO</sup> DENOTES SEWER CLEAN OUT
- <sup>CP</sup> DENOTES POWER POLE
- <sup>SM</sup> DENOTES SEPTIC SEWER MANHOLE
- <sup>W</sup> DENOTES WELL
- X 952.36 DENOTES EXISTING SPOT ELEVATION
- DENOTES FENCE
- DENOTES RETAINING WALL
- DENOTES BUILDING SETBACK LINE
- DENOTES ORDINARY HIGH WATER LEVEL
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE

### BENCHMARK

BENCHMARK: ANOKA CO. BM NO. 2042 - BLUE 42  
 ELEVATION: 907.779 (N.A.V.D. 1988)

**NORTH**  
 GRAPHIC SCALE



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Jason E. Rud*  
 JASON E. RUD

Date: December 8, 2023 License No. 41578

**E. G. RUD & SONS, INC.**  
 EST. 1977  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701

DRAWN BY: CJT	JOB NO: 23.1169BT	DATE: 11/28/23
CHECK BY: JER	FIELD CREW: JH / CB	
1		
2		
3		
NO.	DATE	DESCRIPTION
BY		

**Lashinski Services, Incorporated**

**M.P.C.A. Certificate # 4266**

1244 Crosstown Blvd NE Ham Lake MN 55304

Office: (763) 434-3915

service@lashinskiseptic.com

January 10, 2024

Sue Jensen  
4310 Channel Lane NE  
East Bethel MN 55092

The onsite sewage treatment system at 4310 Channel Lane in East Bethel is designed for a type I, 3-bedroom house in accordance to the Minnesota Pollution Control Agency (M.P.C.A.) chapter 7080 and local ordinances. The maximum daily flow for this system must not exceed 450 gallons per day (GPD).

The existing tanks must be pumped and abandoned as per MPCA Chapter 7080. A new 1500-gallon (minimum) septic tank must be installed as well as a 1000-gallon pumping chamber to lift the effluent to the proposed treatment area. The tanks must be provided by an MPCA approved vendor and must be registered tanks. If there is less than 24" of cover over the tanks, they must be insulated to a R-Value of 10. All plumbing in and out of the tanks must be Schedule #40 PVC and must be air-tested as per plumbing code. An outlet filter must be installed.

The only suitable site for the new septic is in an area of the existing drainfield and is located in City property. A 750 sq. ft. pressurized bed should be installed in the area of soil borings #1 through #3. All filled and compacted soils as well as any drainfield and/or contaminated soils must be excavated out to a depth of approximately 36" and replaced with washed sand. Because this system is installed in disturbed soils, it is classified as a Type III system and is required to have an approved monitoring and mitigation plan. This plan is attached with this design. A 750 sq. ft. rockbed is to be constructed with a minimum of 6-inches of ¾"-1 ½" rock beneath six 1 ½" laterals with 7/32" perforations drilled every 36".

The system should be installed as drawn on the attached site plan and must be at least 10-feet from the property line. The entire rockbed must be installed level and the materials clean as per MPCA chapter 7080. It is the homeowner's responsibility to establish ground covering over the proposed system to prevent freezing and/or soil erosion.

A shallow well is located to the basement of the house and must be sealed prior to construction. A new deep well must be drilled greater than 50-feet from the proposed system. All neighboring wells appear to be located greater than 50-feet from the proposed septic location. It is the homeowner's responsibility to locate and disclose any wells within 100-feet of the proposed septic site.

The power supply and switches for the lift pump must be located outside the manhole and pumping chamber in a weatherproof enclosure. A warning device must be installed with both audible and visual alert in case of pump failure. The pressurized force main from the pump to the treatment area must be sloped to allow for drain back.

Keep all heavy equipment off the proposed treatment area before and after construction. The treatment area should be marked off before construction. Failure to protect the site of the proposed treatment area can result in this design being invalid and the system will need to be relocated.

Nothing other than human waste, toilet tissue, laundry, showers, water softeners, etc. should be disposed into the septic tanks. **Iron filters must be diverted out of the system.** Garbage disposals are not recommended due to adding more solids and fine solids passing through the tanks and into the treatment area. Excessive amounts of soaps, cleaning agents, and chlorine may kill the bacteria needed to treat septic effluent. Limit the use of anti-bacterial soaps. We recommend using liquid laundry and dish soap instead of powder. **Additives should not be used.**

**Each tank must be inspected by a state licensed professional year after construction for the first three years, then at least once every three years thereafter.** With proper installation and maintenance, this system should have no problem treating effluent effectively.

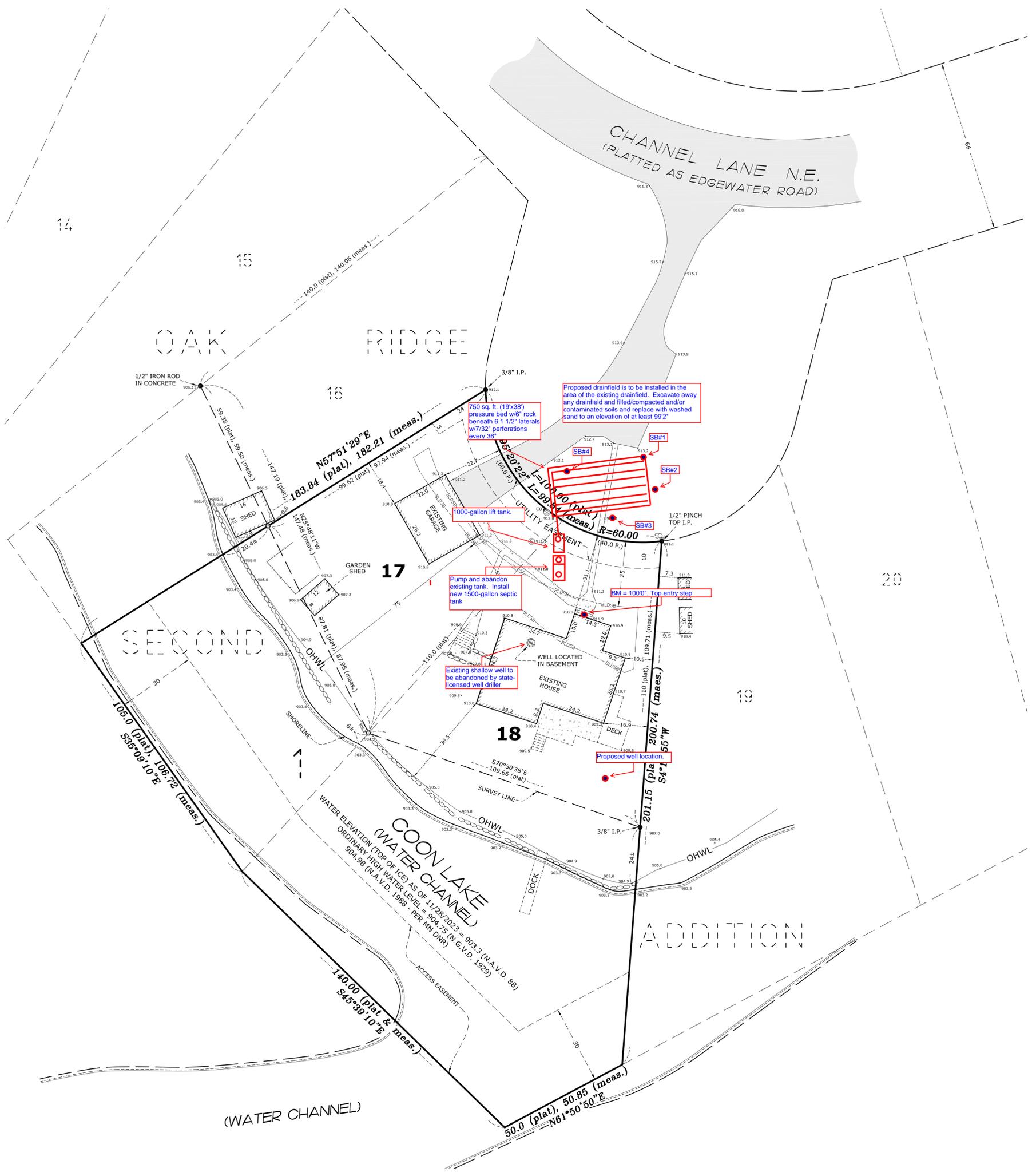
Sincerely,

A handwritten signature in black ink, appearing to read "R. Lashinski".

Ryan Lashinski

# CERTIFICATE OF SURVEY

~for~ SUZANNE JENSEN  
 ~of~ 4310 Channel Lane N.E.  
 East Bethel, Minnesota 55092



## NOTES

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- Total Parcel Area: 35,851.4 Sq. Ft. or 0.82 Acres.
- Total Area Above OHWL: 17,107± Sq. Ft.
- Lake Name: Coon Lake  
 Lake ID#: 02004200 GD  
 Classification: General Development Shoreland
- Property is Zoned: Coon Lake Residential District (CLR)
- Building Setbacks: 25 Feet Front Yard  
 7 Feet Side Yard  
 75 Feet from OHWL
- This survey was prepared without the benefit of title work. Additional easements, restrictions and/or encumbrances may exist other than those shown hereon. Survey subject to revision upon receipt of a current title commitment or an attorney's title opinion.

## PROPERTY DESCRIPTION:

LOT 17 and 18, Block 1, OAK RIDGE SECOND ADDITION, Anoka County, Minnesota.

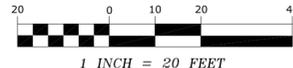
## LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- <sup>CO</sup> DENOTES SEWER CLEAN OUT
- <sup>PO</sup> DENOTES POWER POLE
- <sup>SS</sup> DENOTES SEPTIC SEWER MANHOLE
- <sup>W</sup> DENOTES WELL
- X 992.36 DENOTES EXISTING SPOT ELEVATION
- DENOTES FENCE
- DENOTES RETAINING WALL
- BLD/5B DENOTES BUILDING SETBACK LINE
- OHWL DENOTES ORDINARY HIGH WATER LEVEL
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE

## BENCHMARK

BENCHMARK: ANOKA CO. BM NO. 2042 - BLUE 42  
 ELEVATION: 907.779 (N.A.V.D. 1988)

NORTH  
 GRAPHIC SCALE



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Jason E. Rud*  
 JASON E. RUD

Date: December 8, 2023 License No. 41578

**E. G. RUD & SONS, INC.**  
 EST. 1977  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701  
 www.egrud.com

DRAWN BY: CJT	JOB NO: 23.1169BT	DATE: 11/28/23
CHECK BY: JER	FIELD CREW: JH / CB	
1		
2		
3		
NO.	DATE	DESCRIPTION
		BY

**City of East Bethel  
City Council Meeting  
Agenda Item Information**



**Date:** February 12, 2024

**Agenda Item Number:** 7.0 A.3

**Agenda Item:** Preliminary Plat "Hidden Prairie" – TH Construction of Anoka, Inc.

**Background Information:**

On July 25<sup>th</sup>, 2023, the Planning Commission reviewed a Concept Plan for the revised development plan for a previously approved Preliminary Plat for the Hidden Pines Rural Residential Subdivision. The developer acquired additional adjacent land and incorporated the additional acreage into the revised plan. A public hearing was held and a recommendation of approval was forwarded to the City Council on August 14, 2023. The City Council approved the proposed Concept Plan.

On 1/5/24, a Preliminary Plat Application and supporting materials were delivered to the city. This plat is consistent with the approved concept plan. It consists of seventeen (17) buildable single family rural residential lots. Within the RR- Rural Residential zoning district the minimum lot size required is 2 acres, with a density not to exceed 1 unit per 2.5 acres. All lots within the proposed Hidden Prairie Subdivision meet the 2 acre minimum lot size and the 17 units' fall below the density requirements. Additionally, each lot meets the required minimum 200 foot width at the right-of-way setback line.

Streets

The development will be accessed off of East Bethel Blvd/County Road 15; therefore, the Anoka County Highway Department is required to review the plan. They submitted a comment letter on January 9<sup>th</sup>, 2024 with comments. The developer is required to satisfactorily address all comments prior to any grading of the site.

The internal street will be constructed to city standards with no temporary cul-de-sacs permitted.

Public Works

East Bethel Public Works comments were addressed during the previously approved Preliminary Plat and they have provided no new comments.

Parks Commission

The new concept plan was placed on the August 8, 2023 Parks Commission meeting and they recommended Park Dedication Fees in lieu of park land. The Parks Plan does not support a park in this area of the city.

City Engineer

The City Engineer reviewed the Preliminary Plat and provided a comment letter on January 29, 2024. The developer will be required to satisfy all Preliminary Plat comments prior to filing a Final Plat application.

**Planning Commission:** On January 23, 2024, the Planning Commission Meeting held a Public Hearing. Two residents with adjacent property asked questions about surveys, ditches and the existing septic drainfield on the adjacent lot. The Developer was offered an opportunity to address the questions. At the conclusion of the discussion an additional condition was added to the resolution to address the neighboring septic drainfield. By a 5-0 vote, the Planning Commission recommends approval of the Preliminary Plat to the City Council.

**Recommendation:** City Council should review the request, consider the Planning Commission’s formal recommendation and approval of the Preliminary Plat as presented in Resolution 2024-13.

**Attachments:**

1. Resolution 2024-13
2. Location Map
3. Preliminary Plat for Hidden Prairie
4. City Engineer Comment Letter Dated January 29, 2024
5. ACHD Comment Letter Dated January 9, 2024
6. Covenants Proposed By Developer

**City Council Action:**

Motion by: \_\_\_\_\_

Second by: \_\_\_\_\_

Vote Yes: \_\_\_\_\_

Vote No: \_\_\_\_\_

**CITY OF EAST BETHEL  
COUNTY OF ANOKA  
STATE OF MINNESOTA**

**RESOLUTION NO. 2024-13**

**A RESOLUTION APPROVING THE PRELIMINARY PLAT OF “HIDDEN PRAIRIE”  
FOR PROPERTY LEGALLY DESCRIBED AS:**

SE1/4 OF SW1/4 OF SEC 22 TWP 33 RGE 23, EX N 210 FT THEREOF, & ALSO EX THAT PRT THEREOF DESC AS FOL: BEG AT SE COR OF SD 1/4 1/4, TH N ALG E LINE THEREOF 462 FT, TH W PRL/W S LINE OF SD 1/4 1/4 942.81 FT, TH S PRL/W SD E LINE TO SD S LINE, TH E ALG SD S LINE TO POB, & ALSO EX THAT PRT OF SD 1/4 1/4 DESC AS FOL: COM AT SE COR OF SD 1/4 1/4, TH N 00 DEG 47 MIN 02 SEC E, ASSD BRG, ALG E LINE OF SD 1/4 1/4, 911.48 FT TO S LINE OF N 415 FT OF SD 1/4 1/4 & POB, TH N 89 DEG 51 MIN 24 SEC W, ALG SD S LINE OF N 415 FT, 637.58 FT TO W LINE OF E 637.50 FT OF SD 1/4 1/4, TH N 00 DEG 47 MIN 02 SEC W, ALG SD W LINE OF E 637.50 FT, 205.03 FT TO S LINE OF N 210 FT OF SD 1/4 1/4, TH S 89 DEG 51 MIN 24 SEC E, ALG SD S LINE OF N 210 FT, 637.58 FT TO SD E LINE OF SD 1/4 1/4, TH S 00 DEG 47 MIN 02 SEC E, ALG SD E LINE 205.03 FT TO POB, EX RD, SUBJ TO EASE OF REC

&

THE E 200 FT OF THE SW1/4 OF SW1/4 SEC 22-33-23 EX RD; SUBJ TO EASE OF REC

**WHEREAS**, T.H. Construction of Anoka, Inc. has requested approval of a preliminary plat for Hidden Prairie; and

**WHEREAS**, the East Bethel Review Committee has reviewed the preliminary plat and have provided comments; and

**WHEREAS**, pursuant to published and mailed notice thereof, the Planning Commission has conducted a public hearing on said plat; and

**WHEREAS**, as a result of such public hearing, the Planning Commission recommends approval of the preliminary plat to the City Council.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of East Bethel hereby agrees with the recommendation of the Planning Commission and approves the preliminary plat of Hidden Prairie, with the following conditions:

1. The approved preliminary plat lot lay out is shown as Exhibit A.

2. City of East Bethel Engineer comments dated April 4, 2022 as seen in Exhibit B shall be satisfactorily addressed prior to any grading of the site. The City Engineer will determine when all items have been addressed.
3. Anoka County Highway Department comments dated January 9, 2024 must be satisfactorily addressed, as seen in Exhibit C.
4. The applicant shall be responsible for the cost of construction of all improvements proposed as a part of the preliminary plat.
5. Prior to final plat recording at Anoka County, a Development Agreement acceptable to the City Attorney must be executed by the Developer and filed with Anoka County.
6. Prior to final plat recording at Anoka County, Vehicle Maintenance Access Easements must be executed.
7. Park dedication fees must be paid prior to the release of the final plat.
8. A satisfactory location or verification of the septic drainfield located on 19734 E. Bethel Blvd NE must be established prior to release of final plat.

Adopted by the City Council of the City of East Bethel this 12<sup>th</sup> day of February, 2024.

CITY OF EAST BETHEL

---

Kevin Lewis, Mayor

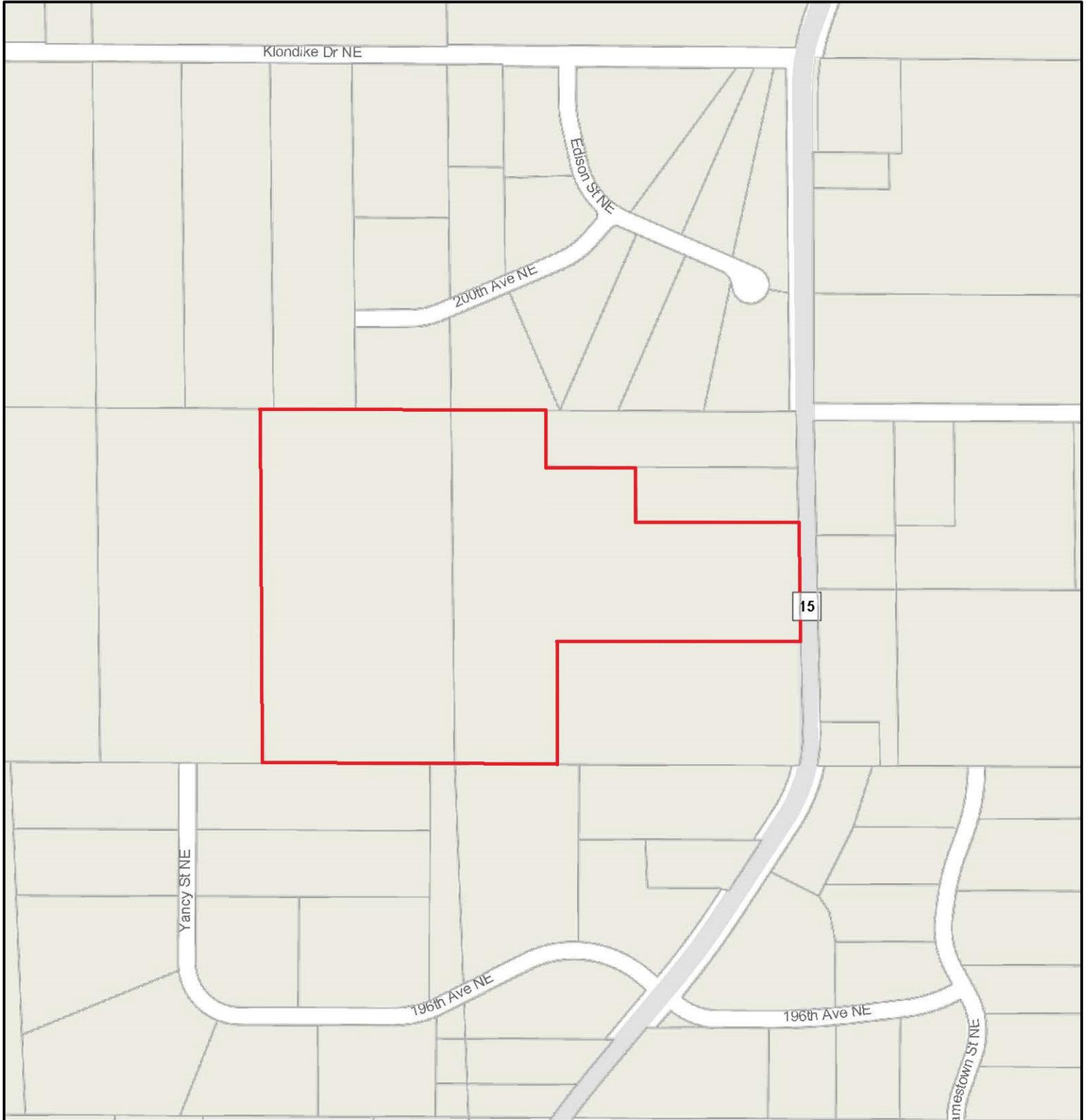
ATTEST

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Matt Look, City Administrator

# Hidden Prairie - Location Map

Item 7.0 A.3, Attachment 2



-  Parcels
-  City Mask

1 inch equals 504 feet



# PRELIMINARY PLAT

~for~ T.H. CONSTRUCTION OF ANOKA, INC.  
~of~ HIDDEN PRAIRIE

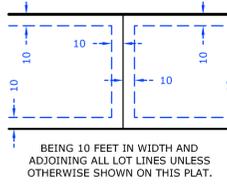
## PROPOSED ZONING INFORMATION

RR-RURAL RESIDENTIAL  
MINIMUM LOT WIDTH = 200 FEET  
AT BUILDING SETBACK = 200 FEET  
MINIMUM LOT FRONTAGE = 2 ACRES  
MINIMUM LOT AREA = 23,000 S.F.

## DEVELOPER/OWNER

T.H. CONSTRUCTION OF ANOKA  
TONY HENHEN  
617 E MAIN ST., STE 3  
EAST BETHEL, MN 55303  
(763)-422-8809

TYPICAL EASEMENTS ARE SHOWN THUS:  
(SCALE: 1 INCH = 80 FEET)



## PROPERTY DESCRIPTION

### Parcel 1:

All that part of the Southeast Quarter of the Southwest Quarter and the Southwest Quarter of the Southwest Quarter of Section 22, Township 33, Range 23, Anoka County, Minnesota, described as follows:

Commencing at the Southeast corner of said Southeast Quarter of the Southwest Quarter; thence North 00 degrees 47 minutes 02 seconds East, assumed bearing, along the east line of said Southeast Quarter of the Southwest Quarter a distance of 462.00 feet to the point of beginning of the parcel to be described; thence North 89 degrees 55 minutes 47 seconds West, parallel to the south line of said Southeast Quarter of the Southwest Quarter, a distance of 942.81 feet; thence South 00 degrees 47 minutes 02 seconds East, parallel to the east line of said Southeast Quarter of the Southwest Quarter, a distance of 462.00 feet to said south line of the Southeast Quarter of the Southwest Quarter; thence North 89 degrees 55 minutes 47 seconds West, along said south line of the Southeast Quarter of the Southwest Quarter and the Southwest Quarter of the Southwest Quarter, a distance of 584.95 feet to the west line of the East 200.00 feet of said Southwest Quarter of the Southwest Quarter; thence North 00 degrees 48 minutes 15 seconds West, along said west line of the east 200.00 feet of the Southwest Quarter of the Southwest Quarter, a distance of 1118.46 feet to the south line of the Southeast Quarter of the Southwest Quarter of the Southwest Quarter; thence South 89 degrees 51 minutes 24 seconds East along the south line of the north 210.00 feet of said Southwest Quarter of the Southwest Quarter and the Southeast Quarter of the Southwest Quarter; thence South 00 degrees 47 minutes 02 seconds East, along said west line of the east 637.50 feet, a distance of 205.03 feet to the south line of the north 415.00 feet of said Southeast Quarter of the Southwest Quarter; thence South 89 degrees 51 minutes 24 seconds East along said south line of the north 415.00 feet, a distance of 637.58 feet to said east line of the Southeast Quarter of the Southwest Quarter; thence South 00 degrees 47 minutes 02 seconds East, along said east line, a distance of 449.48 feet to the point of beginning and terminating thereat.

### EXCEPT

The East 200 feet of the Southwest Quarter of the Southwest Quarter, Section 22, Township 33, Range 23, Anoka County, Minnesota, EXCEPT the North 210 feet thereof.

### Parcel 2:

The East 200 feet of the Southwest Quarter of the Southwest Quarter, Section 22, Township 33, Range 23, Anoka County, Minnesota, EXCEPT the North 210 feet thereof.

### Parcel 3:

That part of the Southwest Quarter of the Southwest Quarter of Section 22, Township 33, Range 23, lying East of the West 611 feet thereof, except that part of the East 200 feet of the said Southwest Quarter of the Southwest Quarter lying South of the North 210 feet thereof, according to the U.S. Government Survey, Anoka County, Minnesota.

### Parcel 4:

The West 360.74 feet of the North 210.00 feet of the Southeast Quarter of the Southwest Quarter of Section 22, Township 33, Range 23, Anoka County, Minnesota.

## LEGEND

## DEVELOPMENT DATA

PROPOSED NUMBER OF LOTS = 17 LOTS  
TOTAL PROPERTY AREA = 44.66± ACRES  
RIGHT-OF-WAY DEDICATION = 5.08± ACRES

## EXISTING ZONING

RR-RURAL RESIDENTIAL

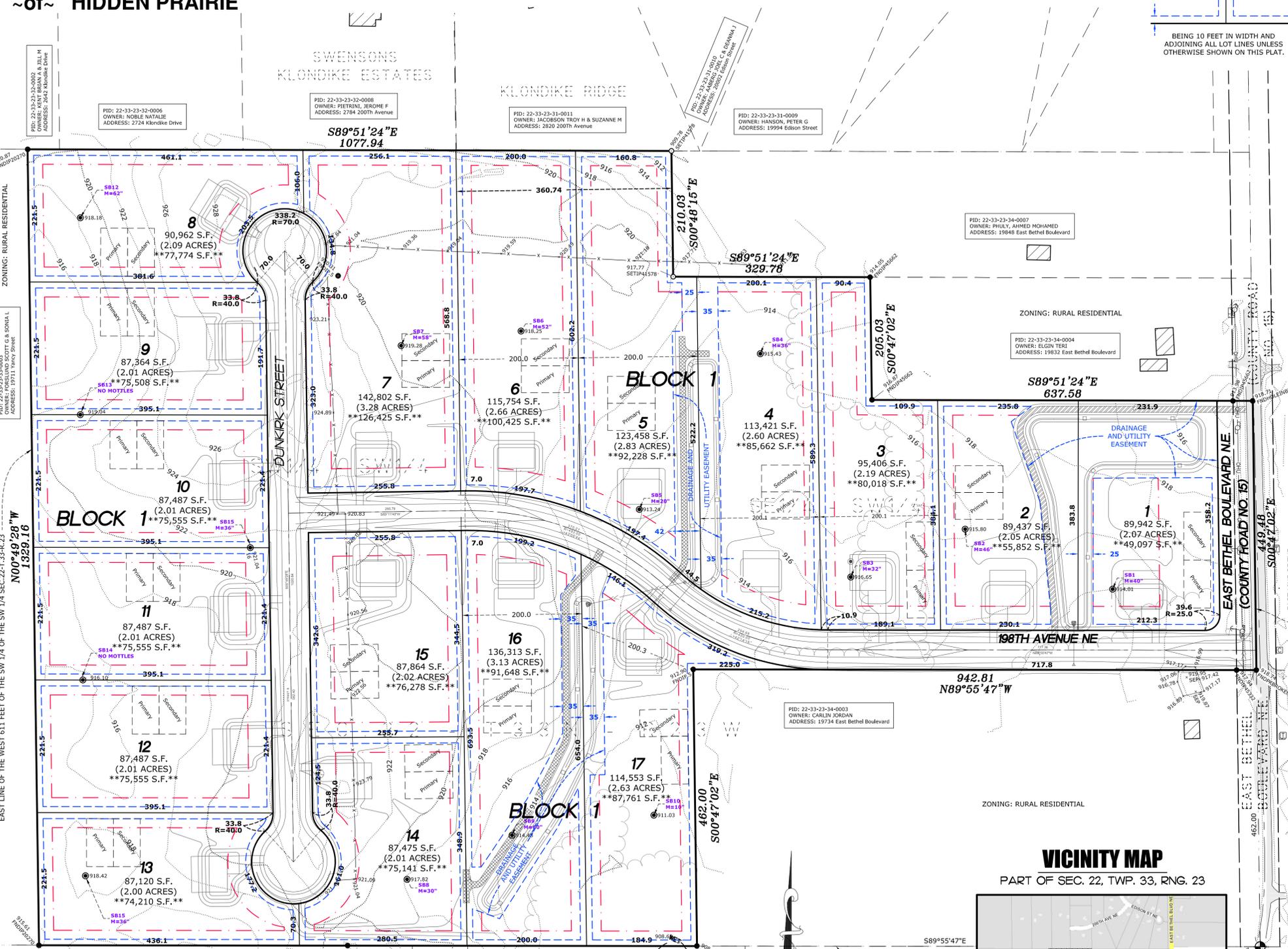
## SETBACKS

COUNTY ROAD = 100 FEET  
FRONT ROAD = 40 FEET  
SIDE YARD = 25 FEET  
REAR YARD = 25 FEET  
WETLAND = 25 FEET  
WETLAND BUFFER = 15 FEET

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- ⊕ DENOTES ANOKA COUNTY CAST IRON MONUMENT
- ⊞ DENOTES CABLE PEDESTAL
- ⊞ DENOTES ELECTRICAL BOX
- ⊞ DENOTES EXISTING SPOT ELEVATION
- ⊞ DENOTES FIBER OPTIC BOX
- ⊞ DENOTES GUY WIRE
- ⊞ DENOTES POWER POLE
- ⊞ DENOTES SOIL BORING. (BY MARK TRADEWELL)
- ⊞ DENOTES TELEPHONE PEDESTAL
- ⊞ DENOTES TREE
- ⊞ DENOTES FENCE
- ⊞ DENOTES EXISTING CONTOURS
- ⊞ DENOTES PROPOSED CONTOURS
- ⊞ DENOTES TREE LINE
- ⊞ DENOTES OVERHEAD UTILITY
- ⊞ DENOTES BUILDING SETBACK LINE
- ⊞ DENOTES VEHICLE MAINTENANCE ACCESS
- ⊞ DENOTES BITUMINOUS SURFACE
- ⊞ DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)
- ⊞ DENOTES BUILDING PAD
- \*\*XX.XXX S.F.\*\* DENOTES CONTIGUOUS LAND AREA OCCURRING WITHIN THE PROPERTY LINES OF A PARCEL OR LOT EXCLUDING DRAINAGEWAYS, WETLANDS, WATERCOURSES AND PONDING AREAS, PARK LAND, ROAD RIGHTS-OF-WAY, AND SLOPES IN EXCESS OF 18 PERCENT.

## VICINITY MAP

PART OF SEC. 22, TWP. 33, RNG. 23



**E. G. RUD & SONS, INC.**  
EST. 1977  
Professional Land Surveyors  
6776 Lake Drive NE, Suite 110  
Lino Lakes, MN 55014  
Tel. (651) 361-8200 Fax (651) 361-8701

**BENCHMARK**  
ANOKA COUNTY BENCHMARK NO. 2041  
ELEVATION = 909.386 (NAVD88)

**GRAPHIC SCALE**  
100 0 50 100 200  
1 INCH = 100 FEET

## NOTES

- Field work was completed by E.G. Rud and Sons, Inc. on 10-31-22, and 10-23-23.
- Bearings shown are on Anoka County datum.
- Parcel ID Numbers: 22-33-23-33-0005 and 22-33-23-34-0006.
- Surveyed premises shown on this survey map is in Flood Zone X (Areas determined to be outside the 0.2% annual chance floodplain.) according to Flood Insurance Rate Map No. 27003C0205E Community No. 270012 Panel No. 0205 Suffix E by the Federal Emergency Management Agency, effective date December 16th, 2015.
- This survey is based upon information found in the commitment for title insurance prepared by Stewart Title Guaranty Company, File No. 600078, dated effective December 30, 2019 at 10:10 A.M.
- Wetland delineated by Kjolhaug Environmental.
- Proposed street, storm sewer, building pads, and ponding provided by Plowe Engineering.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Jason E. Rud*  
JASON E. RUD  
Date: 1/5/2024 License No. 41578

DRAWN BY:	JEN	JOB NO.:	220088PP	DATE:	02-03-22
CHECK BY:	JER	FIELD CREW:	DT / CT		
1	11-7-22	ADJUST PROPOSED ROW			CMB
2	1-4-24	UPDATED SUBMITTAL			CMB
3					
NO.	DATE	DESCRIPTION			BY



**Main Office:**  
 3601 Thurston Avenue, Anoka, MN 55303  
 Phone: 763/427-5860 Fax: 763/427-0520  
 www.haa-inc.com



January 29, 2024

Aaron M. Berg, Community Development Director  
 City of East Bethel  
 2241 – 221st Avenue NE  
 East Bethel, MN 55011

RE: Preliminary Plat Review – Hidden Prairie

Dear Aaron:

As requested, we have reviewed the Preliminary Plat information submitted for the proposed plat of Hidden Prairie. We have the following comments:

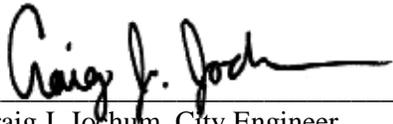
1. On Sheet C0 the site boundary on the vicinity map appears to match the previous application not the current application.
2. To match the Anoka County Street grid change Dunkirk Street to Alamo Street.
3. Per Appendix C.4.a of the Engineering Manual, provide a soils investigation from a certified geotechnical engineer for the street construction.
4. Submit the plans and drainage calculations to Anoka County for review and approval.
5. Standard Plate No. 100 is outdated. The minimum required Class 5 is 6 inches.
6. Round the right-of-way corners at the intersection of Dunkirk (Alamo) and 198<sup>th</sup> with 25 foot radiuses.
7. Show the buffer and provide an easement for the wetland that is in the southeast corner of the site.
8. Applicant shall notify the small utilities for relocation of existing utilities and the construction of new utilities. Applicant shall coordinate the installation of utility conduit crossings to avoid boring under the City Streets.
9. Prior to reviewing the proposed lot grades, a lot tabulation is required. At a minimum the following items are needed on the tabulation: Block, Lot, house type, street elevation, driveway slope, garage floor elevation, lowest livable floor elevation, lookout elevation, lowest opening elevation, estimated 100-year flood elevation, emergency overflow elevation, and highest anticipated water table or mottled soils.
10. The sheet index indicates there is a lot chart on sheet C4.1. There is no lot chart.
11. Are the pipe lengths called out on the plans including the aprons? The standard 15” apron is approximately 6 feet long and RCP pipe culverts are provided in 8-foot lengths. Verify the culvert lengths shown are correct.
12. Remove the word preliminary from the plans.
13. Clarify on the plans that CB2 requires a concrete frame per City Standard Plate No. MnDOT

4143E.

14. Per Section 16 of the Construction Stormwater General Permit at least one soil boring, test pit or infiltrometer test needs to be provided at each infiltration practice for determining infiltration rates. For design purposes, permittees must divide field measured infiltration rates by 2 as a safety factor or permittees can use soil-boring results with the infiltration rate chart in the Minnesota Stormwater Manual to determine design infiltration rates. When soil borings indicate type A soils, permittees should perform field measurements to verify the rate is not above 8.3 inches per hour. The soils need to be amended if the field measured infiltration rate is above 8.3 inches per hour. Permittees must employ appropriate on-site testing to ensure a minimum of three (3) feet of separation from the seasonally saturated soils and the bottom of the proposed infiltration system is achieved.
15. From the grading plan it appears Basin A would overflow through the south end of the culvert at Station 2+80? What is the actual overflow elevation and how will this impact the property to the south? The overflow on the plan is labeled as 914.5 to the north and the drainage map shows basin A flowing to basin 3. Reverse the arrow to match the model i.e. L3 to BA.
16. Provide the correspondence/agreement with the neighboring property owner to allow the grading and ISTS relocation as identified on the plans.
17. Construct driveway culverts where needed at locations where the pond access roads meet the street.
18. Provide a tree preservation plan and clearly show the trees being saved and the trees being removed. Currently no tree removal is shown along 198<sup>th</sup> Avenue?
19. Provide easements or eliminate cross lot drainage. Example Lot 3 Block 1 through Lot 4 Block 1.
20. Provide additional easement on the south side of Lots 14 and 16 to contain the drainage swale.
21. Extend the pond access road to the west, to the cul-de-sac, along the south side of Lot 14.
22. Can the overflow on Basin C be raised to further protect the downstream property?
23. Show/construct the overflow from Basin C to the south between/along Lots 16 and 17 instead of through the back yard of Lot 17. It appears that if the overflow is higher than 912 very little or no grading will be required.
24. Where a back berm is required to keep street drainage in the right of way the minimum berm top shall be 5 feet wide. Provide a typical detail on the plans.
25. Complete the tables/information on the SWPPP.

If you have any questions, please call me at 763-852-0485.

Sincerely,  
Hakanson Anderson



Craig J. Jochem, City Engineer





**Anoka County**  
**TRANSPORTATION DIVISION**  
Highway

Aaron Berg  
City of East Bethel  
2241 221<sup>st</sup> Avenue NE  
East Bethel, MN 55011

January 9, 2024

RE: Preliminary Plat – Hidden Prairie

Dear Aaron,

We have reviewed the Preliminary Plat for Hidden Prairie to be located west of CR 15 (East Bethel Boulevard NE) and south of 199<sup>th</sup> Avenue NE within the City of East Bethel, and I offer the following comments:

- An additional 27 feet of right of way along CR 15 will be required for future reconstruction purposes (60 feet total right of way width west of CR 15 centerline).
- ~~As proposed, the plat will introduce one new street access point onto CR 15, which will be permitted provided that construction of a SB CR 15 right turn lane is completed in conjunction with the plat.~~
- Intersection sight distance shall be met to the fullest extent possible at the proposed 198<sup>th</sup> Avenue.
- No other access points onto CR 15 will be permitted for this plat and the right of access along CR 15 should be dedicated to Anoka County with the exception for the proposed new city street.
- Internal site grading shall not commence until the requested ACHD Engineering plan approvals are received and the applicable permits can be issued.
- Any utility relocation on the CR 15 right of way, will be required to be coordinated directly by the city/developer.
- Please note that no plantings or private signs will be permitted within the county right of way and care must be exercised when locating private signs, building, structures, plantings, berms, etc. outside of the county right of way, so as not to create any new sight obstructions for this section of CR 15.

ACHD would like to work with local governments in promoting compatibility between land use and the county highway system. It should be recognized that residential land uses located adjacent to County highways often results in complaints about traffic noise. Existing and/or future traffic noise from CR 15 could exceed noise standards established by the Minnesota Pollution Control Agency (MPCA), the U.S. Department of Housing and Urban Development, and the U.S. Department of Transportation. Minnesota Rule 7030.0030 states that municipalities are responsible for taking all reasonable measures to prevent land use activities listed in the MPCA’s Noise Area Classification (NAC) where establishment of the land use would result in violations of established noise standards. It is advised that the City and the Developer assess the noise situation for this development as it is proposed to be located

Our Passion Is Your Safe Way Home

directly adjacent to CR 15 and take the level of action deemed necessary to minimize the impact of any highway noise by incorporating the appropriate noise mitigation elements into the design and phasing of this plat as applicable.

The ACHD Engineering Plan Review process will apply to this site. The following items should be submitted to Brandon Ulvenes, Engineer II, [Brandon.Ulvenes@co.anoka.mn.us](mailto:Brandon.Ulvenes@co.anoka.mn.us) (checklist and payment information are available on our website: <https://www.anokacountymn.gov/4072/Development-Review>):

- Construction plans (including turn lane plans)
- Utility relocation plans
- Traffic Control plans
- Grading and erosion control plans
- Traffic reports for the new traffic signal
- Drainage calculations – Note that the post-developed rate/volume of runoff must not exceed the pre-developed rate/volume of runoff for the 10-year critical design storm
- ACHD Design Requirements Checklist
- Engineering plan review fee (estimated at \$350.00)

Following completion of the ACHD Engineering Plan Review process, the contractor(s) who will be completing any work within the county right of way must begin the ACHD Permit process. One permit for Work within the County Right of Way (\$150.00) and one Street Access permit (\$250.00) must be obtained prior to the commencement of any construction. License permit bonding, methods of construction, design details, work zone traffic control, restoration requirements and follow-up inspections are typical elements of the permitting process. Contact Sue Burgmeier via phone at 763.324.3142 or via email at [HighwayPermits@co.anoka.mn.us](mailto:HighwayPermits@co.anoka.mn.us) for further information and to coordinate the ACHD Permit process.

Thank you for the opportunity to comment. Feel free to contact me if you have any questions regarding this review.

Sincerely,



Logan Keehr  
Traffic Engineering Technician

xc: CR 15/Plats+Developments/2024  
Jerry Auge, Assistant County Engineer  
David Zieglmeier, County Surveyor  
Sean Thiel, Traffic Engineering Manager  
Sue Burgmeier, Traffic Technician  
Brandon Ulvenes, Engineer II

HIDDEN PRAIRIE  
DECLARATION OF PROTECTIVE COVENANTS

The undersigned fee owner of the following described land (hereinafter referred to as "Declarant") make THIS DECLARATION this 24th day of January, 2024:

Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16 and 17, Block 1, Hidden Prairie,  
Anoka County, Minnesota,

WHEREAS, Declarant hereby imposes upon and subjects said Lots, for the benefit of said Lots only and the present and future owners thereof, to the following conditions, restrictions, reservations and covenants which shall operate as restrictions passing with the conveyance of every Lot and shall apply to and bind every successor in interest.

**DEFINITIONS.** The following words or terms used in this Declaration shall have the meanings herein ascribed to them.

- a. **"Developer"** means T.H. Construction of Anoka, Inc., a Minnesota corporation, its successors and assigns.
- b. **"Lot"** means any Lot included within the scope of this Declaration and as shown upon the recorded subdivision plat of Hidden Prairie, in Anoka County, Minnesota.
- c. **"Lot Owner"** means the record owner, whether one or more persons or entities, of title to any Lot subject to these covenants, including vendees of a contract for deed.
- d. **"Zoning Ordinance"** means the zoning ordinance adopted by the City of East Bethel as amended from time to time.
- e. **"Committee"** means the Architectural Review Committee.

1. **Architectural Review-** No building shall be erected, place, or altered on any lot until the construction plans and specifications have been approved in writing by the Architectural Review Committee as the quality of workmanship, materials, harmony of external design with existing structures and external colors. No fence or wall shall be erected, placed, or altered on any lot unless approved by Committee. All plans, specifications, etc. should be emailed to [thofanoka@gmail.com](mailto:thofanoka@gmail.com) .

2. **Architectural Review Committee (ARC)**- An Architectural Review Committee shall govern and approve every structure that is built on any lot. The Committee will be any officer of T.H Construction of Anoka, Inc., a Minnesota corporation, who is the Developer. A designated representative may be appointed by the committee at any time. The committee shall have the right and duty to plan orderly development and construction of homes and provide for the overall wellbeing of the residences. The committee may for good causes as they see fit alter or amend any of the requirements and restrictions of these covenants at any time for any reason. The committee shall terminate upon the last primary structure being built upon the last lot to be built upon or sooner as committee sees fit. The committee members and said companies shall be held harmless for any and all losses of any type from any decision, approval, non-activity, negligence, or loss thereof from anyone.
  
3. **Procedure of Architectural Review Committee**- The committee shall approve or reject all plans submitted to it within 30 days of submission. No excavating, construction or alteration upon any lot shall be permitted without written approval of committee.
  
4. **Land Use and Building type**- Each lot shall be used primarily for residential purposes. Prefabricated or modular type structures or dome homes shall not be permitted. All building shall be approved prior to construction by the Committee. Front tuck under garages by approval only. All accessory building must conform to zoning ordinances. Pole sheds may be allowed with exterior steel colored with similar colors to primary structure. All accessory buildings over 200 square feet must have at least a 1-foot rake on gable ends and a 2-foot soffit on all roofs. A primary focus of the Committee will be front facades looking for accent and details incorporated for maximum curb appeal. Plain fronts will not be allowed. Every home shall have brick or stone on the front facade. Roof pitch on primary roofs shall be minimum 6/12 pitch. Pitch of front gables, viewable from the street is recommended to be 8/12 pitch. Architectural Shingle must be used; no three-tab flat shingle allowed.
 

Homes must meet the following minimum square footage requirements:

  - Ramblers minimum of 1,450 square feet finished on main level.
  - Two Story minimum of 2,150 square feet finished above grade.
  - Split Levels minimum of 1,500 square feet finished above grade.
  
5. **Driveway**-All primary driveways to front of house garage shall be hard surfaced.
  
6. **Antennas** - No satellite dish or antennas larger than 36 inches are allowed. No free-standing tower for antennas are allowed unless approved by ARC committee.
  
7. **Vehicle/trailer/RV/Boat Storage**- No vehicle, trailer, boat or RV or any other personal use item shall be stored anywhere closer to street than front of the house. When feasible items need to be unseen from the street view or passing neighbors. Any item covered with tarp needs to be out of sight from street. Property owners will follow all rules and regulations of city ordinances on these items. No inoperable vehicles or vehicles not currently licensed shall be permitted to stand upon streets, roadways or described lots in said plat for a period of more than 48 hours.
  
8. **Easements**- Easements for installation and maintenance of utilities and drainage are reserved as shown on the recorded final plat. The property owners shall maintain all areas not erecting any structures or blocking or altering grads in any easement areas.

9. **Nuisances-** Obnoxious or offensive trade or activity shall not be carried on upon any lot nor shall anything be done thereon which may be annoying to the neighborhood. Neighborhood is defined as three or more adjacent neighbors who come to the same conclusion. No accumulation of junk, garbage, junk cars or debris may be kept or allowed on any lot.
10. **Animals-** Animals per the City of East Bethel ordinance per acre are allowed. Any fenced area for any animal that is worn down to bare dirt shall not be visible from the street. Dog kennels shall not be visible from the street. Dogs barking excessively is not allowed.
11. **Grading-** House location must correspond to that of the drainage plan of Hidden Prairie. If the house is located elsewhere it must be approved ARC committee. All lots are to be graded and maintained by the homeowner in accordance with the approved grading plan on file at the city.
12. **Trees-** Every lot owner on non-wooded lots are responsible to install 2-yard trees, of 2.5" caliber size, visible from the street within 6 months of original certificate of occupancy.
13. **Landscaping-** Every lot owner is responsible to seed or sod grass into all disturbed areas of lot and apply topsoil if needed within 90 days of occupancy during warm weather or by August 1<sup>st</sup> if occupied during winter construction.
14. **Terms-** The covenants are to run with the land and all the persons claiming under them for a period of 30 years from the date these covenants are first filed or recorded.
15. **Mailboxes-** Each lot owner is responsible for their own mailbox which must be consistent with or better than appearance of majority of mailboxes in development, at the discretion of the Committee.
16. **Enforcement-** If there are violations or an attempt to violate any of these covenants, or restrictions, the ACC or any person owning any real property in this subdivision may bring suit in law or equity for damages or injunctive relief or both. In addition to damages or injunctive relief, any person being found to have violated any of these covenants or restrictions shall be liable for attorney fees and other costs necessarily incurred to obtain damages or injunctive relief.
17. **Severability-** If any of these covenants or restrictions are found by any court to be invalid, the invalidity of any covenant or portion thereof shall not affect the validity of the remaining covenants which shall remain in full force and effect.

IN WITNESS WHEREOF, Declarant has executed this Declaration as of the day and year first set forth above.

**T.H. Construction of Anoka, Inc.**

By: \_\_\_\_\_

Its: \_\_\_\_\_

STATE OF MINNESOTA

COUNTY OF ANOKA

On this 24<sup>th</sup> day of January, 2024 before me, a Notary Public within and for said County, personally appeared Anthony L. Hennen the President of T.H. Construction of Anoka, Inc., a Minnesota corporation, who acknowledge the foregoing instrument to be the free act and deed of said corporation.

\_\_\_\_\_  
Notary Public

THIS INSTRUMENT WAS DRAFTED BY:  
T.H. Construction of Anoka, Inc.  
617 E Main St #3  
Anoka, MN 55303  
763-422-8809  
thofanoka@gmail.com

# PRELIMINARY PLAT

for T.H. CONSTRUCTION OF ANOKA, INC.  
of HIDDEN PRAIRIE

## PROPOSED ZONING INFORMATION

RR-RURAL RESIDENTIAL  
MINIMUM LOT FRONTAGE  
MINIMUM BUILDABLE AREA

## DEVELOPER/OWNER

T.H. CONSTRUCTION OF ANOKA  
617 E MAIN ST., STE 3  
EAST BETHEL, MN 55033  
(763)-442-9859

## PROPERTY DESCRIPTION

Parcel 21: The East 176.6 feet of the Southwest Quarter of the Southwest Quarter and the Southwest Quarter of the Southwest Quarter of Section 22, Township 33, Range 23, Anoka County, Minnesota, as depicted on the plat.

Parcel 22: The East 176.6 feet of the Southwest Quarter of the Southwest Quarter and the Southwest Quarter of the Southwest Quarter of Section 22, Township 33, Range 23, Anoka County, Minnesota, as depicted on the plat. The East 200 feet of the Southwest Quarter of the Southwest Quarter, Section 22, Township 33, Range 23, Anoka County, Minnesota, except the North 210 feet thereof.

Parcel 23: The East 200 feet of the Southwest Quarter of the Southwest Quarter, Section 22, Township 33, Range 23, Anoka County, Minnesota, except the North 210 feet thereof.

Parcel 24: That part of the Southwest Quarter of the Southwest Quarter of Section 22, Township 33, Range 23, Anoka County, Minnesota, which is the West 210 feet thereof, according to the U.S. Government Survey, Anoka County, Minnesota.

Parcel 25: The West 350.74 feet of the North 210.00 feet of the Southwest Quarter of Section 22, Township 33, Range 23, Anoka County, Minnesota.

## LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES ANOKA COUNTY EAST IRON MONUMENT
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- DENOTES BUILDING PAD

## DEVELOPMENT DATA

PROPOSED NUMBER OF LOTS = 17 LOTS  
TOTAL PROPERTY AREA = 44.66± ACRES  
ACRFT-OF-THEA DEDICATION = 2.08± ACRES

## EXISTING ZONING

RR-RURAL RESIDENTIAL

## SETBACKS

COUNTY ROAD = 100 FEET  
SIDE YARD = 25 FEET  
SIDE WALK = 25 FEET  
WETLAND BUFFER = 15 FEET

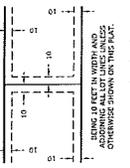
## Item 7.0 A Attachment

## NOTES

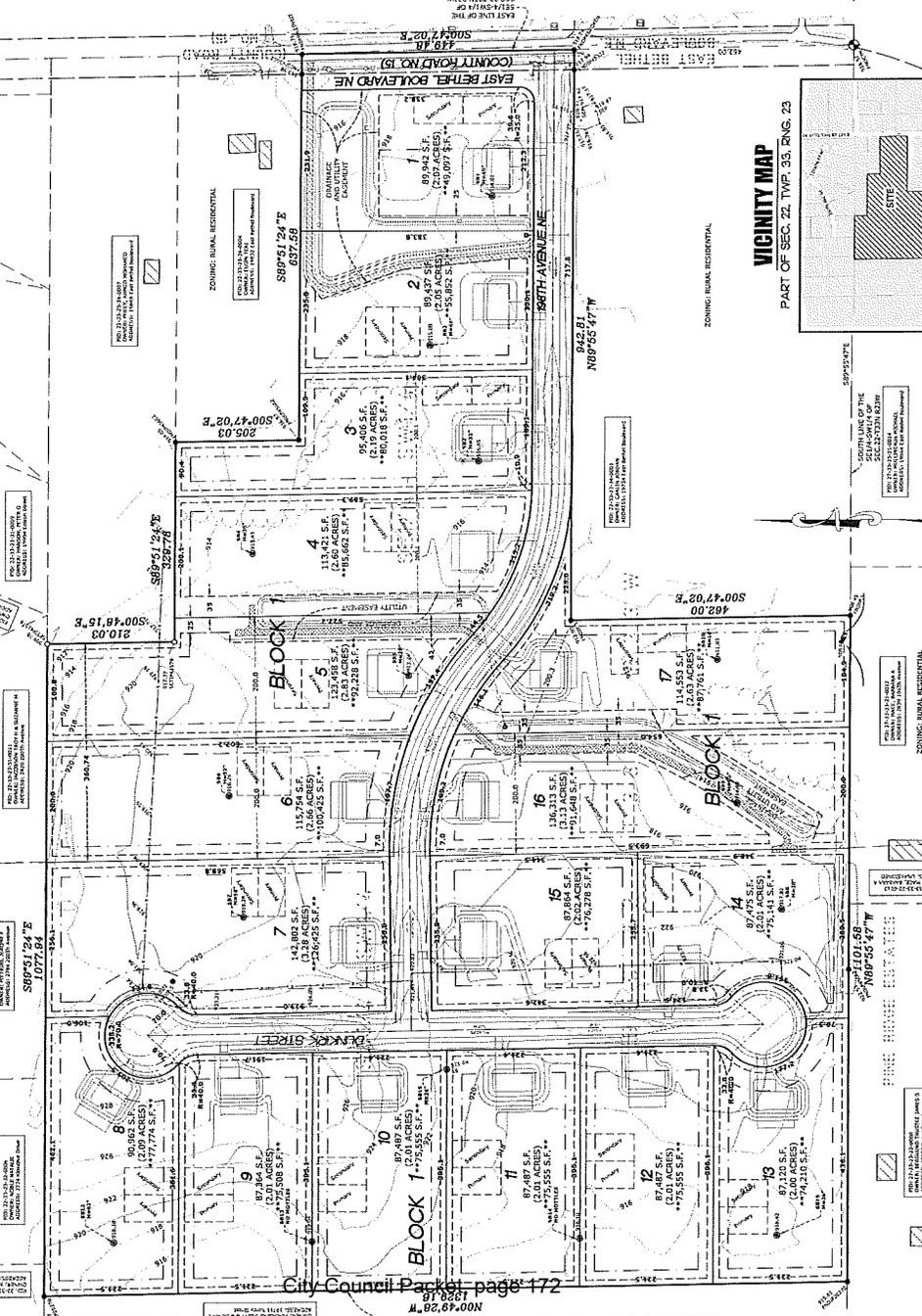
- Field work was completed by E.C. Rud and Sons, Inc. on 10-31-22, and 10-23-23.
- Surveyed premises shown on this survey map is in Flood Zone X (Areas determined by the National Flood Insurance Program).
- Map No. 2700202025E Community No. 270012 Parcel No. 0205 Suffer E by the Federal Emergency Management Agency, effective date December 18th, 2015.
- Prepared by Stewart T.H. Construction Company, Inc. on 10-31-22.
- December 30, 2019 at 10:10 A.M.
- Proposed street, storm sewer, building pads, and ponding provided by Pheasant Engineering.

NO.	DATE	DESCRIPTION	BY
1	10-31-22	FIELD CHECK BY E.C.	E.C.
2	10-23-23	UPDATED SUBMITTAL	E.C.
3			

PHYSICAL DIMENSIONS ARE SHOWN THIS SCALE: 1"=100' (SEE E.C. 10/31/22)

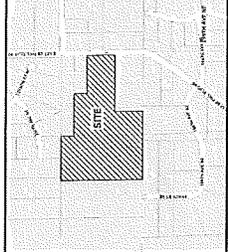


BEING 10 FEET IN WIDTH AND 10 FEET IN LENGTH, UNLESS OTHERWISE SHOWN ON THIS PLAT.

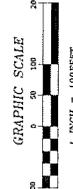


## VICINITY MAP

PART OF SEC. 22, TWP. 33, RNS. 23



## NORTH



## BENCHMARK

ANOKA COUNTY BENCHMARK NO. 2041  
ELEVATION = 999.386 (MAV88)

**E.C. RUD & SONS, INC.**  
Professional Land Surveyors  
6776 Lake Drive NE, Suite 110  
Lino Lakes, MN 55014  
Tel: (651) 381-8600 Fax: (651) 381-8701

**City of East Bethel  
City Council Meeting  
Agenda Item Information**



**Date:** February 12, 2024

**Agenda Item Number:** 7.0 A.4

**Agenda Item:** Preliminary Plat/Planned Unit Development (PUD) for 1788 Viking Blvd – Capstone Homes, INC.

**Background Information:** On November 8<sup>th</sup>, 2023, a Preliminary Plat and PUD application from Capstone Homes, INC. for the redevelopment of Viking Meadows was received. The proposal shows the redevelopment of 155 acres of land which spans across the zoning classifications of Mixed Use and Single Family Residential. The proposal shows 95 acres of developable land will contain a proposed 242 lots. In addition, the proposal contains 60 acres of open space which also includes over 10 acres of park and recreation space.

- At the June 27<sup>th</sup>, 2023 Planning Commission Meeting a Public Hearing was held and feedback was provided to the developer on a Concept Plan proposal.
- At the July 24<sup>th</sup>, 2023 City Council Meeting the Concept Plan proposal was presented to the City Council for feedback.
- On August 22<sup>th</sup>, 2023 a revised Concept Plan was presented to the Planning Commission and by a 6-1 vote, a recommendation of approval was forwarded to the City Council.
- On August 28<sup>th</sup>, 2023 the revised Concept/PUD Plan was presented to the City Council along with the Planning Commission's Recommendation. The City Council unanimously voted to approve the Concept Plan by Resolution 2023-61.
- On November 28<sup>th</sup>, 2023 the Preliminary Plat and PUD application was presented to the Planning Commission and by a 5-1 vote, a recommendation of approval was forwarded to the City Council. Only one (1) property owner spoke and was in support of the Preliminary Plat.
- On December 11<sup>th</sup>, 2023 the Traffic Impact Study and Preliminary Plat/ PUD was presented to City Council. The item was tabled until Dec. 27<sup>th</sup>, 2023 meeting.
- On December 14<sup>th</sup>, 2023 City Staff sent a 60 day extension to Capstone for additional time to conduct a Fiscal Impact Study and allow or an Addendum to the Traffic Impact Study to be completed.
- On January 8<sup>th</sup>, 2024 the Preliminary Plat/ PUD was pulled from the City Council Agenda.
- On January 22<sup>nd</sup>, 2024 the TIS Addendum, Fiscal Impact results and Preliminary Plat/ PUD was presented to City Council. The Preliminary Plat was denied by a 3 – 2 vote however a motion was made to place it on the February 12, 2024 agenda for reconsideration.

Staff have determined that the proposal, with the approval of a Home Owners Association, is in compliance with 2040 comprehensive plan, zoning ordinance, and official zoning map. Additionally the proposed Preliminary Plat and PUD meets the intent of the criteria for granting a PUD based on ordinance Section 56.

All comments from the City Engineer must be satisfied prior to the application of a Final Plat. Any and all ACHD Engineering comments must be satisfied prior to application of a Final Plat, including but not limited to a Plan Review, ROW Access Permit and County Ditch Review.

**Recommendation:** After the additional reviews of subsequent information along with the original request, City Council may consider the Planning Commission’s formal recommendation, and consider approval of the Preliminary Plat and PUD as presented or provide staff a Findings of Fact for formal denial.

**Attachments:**

1. Resolution 2024-04, Approving Preliminary Plat Viking Meadows
2. Resolution 2024-05, Approving PUD Viking Meadows

**City Council Action:**

Motion by: \_\_\_\_\_

Second by: \_\_\_\_\_

Vote Yes: \_\_\_\_\_

Vote No: \_\_\_\_\_

**CITY OF EAST BETHEL  
COUNTY OF ANOKA  
STATE OF MINNESOTA**

**RESOLUTION NO. 2024-04**

**APPROVING THE PRELIMINARY PLAT OF "VIKING MEADOWS" FOR  
PROPERTIES LEGALLY DESCRIBED AS**

UNPLATTED VILLAGE OF EAST BETHEL THE E 1/2 OF SE 1/4, AND NW 1/4 OF SE 1/4 OF SEC 29 33 23 EXCEPTING THEREFROM HOWEVER TH PT OF N1/2 OF SE 1/4 OF SEC 29 33 23 DESC AS FOL, COM AT A POINT ON CENTER LI NE OF CO ROAD 22 WHICH POINT IS 125 FT W OF NW CORNER OF NE 1/4 OF SD SE1/4, TH S PARALLEL WITH THE W LINE OF SD NE 1/4 OF SE 1/4 A DIST OF 466 FT, TH E AT RT ANGLES A DIST OF 466 FT, TH N ON A LINE PARALLEL WITH W LINE OF SAID NE 1/4 OF SE 1/4 A DIST OF 176 FT, TH E AT RT ANGLES A DIST OF 150 FT, TH N ON A LINE PARALLEL WITH W LINE OF SD NE 1/4 OF SE 1/4 A DIST OF 290 FT, MORE OR LESS TO CENTE R OF COUNTY ROAD 22, TH WLY ALONG SD CENTER LINE OF SAID ROAD TO POINT OF COM; ALSO EX RD; SUBJ TO EASE OF REC

&

UNPLATTED VILLAGE OF EAST BETHEL N1/2 OF NE1/4 OF NE1/4 SEC 32 33 23 -SUBJ TO EASE TO RURAL COOP POWER ASSN

&

UNPLATTED VILLAGE OF EAST BETHEL N1/2 OF NW1/4 OF NW1/4 SEC 33 33 23 - SUBJ TO EASE TO RURAL COOP POWER ASSN

**WHEREAS**, Capstone Homes, LLC has requested approval of a preliminary plat for Viking Meadows; and

**WHEREAS**, city staff reviewed and determined the preliminary plat is required for a planned unit development in Mixed Use zoning; and

**WHEREAS**, the approved land use in the 2040 East Bethel Comprehensive Plan for 122 acres is Mixed Use which provides development flexibility, allowing for both commercial and residential land uses; and

**WHEREAS**, the approved land use in the 2040 East Bethel Comprehensive Plan for 20 acres is R2 Single Family and Townhome Residential which is intended to allow a mix of single family and townhomes at a typical single family density.

**WHEREAS**, by city ordinance a PUD may be applied to any business or residential zoning districts.

**WHEREAS**, on August 28<sup>th</sup>, 2023, a Concept Plan was reviewed and approved by Resolution 2023-61; and

**WHEREAS**, pursuant to published and mailed notice thereof, the Planning Commission has conducted a public hearing on said preliminary plat; and

**WHEREAS**, as a result of such public hearing, the Planning Commission recommends approval of the preliminary plat to the City Council.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of East Bethel hereby agrees with the recommendation of the Planning Commission and approves the Planned Unit Development for Viking Meadows with the following conditions:

1. A Master Development PUD/ Developers Agreement shall be approved for each phase of the development. Each agreement will specify PUD design standards and developer obligations for the specified phase.
2. The approved preliminary plat lot lay out is shown as Exhibit A.
3. All comments of the City Engineer shall be satisfactorily addressed prior to any release of the final plat.
4. A wetland delineation must be approved by the City Engineer prior to approval of the final plat.
5. Environmental Review Documents requested by City Engineer must be received and reviewed prior to approval of the final plat. Specifically EAW Questions 8, 12, 13, &14.
6. Independent Traffic Study results shall be reviewed by City and County Engineer prior to approval of the final plat.
7. All comments of the Anoka County Engineer must be satisfactorily addressed prior to release of the final plat.
8. The applicant shall be responsible for the cost of construction of all improvements proposed as a part of the preliminary plat.
9. Park dedication fees must be paid prior to the release of the final plat at each phase of development.
10. The Developer shall submit a complete application for the final plat in accordance with the approved phase plan within two years after approval or approval of the preliminary plat shall be considered void, unless a request for time extension is submitted in writing by the applicant and approved by city council.

Adopted by the City Council of the City of East Bethel this 12<sup>nd</sup> day of February, 2024.

CITY OF EAST BETHEL

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Kevin Lewis, Mayor

ATTEST:

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Matt Look, City Administrator

**CITY OF EAST BETHEL  
COUNTY OF ANOKA  
STATE OF MINNESOTA**

**RESOLUTION NO. 2024-05**

**APPROVING THE PLANNED UNIT DEVELOPMENT  
OF "VIKING MEADOWS" FOR PROPERTIES LEGALLY DESCRIBED AS**

UNPLATTED VILLAGE OF EAST BETHEL THE E 1/2 OF SE 1/4, AND NW 1/4 OF SE 1/4 OF SEC 29 33 23 EXCEPTING THEREFROM HOWEVER TH PT OF N1/2 OF SE 1/4 OF SEC 29 33 23 DESC AS FOL, COM AT A POINT ON CENTER LI NE OF CO ROAD 22 WHICH POINT IS 125 FT W OF NW CORNER OF NE 1/4 OF SD SE1/4, TH S PARALLEL WITH THE W LINE OF SD NE 1/4 OF SE 1/4 A DIST OF 466 FT, TH E AT RT ANGLES A DIST OF 466 FT, TH N ON A LINE PARALLEL WITH W LINE OF SAID NE 1/4 OF SE 1/4 A DIST OF 176 FT, TH E AT RT ANGLES A DIST OF 150 FT, TH N ON A LINE PARALLEL WITH W LINE OF SD NE 1/4 OF SE 1/4 A DIST OF 290 FT, MORE OR LESS TO CENTE R OF COUNTY ROAD 22, TH WLY ALONG SD CENTER LINE OF SAID ROAD TO POINT OF COM; ALSO EX RD; SUBJ TO EASE OF REC

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UNPLATTED VILLAGE OF EAST BETHEL N1/2 OF NE1/4 OF NE1/4 SEC 32 33 23 -SUBJ TO EASE TO RURAL COOP POWER ASSN

&

UNPLATTED VILLAGE OF EAST BETHEL N1/2 OF NW1/4 OF NW1/4 SEC 33 33 23 - SUBJ TO EASE TO RURAL COOP POWER ASSN

**WHEREAS**, Capstone Homes, LLC has requested approval of a planned unit development for Viking Meadows; and

**WHEREAS**, city staff reviewed and determined the planned unit development is required in the Mixed Use zoning; and

**WHEREAS**, the approved land use in the 2040 East Bethel Comprehensive Plan is Mixed Use which provides development flexibility, allowing for both commercial and residential land uses; and

**WHEREAS**, on August 28<sup>th</sup>, 2023, a Concept Plan was reviewed and approved by Resolution 2023-61; and

**WHEREAS**, the Viking Meadows PUD consists of a concept of the residential development of the land shown in Exhibit A; and

**WHEREAS**, pursuant to published and mailed notice thereof, the Planning Commission has conducted a public hearing on said PUD; and

**WHEREAS**, as a result of such public hearing, the Planning Commission recommends approval of the PUD to the City Council.

**NOW, THEREFORE, BE IT RESOLVED**, that the City Council of the City of East Bethel hereby agrees with the recommendation of the Planning Commission and approves the Planned Unit Development for Viking Meadows with the following conditions:

1. A Master Development PUD/ Developers Agreement shall be approved for each phase. Each agreement will specify PUD design standards and developer obligations for the specified phase.
2. All conditions of Preliminary Plat approval resolution must be satisfied prior to the release of a final plat for each phase of development.

Adopted by the City Council of the City of East Bethel this 12<sup>th</sup> day of February, 2024.

CITY OF EAST BETHEL

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Kevin Lewis, Mayor

ATTEST:

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Matt Look, City Administrator