

City of East Bethel
Planning Commission Agenda
Planning Commission Regular Meeting
Date: November 28, 2023 at 7 p.m.



Two or more Council Members and/or the Mayor may be in attendance at this meeting.
If two or more Council Members and the Mayor attend the event, there will be a quorum of Council Members.

This meeting may be monitored live via the following means:
Cable Channel 10, MidcoTV Channel 77, or the City of East Bethel YouTube channel
(www.youtube.com/channel/UC8_7ShcME-XG14pN5JrmBGg/live)

1. Call To Order
2. Adopt Agenda
3. Approval of Minutes: October 24, 2023 (Pg 2 - 9)
4. **Public Hearings:**
 - A. CUP - TEAM DRYWALL, INC. - 18533 Buchanan St NE (Pg 10 - 16)
 - B. IUP Farm Animals - Wendy Cisneros – 716 192nd Ave NE (Pg 17 - 24)
 - C. Preliminary Plat – Capstone Homes, Inc. – 1788 Viking Blvd NE – Viking Meadows (Pg 25 - 101)
5. Updates
6. Adjourn

1 **DRAFT MINUTES: NOT YET APPROVED**

2
3 EAST BETHEL PLANNING COMMISSION MEETING
4 October 24, 2023

5
6 MEMBERS PRESENT: Chair Tanner Balfany, Glenn Terry, Sherry Allenspach, Sharon Johnson

7
8 MEMBERS ABSENT: Gabriel Hanschen, Randy Plaisance, and Joe Reiter

9
10 ALSO PRESENT: Jack Davis, City Administrator
11 Aaron Berg, Community Development Director
12 Bob DeRoche, City Council Liaison
13

14 **1.0 Call to Order**

15 Chair Balfany called the Planning Commission regular meeting to order at 7:00 pm.

16
17 **2.0 Adopt Agenda**

18 **Commissioner Terry moved and Commissioner Allenspach seconded to adopt the agenda as**
19 **presented.** Balfany asked any discussion? To the motion, all in favor say aye. **All in favor.** Balfany
20 asked any opposed? That motion passes. **Motion passes unanimously.**

21 **3.0 Approve August 22, 2023 meeting minutes (Amended) and September 26, 2023 meeting minutes**
22 **(Draft)**

23 **Commissioner Johnson moved and Commissioner Terry seconded to adopt the August 22, 2023**
24 **Amended meeting minutes as written.** Balfany asked any discussion? To the motion, all in favor say
25 aye. **All in favor.** Balfany asked any opposed? That motion passes. **Motion passes unanimously.**

26 **Commissioner Terry moved and Commissioner Johnson seconded to adopt the September 26,**
27 **2023 draft meeting minutes as amended.** Balfany asked any discussion?

28 Johnson stated on line 304, it should read Pull Our Parts instead of Polar Parts.

29 Terry stated one line 234, change price to configuration.

30 To the motion, all in favor say aye. **All in favor.** Balfany asked any opposed? That motion passes.
31 **Motion passes unanimously.**

32 **4.0 Planning Commission Reappointment Recommendation**

33 Berg reviewed staff's report stating Glenn Terry has served on the East Bethel Planning Commission on
34 multiple occasions. His most recent tenure started in October 2008 and his current appointment expires
35 on January 31, 2023. Commissioner Terry has submitted a letter of interest seeking to serve another term
36 that would expire on January 31, 2027.

37 Berg indicated the Planning Commission is requested to consider the approval of a recommendation to
38 City Council to re-appoint Glenn Terry to the Planning Commission for an additional term to commence
39 on February 1, 2024 and expire on January 31, 2027.

40 **Commissioner Balfany moved and Commissioner Johnson seconded to recommend approval of**
41 **Glenn Terry's reappointment to the Planning Commission to the City Council.** Balfany asked any
42 discussion?

43 Johnson stated she was glad Terry had put his name in again to be a Commissioner. She noted having
44 different viewpoints was a strength for the Commission and while Terry's viewpoints many times
45 differed from hers, they were always able to talk things out. She noted the institutional knowledge Terry
46 was also valuable as he had the longest tenure on the Commission.

47 Balfany stated with work on the Commission with Terry for many years, they might have differing
 48 viewpoints, but they still respected each other and each other's opinions. He thanked Terry for his
 49 willingness to take on another term on the Commission.

50 Allenspach stated it was good for the Commission to have history, which was what Terry had.

51 To the motion, all in favor say aye. **All in favor.** Balfany asked any opposed? That motion passes.

52 **Motion passes unanimously.**

53 Balfany asked if he should also run for reappointment on the Commission. Johnson responded he
 54 should as he also had a different voice than the rest of them and he was a good leader.

55 Balfany stated he would "throw his hat back in the ring for reappointment."

56 Berg noted the Commission could either vote on this tonight, or he would put in on the November
 57 agenda for consideration. The Commissioners chose to vote on it at this meeting.

58 **Commissioner Johnson moved and Commissioner Terry seconded to recommend approval of**
 59 **Tanner Balfany's reappointment to the Planning Commission to the City Council.** Balfany asked
 60 any discussion? To the motion, all in favor say aye. **All in favor.** Balfany asked any opposed? That
 61 motion passes. **Motion passes unanimously.**

62 **5.0 A Public Hearing: Use Variance – 1311 229th Avenue NE – B&T Trucking**

63 Berg reviewed staff's report stating in 2012, B & T Trucking, an over the road trucking company that
 64 has been in business for over 20 years purchased 1311 229th Ave NE and relocated a truck/ motor
 65 freight terminal to the city. The property is located in a Light Industrial (I) District and according to
 66 Section 48 – 6 A. Trucking and Motor Freight Terminals are a prohibited use. As truck/ motor freight
 67 terminals are not permitted in any zone of the city in 2021 B & T Trucking was required to obtain an
 68 IUP as they were a legal nonconforming use to ensure compliance for continued use in the city.

69 Berg indicated the property owners have recently approached the city inquiring about building an
 70 additional 50' X 60' storage building to the property. An existing slab with foundation exists
 71 immediately west of their existing building on the property. Although an IUP (Res. 2021-28) was
 72 granted on May 10th, 2021, the use of the property remains legally nonconforming. Expansion of legal
 73 nonconforming uses have been approved by previous City Councils albeit under differing permissions
 74 (existing CUPs or previously approved plats prior to zoning changes).

75 Berg stated according to Section 05 - Nonconformities - It is the intent of this section to regulate such
 76 nonconforming situations to accomplish the following:

- 77 A. Recognize the existence of uses and structures which were lawful when established but which no
 78 longer meet all ordinance requirements.
- 79 B. Discourage the enlargement, expansion, intensification, or extension of any nonconforming use or
 80 structure and discourage any increase in the impact of a nonconforming use or structure on adjacent
 81 properties. Only exceptional cases of any expansion or intensification of a nonconforming use will
 82 be permitted and only after city approval of a variance.
- 83 C. Encourage the elimination of nonconforming uses and structures or reduce their impact on adjacent
 84 properties.

85 Berg indicated according to Section 05 -2 A. - A nonconforming use may be continued, including
 86 through repair, replacement, restoration, maintenance, or improvement, but not including expansion.

87 Berg stated sometimes a landowners seek a variance to allow a use of their property that is not
88 permissible under the existing zoning ordinance. Such variances are often termed “use variances” as
89 opposed to “area variances” from dimensional standards. Use variances are not generally allowed in
90 Minnesota. State law prohibits a city from permitting by variance any use that is not permitted under the
91 ordinance for the zoning district where the property is located (Minn. Stat. § 462.357, subd. 6).

92 Berg noted according to MN State Statute 462.357 OFFICIAL CONTROLS: ZONING ORDINANCE.
93 Subd. 6. Appeals and Adjustments. The board of appeals and adjustments or the governing body as the
94 case may be, may not permit as a variance any use that is not allowed under the zoning ordinance for
95 property in the zone where the affected person's land is located.

96 Berg stated at the September 11, 2023 City Council Meeting the potential expansion was presented to
97 the City Council who gave a positive informal recommendation for staff to work with the property
98 owner to seek formal approval.

99 Berg summarized the variance findings of fact:

- 100 1. The property owner proposes to continue the legal, nonconforming use of the property. The
101 existing use of the property is considered a reasonable use and is allowed by city code as a legal,
102 nonconforming use. B & T Trucking would like to expand the structures so they can continue to
103 operate his businesses efficiently by storing the commercial vehicles on site.
- 104 2. The plight of the landowner is due to circumstances unique to the property not created by the
105 landowner. B & T Trucking has been operating a business from the property in a Light Industrial
106 Zone since 2012. On September 21, 2016, City Council adopted regulations prohibiting
107 Trucking and Motor Freight Terminals. The business can only be expanded with an approved
108 variance.
- 109 3. The variance(s) will not alter the essential character of the locality. The business has been at this
110 property since 2012. The existing structures and commercial vehicles have been a mainstay of
111 the business. The presence of the commercial vehicles and the expansion of the buildings will
112 not alter the character of what already exists on the property.

113 Berg requested the Planning Commission hold a public hearing, review the prepared Resolutions, and
114 make a recommendation of approval or denial to the City Council for a variance to allow the expansion
115 for the property located at 1311 229th Ave NE with the conditions in the attached resolution.

116 Allenspach asked if the City had received any complaints or had any issues with the business. Berg
117 responded he could not find any complaints or violations with respect to this business.

118 Balfany opened the public hearing at 7:16 p.m.

119 No comments were made.

120 Balfany closed the public hearing at 7:17 p.m.

121 **Commissioner Terry moved and Commissioner Johnson seconded to open for discussion.** Balfany
122 asked any discussion?

123 Terry stated to him for this site and purpose, it did not seem like a large issue. He noted he did not see
124 any significant impact they needed to be concerned about. He stated it was not for the purpose of
125 expanding the business so much as to protect the vehicles to keep them out of sight, which he believed
126 was a benefit to the City.

127 Johnson stated she did not have any issues with the request.

128 Balfany stated his only issue was the not following the nonconforming use regulations about expansion.
129 Berg responded that was why he was bringing this up to the Commission. He noted he had informally
130 brought this before Council as the Council could approve a variance for a non-conforming use and it
131 was Council's indication that they would be in support of the expansion. At that point, he informed the
132 applicant to move forward with the variance use application process. He pointed out this property was
133 heavily fenced. He indicated this variance and potential expansion did not have anything to do with the
134 conditions originally identified in the IUP back in 2021. Those conditions would still need to be met, so
135 this would not afford them the opportunity for more trucks.

136 Balfany asked if this could be considered a property improvement and not an expansion. Berg
137 responded there were many ways to interpret the word expansion.

138 Balfany stated he did not have any opposition to this.

139 By consensus, the discussion was closed.

140 **Commissioner Allenspach moved and Commissioner Terry seconded to approve Resolution 2023-**
141 **72, a Resolution Approving a Variance for the Expansion of a Legal Nonconforming Use on a**
142 **Light Industrial (I) Property Located at 1311 229th Avenue NE, for PINs 32-34-23-34-0005 & 32-**
143 **34-23-34-0006). Balfany asked any discussion? To the motion, all in favor say aye. All in favor.**
144 Balfany asked any opposed? That motion passes. **Motion passes unanimously.**

145 **5.0 B Strandlund Farm – Preliminary Plat – 2836 221st Ave NE**

146 Berg reviewed staff's report stating the plat consists of twenty (20) buildable single family rural
147 residential lots on 73.90 acres. Of the proposed lots, one lot is at the minimum of 2.00 acres. The
148 average lot size in the proposed plat is 3.27 acres therefore all lots meet city code requirements.

149 Berg indicated this subdivision will be accessed off of Luan Drive NE / Anoka County Highway 74 by
150 the creation of a new section of 219th Ave NE. The new section of 219th Ave will be constructed to the
151 minimum design standards.

152 Berg stated the Anoka County Highway Dept. was sent the Preliminary Plat for review and comments
153 were received on October 19th, 2023. Any and all comments from the Anoka County Highway
154 Department will need to be satisfactorily addressed prior to filing a final plat. (Attachment 4)

155 Berg noted the Public Works departments reviewed the submitted preliminary plat and are in support of
156 the subdivision as proposed with the recommendation of removal of the gravel cul-de-sac on 219th Ave
157 and make the full connection to the platted road.

158 Berg stated the City Engineer comments have not been received however the developer will need to
159 satisfactorily address any and all comments prior to filing a final plat.

160 Berg indicated the Building Official had no comments at the preliminary plat stage of the development.

161 Berg stated the Parks Commission reviewed the initial concept plan at their August 8th, 2023 meeting
162 and made a recommendation of park fees in lieu of land with the possible exception of providing a trail
163 easement from the cul-de-sac to 221st Ave NE. The updated preliminary plat will be reviewed at the
164 November 14th, 2023 Parks Commission Meeting.

165 Berg indicated the park dedication fee is determined by 10% of the fair market value of the undeveloped
166 land; not to exceed \$2,000.00 per lot. Staff will work with the property owner to determine the amount
167 required for park dedication fees, which will need to be paid prior to the release of the final plat for
168 filing with Anoka County.

169 Berg recommended the Planning Commission recommend that the City Council consider approval of
170 Resolution 2023-72, Approval of the Preliminary Plat for Hidden Pines, with the conditions set forth in
171 the Resolution.

172 Balfany opened the public hearing at 7:25 p.m.

173 Jacqueline Chies, 2760 219th Avenue NE, stated the new plat was more acceptable than the first one
174 presented. She asked for the minimum design standards for the cul-de-sac. She asked how was the
175 grading going to be done on the cul-de-sac.

176 Michael Chies stated one issue was the runoff from the field that came onto their road. He noted his
177 paved driveway would also need to get tied in.

178 Ms. Chies noted that the wetland markers that were put in this spring during the drought would not be
179 accurate in a normal year. She asked if the septic systems would affect the other water wells or septic
180 systems. Balfany noted there were Ordinances with respect to spacing and location to ensure they were
181 not impeding one another.

182 Ms. Chies asked if there had been soil and water samples taken as this had been a farm in the past where
183 pesticides had been used. She asked if there would be a land dedicated to a park. Balfany responded
184 that the Park Commission had recommended a fee in lieu of a park.

185 Michael Chies, stated he had no issue with the development, but he was trying to minimize the impact
186 because it has been such a nice view for so many years. He asked if they could add a berm along the
187 line closer to his home to give him more privacy.

188 Steve Strandlund addressed where the ponds would be located for any runoff. He noted the runoff
189 would not affect the neighboring properties. He explained how the streets would be tied in together. He
190 indicated Mr. Chies driveway would not be left short of the cul-de-sac at any point with a ditch or
191 anything like that. Berg noted the development would be required to continue and complete the
192 driveway to the existing road area or the edge of the road and it would not be left.

193 Ms. Chies inquired about the snowplowing. Balfany responded that was a question for the public works
194 department and if there were any issues, she could contact the Public Works manager, Nate Ayshford.

195 Balfany closed the public hearing at 7:41 p.m.

196 **Commissioner Balfany moved and Commissioner Terry seconded for discussion.** Balfany asked any
197 discussion? To the motion, all in favor say aye. **All in favor.** Balfany asked any opposed? That
198 motion passes. **Motion passes unanimously.**

199 Johnson asked who was paying for the new section of 219th Avenue NE. Berg responded it was the
200 developer's responsibility.

201 Terry stated the letter from the Transportation Department had mentioned four new access points on
202 County Road 74. He asked where those were located. Berg pointed out on the map the location of the
203 access points.

204 Berg commended Mr. Strandlund for the changes he made based on the previous feedback given. He
205 indicated he appreciated the effort Mr. Strandlund had put in.

206 Johnson agreed and noted that Mr. Strandlund was taking a financial loss, but he has made this much
207 more agreeable to the neighborhood.

208 Allenspach pointed out that not all of the homes would be built at one time either so there was not going
209 to be a flood of new housing coming in with cars and traffic.

210 By consensus the discussion was closed.

211 **Commissioner Johnson moved and Commissioner Allenspach seconded to recommend approval**
212 **to City Council of Resolution 2023-72, Approval of the Preliminary Plat for Hidden Pines, with**
213 **the conditions set forth in the provided Resolution.** Balfany asked any discussion? To the motion, all
214 in favor say aye. **All in favor.** Balfany asked any opposed? That motion passes. **Motion passes**
215 **unanimously.**

216
217 **5.0 C Classic Commercial Park 5th Addition – Preliminary Plat – 189th Ave / Buchanan St NE**

218 Balfany requested 5.0C and 5.0D's motions be put together as one motion but have two separate public
219 hearings.

220 Berg reviewed staff's report stating the Planning Commission is asked to review and hold a public
221 hearing for the preliminary plat known Classic Commercial Park Fifth Addition. The development
222 consists of two (2) commercial lots and an additional outlot.

223 Berg indicated staff had reviewed the submission and offered the following comments.

224 Berg stated a Commercial Site Plan must be reviewed and approved prior to the issuance of any building
225 permits. Required submittal plans include, but are not limited to, the following: grading and drainage,
226 architectural, landscaping, lighting, storm water, and utility plans.

227 Berg noted the lot will be served by municipal sewer and water. All fees associated with municipal
228 services are required to be paid prior to the issuance of any building permits.

229 Berg stated cash-in-lieu of land will be collected prior to the issuance of any building permits. Required
230 park fees will reflect the most current fee schedule at the time the building permit is issued.

231 Berg stated the Commission is asked to review the preliminary plat, hold a public hearing, and make a
232 recommendation of approval to City Council.

233 Balfany opened the public hearing at 7:49 p.m.

234 There were no comments made.

235 Balfany closed the public hearing at 7:49 p.m.

236 **5.0 D Classic Commercial Park 5th Addition – Final Plat**

237 Berg reviewed staff's report stating the Planning Commission is asked to review the Final Plat known as
238 Classic Commercial Park Fifth Addition. The development consists of two (2) commercial lots and an
239 additional outlot.

240 Berg indicated the Commission is asked to review the final plat and make a recommendation of approval
241 to City Council.

242 Balfany opened the public hearing at 7:50 p.m.

243 There were no comments made.

244 Balfany closed the public hearing at 7:50 p.m.

245 Balfany requested a motion to hear item 5C and 5D discussion together.

246 **Commissioner Terry moved and Commissioner Johnson seconded to open discussion on Item 5.0**
247 **C and 5.0D.** Balfany asked any discussion? To the motion, all in favor say aye. **All in favor.** Balfany
248 asked any opposed? That motion passes. **Motion passes unanimously.**

249 Allenspach stated she had no issues.

250 By consensus the discussion was closed.

251 **Commissioner Terry moved and Commissioner Johnson seconded to recommend approval of**
252 **Resolution No. 2023-74, A Resolution Approving the Preliminary Plat of “Classic Commercial**
253 **Park Fifth Addition” Legally Described as: Sauter’s Commercial Fourth Addition, Outlot A, and**
254 **Resolution No. 2023-75, A Resolution Approving the Final Plat of Classic Commercial Park Fifth**
255 **Addition legally described as Sauter’s Commercial Park Fourth Addition, Outlot A to City**
256 **Council with the conditions set forth in the provided Resolution to City Council with the**
257 **conditions set forth in the provided Resolution.** Balfany asked any discussion? To the motion, all in
258 favor say aye. **All in favor.** Balfany asked any opposed? That motion passes. **Motion passes**
259 **unanimously.**

260 **6.0 185XX 3rd St NE – Variance Re-application recommendation per City Council request**

261 Berg reviewed staff’s report stating City Council is requesting the Planning Commission provide a
262 recommendation in regard to allowing a subsequent variance request for a frontage/ lot line reduction at
263 the Right of Way for an Administrative Subdivision in Oak Grove.

264 Berg stated on September 26th, 2023 the Planning Commission held a public hearing and subsequently
265 made a finding of fact in a denial of a variance request for a reduction to the standard of 200 feet of
266 frontage to 52 feet in order to subdivide the property allowing for two (2) access points/ driveways
267 through the East Bethel 3rd St NE Right of Way to the parcel located in Oak Grove.

268 Berg indicated at the October 9th, 2023 City Council Meeting the recommendation to deny the variance
269 request was approved by a unanimous vote of the City Council.

270 Berg noted Sec. 4, Sub. 10. I. Reapplication, No application for a variance for a particular use on a
271 particular parcel shall be resubmitted for a period of one year from the date of denial of the previous
272 application unless a decision to reconsider such matter is made by a majority vote of the full City
273 Council.

274 Berg stated the applicant immediately requested a decision be made in order for him to reapply for a
275 variance for a Front Lot Line reduction from 200 feet to the 105.88 feet, for a single access point as
276 opposed to two in his current request. The City Council requested this be brought back to the Planning
277 Commission for a recommendation in regard to the resubmittal for a variance within a one-year period.

278 Berg indicated the City Council is requested the Planning Commission discuss and make a
279 recommendation based on the request to allow or deny the applicant the opportunity to reapply for a
280 variance for a front lot line reduction after a denial within a one-year period.

281 Terry asked if this was an identical variance request. Berg responded applicant was requesting a
282 variance for the same use for the same thing, but he’s asking for a reconsideration of a lot line
283 adjustment or a lot line reduction.

284 Johnson asked if there was a compelling reason to stray from the procedures they have done in the past.
285 Berg responded Council wanted the Commission’s input on whether they felt they should allow the
286 applicant to reapply or not based on the feedback received from the neighborhood.

287 Johnson stated she did not see any compelling reason to allow it.

288 DeRoche shared the Council’s discussion and thoughts from the meeting where this was addressed.

289 Balfany believed they needed to stick “to our guns” on the Ordinance in this case. He indicated he did
290 not want to set a precedent. He stated he would not be in favor of allowing this reapplication.

291 It was the consensus of the Commission to not allow reapplication.

292 **7.0 Updates**

294 Council Liaison DeRoche updated the Commission on recent Council actions.
295

296 **8.0 Adjournment**

297 **Commissioner Allenspach moved and Commissioner Johnson seconded to adjourn at 8:05 pm.**

298 Balfany asked any discussion? To the motion, all in favor say aye. **All in favor.** Balfany asked any
299 opposed? That motion passes. **Motion passes unanimously.**

300 Submitted by:

301 Kathy Altman

302 *TimeSaver Off Site Secretarial, Inc.*

303

**City of East Bethel
Planning Commission Regular Meeting
Agenda Item Information**



Date: November 28th, 2023

Agenda Item Number: 3.0

Agenda Item: Public Hearing – Conditional Use Permit (CUP): TEAM PROPERTIES GROUP, LLC. – 18533 Buchanan St NE.

Background Information: Jennifer O’Brien, owner of TEAM Drywall, Inc., an East Bethel based commercial and residential drywall company for over 32 years has purchased 18533 Buchanan St NE (formally Norther Asphalt) with the intent to grow and expand operations.

The 2.19 acre property has an existing 6,000 Sq. Ft Office/Warehouse, with 5,000 Sq. Ft of customer parking lot, and 40,500 Sq. Ft of screened exterior rear and side yard storage.

Property Zoning

18533 Buchanan St NE; Lot 5, Block 1, Saunters Commercial Park, PID: 32-33-23-24-0006 is zoned Light Industrial (I) and in accordance with Appendix A, Sec. 48 (4), Construction, Trade, and Service Business are permitted by a Condition Use Permit (CUP).

Exterior Storage

Sec. 24 (4) states that: *Exterior storage is permitted in I-1 and B-3 districts as a conditional use permit and subject to the following conditions:*

1. *Exterior storage shall be limited to the rear yard and shall not be allowed within the required setbacks, public right-of-way, private access easement, or within the required parking area.*
2. *Maximum amount of exterior storage cannot exceed 2 times the square footage of the Principal Building.*
3. *Exterior storage cannot exceed the maximum allowable height of the principal building.*

Construction yards are exempt from exterior storage requirements as outlined in Section 24, 4-A, provided they are located in the rear yard behind the principal building and cannot exceed the square footage of the Principal building and shall not be allowed within the required setbacks, public right-of-way, private access easement, or within the required parking area.

The 18533 Buchanan St NE location has an existing exterior storage area, rear and side yard, approximately 6 times the size of the principal building however it’s fully fenced meeting all of the screening requirements of the ordinance and reducing the visual impact from the right of way.

Accessory storage containers, as defined in Section 01. General Provisions of Administration, shall not be permitted.

Parking

TEAM Drywall, Inc. currently has (1) employee and equipment will be out on jobsites daily as this is skilled labor residential or commercial jobsite service based business. The existing 6,300 sq. ft. parking area is designated for 17 vehicles and with the abundance of exterior yard there should be sufficient parking for employees in the event more employees are added. Vehicles over 20,000 GVWR, construction equipment, and trailers shall be require to be parked in the Exterior Storage yard or behind screening.

2040 Comprehensive Plan

The light industrial (I) district is intended and designed to provide areas of the city suitable for activities and uses that are industrial in nature. The proposed use aligns with the approved 2040 Comprehensive Plan.

Recommendation: Staff recommends the Planning Commission review the CUP request, hold a public hearing and make a recommendation of approval to City Council, with the conditions set forth in attached Resolution 2023-83.

Attachments:

1. Resolution 2023-83, approving a CUP for the operation of a Construction, Trade, and Service Business and Exterior Storage.
2. Location Map
3. Aerial Map
4. Applicant's Letter

Planning Commission Action:

Motion by: _____

Second by: _____

Vote Yes: _____

Vote No: _____

**CITY OF EAST BETHEL
COUNTY OF ANOKA
STATE OF MINNESOTA**

RESOLUTION NO. 2023-83

A RESOLUTION APPROVING A CONDITIONAL USE PERMIT TO ALLOW THE OPERATION OF A CONSTRUCTION TRADE AND SERVICES BUSINESS, WITH EXTERIOR STORAGE, AT 18533 BUCHANAN ST NE, EAST BETHEL, PIN 32-33-23-24-0006, LEGALLY DESCRIBED AS:

LOT 5, BLOCK 1, SAUTERS COMMERCIAL PARK

WHEREAS, the contract property owner requested approval of a conditional use permit for the operation of a 6,000 square foot Construction, Trade, and Service Businesses facility; and

WHEREAS, the property is zoned (I) – Light Industrial, in which Construction, Trade, and Service Businesses is permitted by Condition Use Permit (CUP); and

WHEREAS, the property is zoned (I) – Light Industrial in which exterior storage is permitted by Condition Use Permit (CUP); and

WHEREAS, the City’s Planning Commission conducted a public hearing on this matter on November 28, 2023; and

WHEREAS, as a result of the review, the Planning Commission recommends approval to City Council of the CUP to allow the operation of a 6,000 square foot Construction, Trade, and Service Businesses facility, with 40,500 square feet of exterior storage for the following reasons:

1. It meets the intent of the Comprehensive Plan.
2. Allows a new trade business to begin operation within the City of East Bethel.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of East Bethel hereby agrees with the recommendation of the Planning Commission and approves the CUP to allow the operation of a 6,000 square foot Construction, Trade, and Service Businesses facility, with 40,500 square foot of exterior storage, on the property legally described as Lot 5, Block 1, Sauter’s Commercial Park with the following conditions:

1. Any change in Use, other than those permitted by zoning code, must be approved by City Council.
2. Exterior storage is limited to:
 - a. rear and side yards,
 - b. shall be screened from the right of way,
 - c. not to exceed the maximum allowable height of the principal building,
 - d. not allowed within the required setbacks, public right-of-way, private access easement, or within the required parking area,
 - e. commercial vehicles, trailers, equipment, tools and materials associated with the principal use of the business.
3. The owner will be required to sign a separate Conditional Use Permit Agreement identifying the conditions as approved by the East Bethel City Council on December 11th, 2023.

Adopted this 11th day of December, 2023 by the City Council of the City of East Bethel.

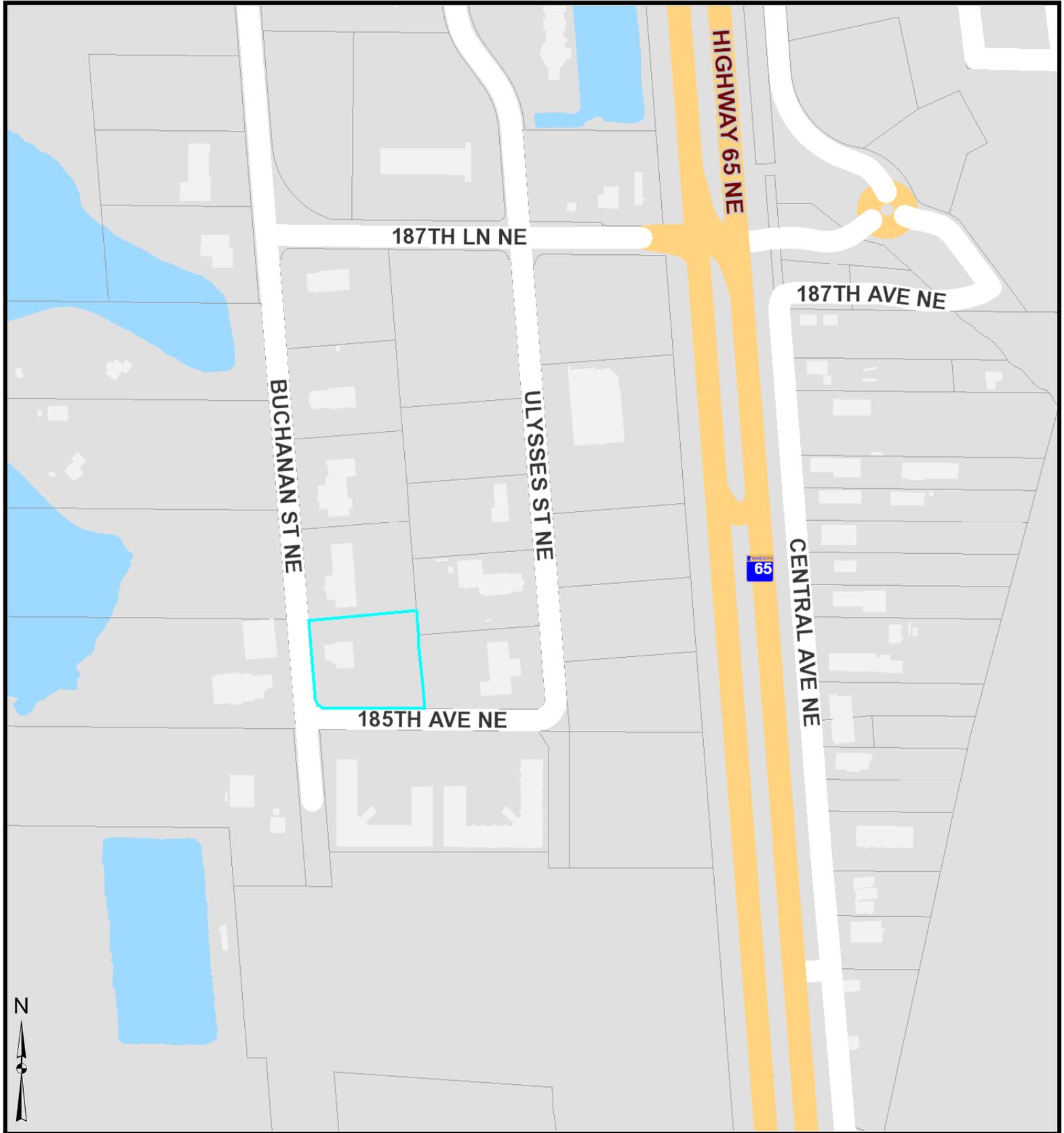
CITY OF EAST BETHEL:

Kevin Lewis, Mayor

ATTEST:

City Administrator

18533 Buchanan St NE - Location Map



Parcel Information: Approx. Acres: 2.19
 32-33-23-24-0006 Commissioner: JULIE BRAASTAD
 18533 BUCHANAN ST NE
 EAST BETHEL
 MN 55011
 Plat: SAUTER'S COMMERCIAL PARK

Owner Information:
 JP INVESTMENTS LLC
 18533 BUCHANAN ST NE
 EAST BETHEL
 MN
 55011



18533 Buchanan St NE - Aerial Map



-  Parcels
-  City Mask

1 inch equals 383 feet




October 30, 2023
Map Powered By DataLink

November 15th, 2023

Aaron Berg - Community Development Director
Members of the City Council & Planning Commission

City of East Bethel
2241 221st Avenue NE
East Bethel, MN 55011

RE: Team Drywall, Inc New Office/Shop

Mr. Aaron Berg and Members of the City Council/Planning Commission:

Team Drywall, Inc has been an active and successful business in the East Bethel community for over 32 years. Previously run from a home office, with goals to grow and expand in a community that has helped us flourish thus far, we sought out a location in the East Bethel Commercial Park. We have now acquired a 2.5 acre headquarter office, with a shop, and gated yard that will continue to be, as well as increase, the convenience for our clients and staff; give us room to grow and expand; and bring a successful business, and more employment opportunities into the heart of the East Bethel city.

Currently, Team Drywall, Inc's focus is primarily residential and commercial drywall work. We work with 15-20 Minnesota and Wisconsin builders/contractors, and predominantly utilize 25-30 sub-contractors throughout both states. We are also active and supportive members of our community sponsoring multiple youth organizations such as community hockey and softball teams.

Team Drywall, Inc. has goals within the next year to create an in-house labor team, and more robust administrative staff, offering more job opportunities for local community members. The in-house staff, along with the new building, shop, and yard allow us to grow into even more construction and contracting fields such as: wood and metal framing, insulation, painting, finish carpentry, etc. We believe these staffing and expansion plans, along with an aggressive marketing plan, and our new presence in the Commercial Park, will allow us to continue to be successful, active, supportive, and contributing members of the great East Bethel community.

Please feel free to contact me if you have questions regarding Team Drywall, Inc. or our goals within this community.

Thank you,



Jennifer O'Brian – Owner
Team Drywall, Inc.

**City of East Bethel
Planning Commission Regular Meeting
Agenda Item Information**



Date: November 28th, 2023

Agenda Item Number: 4.0B

Agenda Item: Public Hearing – Interim Use Permit (IUP): Wendy Cisneros – 716 192nd Ave NE.

Background Information: In late July 2023, the City of East Bethel received a complaint about building and zoning code violations at 716 192nd Ave NE. During the investigation the Code Enforcement Officer discovered that in addition to the code violations there was also a horse on the property. A standard city code enforcement letter was issued identifying the code issues and a request that the property owner contact the city.

The property owner, Wendy Cisneros and Leyva Pinal, came to East Bethel City Hall to discuss the identified code issues with staff. At the conclusion of the discussion multiple permit applications and Interim Use Permit were applied for by Cisneros the following week.

Upon review of the building permit applications it was discovered by the city’s Residential Building Inspector there were construction code related deficiencies, as well as excessive number of detached accessory buildings, and the IUP requirements for farm animals (horse) were not met.

A subsequent meeting was scheduled with the property owners and the issues were identified along with a plan to remedy the city’s concerns by November 15th, 2023. The applicants completed all of the necessary corrective actions regarding buildings and detached accessory structures and an inspection was completed on November 3rd, 2023.

The applicants are requesting an Interim Use Permit to keep the one (1) horse on the property.

Property Zoning

The applicants property is zoned Rural Residential, is located in Brookside Place Subdivision and is 4.86 acres in size.

Sec. 10-151. - Interim use permit (IUP) and acreage requirements for domestic farm animals; nondomestic animals prohibited. *(c) No animal regulated by this article can be kept on a parcel of land located within a platted subdivision or on any parcel of land of less than three acres. Provided further, that if 80 percent of the lots within a platted subdivision are larger than three acres, an IUP for keeping a regulated animal may be issued for any of those lots larger than three acres.*

Brookside Place was platted in 1978 with 10 lots of which only four (4) lots meet the three (3) acre or larger requirement.

Sec. 10-152. - Domestic farm animal shelter setbacks, paddocks, and pasture land. During the November 3rd inspection staff were able to verify that the minimum requirements for the keeping of 1 horse have been already been met (1 acre of fenced pasture, an adequate 12’ X 30’ shelter, food, water and all setbacks distances are met).

Sec. 10-157. - Interim use permit required. *The keeping of animals regulated under this article will be allowed only after issuance by the city of an IUP for such keeping. The procedure for an IUP will be in accordance with the city's zoning ordinance, set forth in appendix A to this Code. The required public hearing*

will be before the planning commission. The final decision on the IUP will be made by the city council not earlier than seven days after the public hearing.

Recommendation: Staff recommends the Planning Commission review the IUP request, hold a public hearing and make a recommendation of approval or denial to City Council, with the conditions set forth in attached Resolution 2023-XX. If approved staff request a the Planning Commission recommend a term of one (1) to three (3) years to determine if the deviation from the zoning standard identified in Sec. 10-151(c) has an impact on the neighborhood.

Attachments:

1. Resolution 2023-XX, approving or denying an IUP for the keeping of one (1) horse.
2. Location Map
3. Aerial Map
4. Brookside Place Plat

Planning Commission Action:

Motion by: _____

Second by: _____

Vote Yes: _____

Vote No: _____

**CITY OF EAST BETHEL
EAST BETHEL, MINNESOTA**

RESOLUTION NO. 2023-XX

A RESOLUTION **GRANTING** AN INTERIM USE PERMIT FOR THE KEEPING OF NO MORE THAN ONE HORSE ON PROPERTY LOCATED AT 716 192 AVE NE, EAST BETHEL, MINNESOTA (PIN: 30-33-23-42-0025).

LOT 3 BLOCK 2 BROOKSIDE PLACE

WHEREAS, the property owners of 716 192nd Ave NE requested an interim use permit for keeping of one horses, and;

WHEREAS, the Planning and Zoning Commission held a public hearing on November 28, 2023; and,

WHEREAS, the Planning and Zoning Commission finds the request:

1. This property is zoned RR - Rural Residential and the keeping of farm animals is considered an Interim Use within this district.

WHEREAS, the Planning and Zoning Commission recommends to the City Council approval of the interim use permit.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of East Bethel hereby approves the interim use permit to allow for the keeping of one horse on property located at 716 192nd Ave NE with the following conditions:

1. An Interim Use Permit Agreement must be signed and executed by the applicant and the City.
2. Applicants must comply with City Code Section 10. Article V. Farm Animals.
3. The IUP shall be valid for a term of _____ years, expiring on December 11, _____, at which time the applicant will be required to re-apply for an IUP.
4. Permit shall expire when:
 - a. The property is sold, or
 - b. Noncompliance of IUP conditions
5. Property owner shall have thirty (30) days to remove the approved domestic farm animals upon expiration of the IUP.
6. Property may be inspected and evaluated annually by city staff.
7. Foals over the age of six (6) months that remain on the parcel will be counted towards the number of horses allowed in the IUP.

Adopted this 11th day of December, 2023 by the City Council of the City of East Bethel.

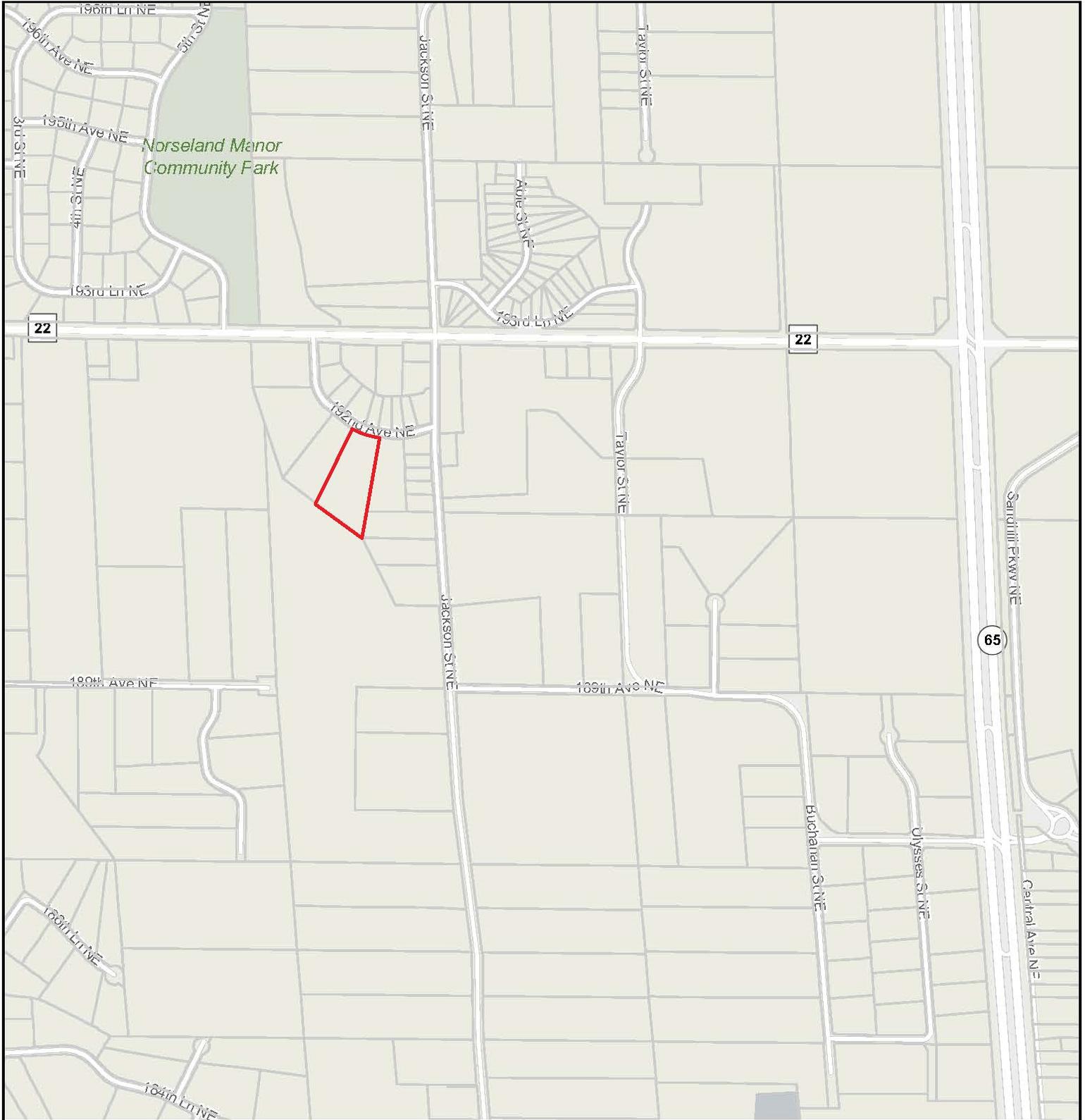
CITY OF EAST BETHEL

Kevin Lewis, Mayor

ATTEST:

City Administrator

716 192nd Ave NE - Location Map



1 inch equals 1,437 feet

Parcels

City Mask



November 14, 2023
Map Powered By DataLink



716 192nd Ave NE - Aerial Map



1 inch equals 1,085 feet

Parcels

City Mask



November 14, 2023
Map Powered By DataLink



BROOKSIDE PLACE

City of East Bethel, Anoka County, Minnesota

KNOW ALL MEN BY THESE PRESENTS that Ritchie M. Henrikson and Phyllis E. Henrikson, husband and wife, owners and proprietors of the following described property:

All that part of the West Half of the Southeast Quarter of Section 30, Township 33 North, Range 23, West of the Fourth Principal Meridian, Anoka County, Minnesota, described as follows:

Commencing at the northeast corner of said West Half of the Southeast Quarter of Section 30, thence South 3 degrees 22 minutes 42 seconds East, on an assumed bearing, along the east line of said West Half of the Southeast Quarter of Section 30, a distance of 193.07 feet to its intersection with a line 192.73 feet at right angles to and parallel with the north line of said West Half of the Southeast Quarter of Section 30, said point of intersection being the point of beginning; thence continuing South 3 degrees 22 minutes 42 seconds East, along the east line of said West Half of the Southeast Quarter of Section 30, a distance of 172.03 feet to the centerline of County Ditch No. 67, also known as Crooked Brook; thence along said centerline on a bearing of South 68 degrees 56 minutes 36 seconds West a distance of 92.09 feet; thence continuing along said centerline on a bearing of South 40 degrees 10 minutes 23 seconds West a distance of 36.61 feet; thence continuing along said centerline on a bearing of South 78 degrees 49 minutes 26 seconds West a distance of 154.95 feet; thence continuing along said centerline on a bearing of North 89 degrees 13 minutes 41 seconds West a distance of 145.94 feet; thence continuing along said centerline in a northerly direction along a tangential curve, concave to the north, having a radius of 143.50 feet, and a central angle of 38 degrees 25 minutes 14 seconds, a distance of 96.23 feet; thence continuing along said centerline on a bearing of North 50 degrees 48 minutes 28 seconds West a distance of 237.36 feet; thence continuing along said centerline in a westerly direction along a tangential curve, concave to the northeast, having a radius of 131.95 feet, and a central angle of 48 degrees 54 minutes 11 seconds, a distance of 112.02 feet; thence continuing along said centerline on a bearing of North 1 degree 34 minutes 17 seconds West a distance of 98.77 feet; thence continuing along said centerline on a bearing of North 7 degrees 04 minutes 32 seconds East, a distance of 75.58 feet to the north line of the West Half of the Southeast Quarter of Section 30; thence East along said north line of the West Half of the Southeast Quarter of Section 30, a distance of 461.11 feet to a point which lies 240.03 feet West of the Southeast Quarter of Section 30, a distance of 461.11 feet; thence East along said north line of the Southeast Quarter of Section 30, a distance of 433.05 feet to the southeast corner of said West Half of the Southeast Quarter of Section 30; thence South 192.73 feet; thence East on a line 192.73 feet at right angles to and parallel with said north line of the West Half of the Southeast Quarter of Section 30, a distance of 251.41 feet to the point of beginning.

All that part of the west half of the Southeast Quarter and the east half of the Southwest Quarter of Section 30, Township 33 North, Range 23 West of the Fourth Principal Meridian, Anoka County, Minnesota, described as follows:

Beginning at the intersection of the southerly line of 192nd Avenue, NE, extended easterly, with the east line of the west half of the Southeast Quarter of Section 30, said point of intersection bearing South 3 degrees 22 minutes 42 seconds East, a distance of 701.11 feet from the northeast corner of said West Half of the Southeast Quarter of Section 30; thence South 3 degrees 22 minutes 42 seconds East, along said east line of the west half of the Southeast Quarter of Section 30, a distance of 187.52 feet to the north line of the South 433.05 feet of the Northwest Quarter of the Southeast Quarter of Section 30; thence South 89 degrees 56 minutes 46 seconds West along said north line of the South 433.05 feet of the Northwest Quarter of the Southeast Quarter of Section 30, a distance of 270.91 feet to the west line of the East 270.91 feet of the Northwest Quarter of the Southeast Quarter of Section 30; thence South 3 degrees 22 minutes 42 seconds East along said west line of the East 270.91 feet of the Northwest Quarter of the Southeast Quarter of Section 30, a distance of 433.05 feet to the south line of the Northwest Quarter of the Southeast Quarter of Section 30; thence North 89 degrees 56 minutes 46 seconds East along said south line of the Northwest Quarter of the Southeast Quarter of Section 30, a distance of 270.91 feet to the east line of the west half of the Southeast Quarter of Section 30; thence South 3 degrees 22 minutes 42 seconds East along said east line of the west half of the Southeast Quarter of Section 30, a distance of 700.51 feet; thence South 89 degrees 56 minutes 46 seconds West, a distance of 384.11 feet; thence North 27 degrees 30 minutes 49 seconds West a distance of 561.93 feet; thence North 53 degrees 54 minutes 55 seconds West a distance of 749.57 feet; thence North 19 degrees 03 minutes 19 seconds West, a distance of 719.38 feet to a line 400.00 feet South of as measured at right angles to and parallel with, the north line of said Northwest Quarter of the Southeast Quarter of Section 30; thence East along said line 400.00 feet South, as measured at right angles to and parallel with, the north line of said Northwest Quarter of the Southeast Quarter of Section 30, a distance of 446.58 feet to the westerly line of Madison Street, NE; thence southerly and easterly along the westerly line of Madison Street, NE, and the southerly line of 192nd Avenue, NE, on a curve concave to the north, said curve having a central angle of 36 degrees 37 minutes 35 seconds and a radius of 293.00 feet, a distance of 187.30 feet; thence South 52 degrees 36 minutes 00 seconds East along the southerly line of said 192nd Avenue, NE, a distance of 185.13 feet; thence continuing easterly along the southerly line of said 192nd Avenue, NE, on a curve concave to the north, said curve having a central angle of 28 degrees 34 minutes 00 seconds and a radius of 458.79 feet, a distance of 228.74 feet; thence South 81 degrees 10 minutes 00 seconds East along the southerly line of 192nd Avenue, NE, a distance of 101.31 feet; thence continuing easterly along the southerly line of 192nd Avenue, NE, on a curve concave to the north, said curve having a central angle of 25 degrees 30 minutes 00 seconds and a radius of 507.94 feet, a distance of 226.06 feet; thence North 73 degrees 20 minutes 00 seconds East along the southerly line of 192nd Avenue, NE, and its extension easterly, a distance of 184.87 feet to the point of beginning.

Have caused the same to be surveyed and platted as BROOKSIDE PLACE, and do hereby donate and dedicate to the public for the public use forever, the drainage and utility easements, street and boulevard as shown on the plat. In witness whereof said Ritchie M. Henrikson and Phyllis E. Henrikson, husband and wife, have caused these presents to be signed this 23 day of December, 1977.

SIGNED: Ritchie M. Henrikson
Ritchie M. Henrikson
Phyllis E. Henrikson
Phyllis E. Henrikson

STATE OF MINNESOTA)
COUNTY OF ANOKA)
The foregoing instrument was acknowledged before me this 23 day of December, 1977
by Ritchie M. Henrikson and Phyllis E. Henrikson, husband and wife.



I hereby certify that I have surveyed and platted the property described on the plat as BROOKSIDE PLACE; that this plat is a correct representation of said survey; that all distances are correctly shown on the plat in feet and hundredths of a foot; that the monuments for the guidance of future surveys have been correctly placed in the ground as shown on the plat; that the outside boundary lines are correctly designated on the plat; and that there are no wet lands or public highways to be designated on the plat other than as shown.

STATE OF MINNESOTA)
COUNTY OF ANOKA)
Above certificate subscribed and sworn to before me this 9th day of December, 1977.

Phyllis M. Prokopowicz, Notary Public,
Anoka County, Minnesota.
My Commission Expires March 27, 1984



Approved by the City Council of the City of East Bethel, Minnesota, at a regular meeting held this 4th day of January, 1978.

CITY COUNCIL OF EAST BETHEL, MINNESOTA
Wayne E. Anderson
Mayor

Checked and approved this 19th day of January, 1978.

Sharon K. Schubert
City Clerk

Roland W. Anderson
Anoka County, Minnesota
County Surveyor

488439

OFFICE OF COUNTY RECORDER
STATE OF MINNESOTA, COUNTY OF ANOKA

I hereby certify that the within instrument was filed in this office for record on the JAN 19 1978 A.D., 1978 at 2 o'clock P.M., and was duly recorded in book 238 page 14.

BY G. J. Omsick
Recorder
J. J. Hollander
Deputy

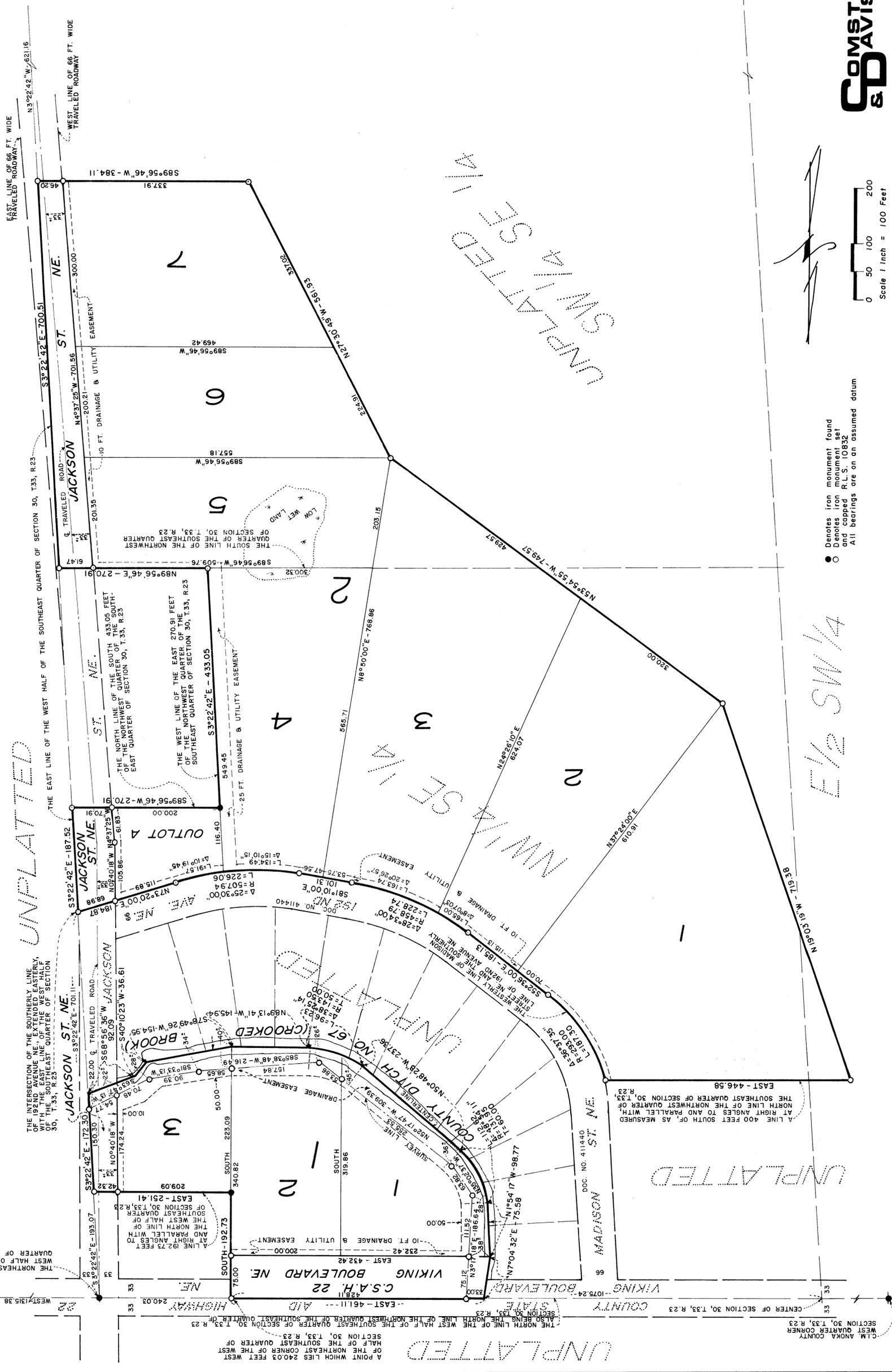
NO DELINQUENT TAXES AND TRANSFER ENLIED.
Jan 19 1978
Charles R. Johnson
Auditor, Anoka County
BY J. J. Hollander
Deputy



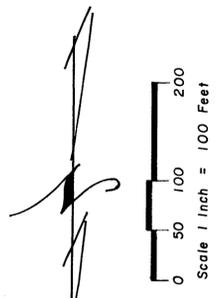
BROOKSIDE PLACE

City of East Bethel, Anoka County, Minnesota

C.I.M. ANOKA COUNTY
WEST QUARTER CORNER
SECTION 30, T.33, R.23
THE SOUTHEAST CORNER OF THE
WEST HALF OF THE SOUTHEAST
QUARTER OF SECTION 30, T.33, R.23



"NO DELINQUENT TAXES
AND TRANSFER ENTERED"
Jan 17 19 78
Charles B. Johnson
Auditor, Anoka County
BY: J. L. Lamm
Deputy



● Denotes iron monument found
○ Denotes iron monument set
and capped R.L.S. 10832
All bearings are on an assumed datum

COMSTOCK & ADAMIS, INC.

CONSULTING ENGINEERS & LAND SURVEYORS

**City of East Bethel
Planning Commission Regular Meeting
Agenda Item Information**



Date: November 28, 2023

Agenda Item Number: 4.0 C

Agenda Item: Public Hearing – Preliminary Plat/Planned Unit Development (PUD) – Viking Meadows – 1788 Viking Blvd – Capstone Homes, INC.

Discussion Information:

The Planning Commission is asked to review the preliminary plat for a Mixed Use PUD as requested by Capstone Homes, INC.

Background

On November 8th, 2023, a Preliminary Plat and PUD application from Capstone Homes, INC. for the redevelopment of Viking Meadows was received. The proposal show the redevelopment of 155 acres of land which spans across the zoning classifications of Mixed Use and Single Family Residential. The proposal shows 95 acres of developable land will contain a proposed 242 lots. In addition, the proposal contains 60 acres of open space which also includes over 10 acres of park and recreation space.

At the June 27th, 2023 Planning Commission Meeting a Public Hearing was held and feedback was provided to the developer on a Concept Plan proposal.

At the July 24th, 2023 City Council Meeting the Concept Plan proposal was presented to the City Council for feedback.

On August 22th, 2023 a revised Concept Plan was presented to the Planning Commission and by a 6-1 vote, a recommendation of approval was forwarded to the City Council.

On August 28th, 2023 the revised Concept/PUD Plan was presented to the City Council along with the Planning Commission's Recommendation. The City Council unanimously voted to approve the Concept Plan by Resolution 2023-61.

According to City Code Section 49 – 6 Development Procedure. *Mixed-use and single-use projects. The application procedure and applicable general requirements pertaining to planned unit developments (PUD) shall apply to the MXU district, subject to any exceptions, modifications, or additions set forth in the ordinance. Amendments to the PUD can be proposed and implemented upon city council approval.*

The application procedure shall include submittal and approval by the city council of a concept plan prior to the submittal of a PUD request.

According to Section 56 - PLANNED UNIT DEVELOPMENT (PUD), Subsection D. – *A Planned Unit Development is required in Mixed Use Districts in the city. Mixed use allows for commercial, residential, parks and open space and, as such, are in compliance with the East Bethel Comprehensive Plan. The purpose of a PUD is to allow flexibility and variation from conventional ordinance standards in exchange for higher standards of development design and creativity, architectural control, natural resource protection, landscaping, public parks, public and private open space protection, pedestrian access, and multi-use corridor opportunities. The PUD provisions are also intended to promote the efficient use of land and promote cost-effective public and private infrastructure systems.*

As part of the preliminary plat/ PUD review, staff has offered the following comments:

- Access – Ingress and egress to the development will be accessible from two locations, Sandhill Parkway NE and Viking Blvd. NE. The original proposal contained a potential connection at 189th Ave NE however, after public comments and discussion, City Staff requested this to be configured only as an emergency access point.

The Developer, City Engineer, Public Works Manager, and city staff have met with and are working in conjunction with the Anoka County Highway Department to evaluate and address the overall traffic considerations of the area.

Additionally, an independent contracted traffic study is ongoing and the results are to be presented to the City Council and Staff in early December 2023.

- Open Space - A primary function for a PUD is to encourage development that preserves and enhances the natural characteristics and valuable natural resources of a site and not force intense developments that use all portions of a given site to arrive at the maximum intensity or density allowed. Capstone has proposed over 60 acres of open green space which includes over 10 acres of community park and recreation space with walking trails and unique landscaped buffers.
- Streets – Streets and cul-de-sacs, along with utilities should be constructed in compliance with City Code Section 66 – 164 which requires that streets shall provide for future connections to adjoining un-subdivided land. Staff recommends that the streets be city-maintained public streets throughout the development.
- Housing - The amended plan consists of 242 new single family homes on a combination of 55', 70', and 80' lots.
- Commercial – The plan includes a 15 acre Commercial Outlot, at the intersection of Highway 65 and Viking Blvd. NE, identified for future commercial space.
- City Services - The plan indicates the new single family homes will each be connected to the city sewer and water as the entire development is within the Metropolitan Urban Service Area (MUSA).
- Density - The plan consist of an overall density for the proposed developable land that is under 3 units per acres, which is the city wide density standard based on the 2040 Comprehensive Plan for all properties in the MUSA.
- Parks Commission – On November 14th, 2023 the developer presented the Preliminary Plat Parks Plan to the Parks Commission. The Parks Commission was agreeable to the \$1500 fee per lot and 10.95 acres of upland and recreation space with the Park Dedication Fees being directed back to the Viking Meadows public park improvements. (Attachment 7)
- HOA – The plan proposes a Home Owners Association which will be responsible for common areas, landscaping along the entrances of Sandhill Parkway and Viking Blvd NE, as well as proposed .07 acre park.
- Design Standards - The plan calls for a minor deviations from design standards however a PUD provides the city flexibility in allowing for exceptions. Exceptions will be defined and approved in PUD/ Developers Agreement. (Attachment 6)

PUD Criteria

As part of the approval process, the PUD must demonstrate the public benefits to the surrounding neighborhoods and the city as a whole. Public benefit includes, but is not limited to the following:

Preservation and enhancement of desirable site characteristics and open space. There are a vast number of wetlands/low areas on the properties. The developer will protect and enhance the areas and create additional amenity areas such as open space/gathering areas and trails. The amenities will be accessible to the

public. Once the entire development is completed/built out, trails and open spaces will be connected throughout the development as well as to the adjacent development areas.

The pattern of development preserves natural resources that significantly contribute to the character of the city. The existing wetlands will be further enhanced to provide open space and accessible trails. Wetland impacts will be mitigated on-site. Storm water management basins will be enhanced by additional plantings and designed as wet ponds.

The use of design, landscape, and architectural features will create a pleasing environment or other special development features. Additional landscaping will be added throughout the site. Also, areas of the site that are wooded will be preserved wherever possible.

Variety of housing types will be available in accordance with the city's housing goal. The development will provide a variety of Rambler, Multi-level, Split Entry and Two-Story style homes positioned between existing Rural Residential parcels and complementary to the adjacent Elevage townhome and Commercial Development. (Attachment 9)

Development to enhance the local economy and strengthen the tax base. The preliminary plat projected plan would generate a conservative estimate of \$280,100 in annual city property tax revenues at build out in 2028. The city will also collect \$1,431,360 in City SAC and WAC fees over the life of the project (2024 -2028). This amount would pay off approximately 70% of the principal balance of the METC Reserve Capacity Loan. In addition, the increased housing units would improve the demographics in the local market area which are needed to attract basic retail, food and grocery services to the city.

The proposed preliminary plat/PUD meets the intent of the criteria for granting a PUD based on ordinance Section 56. PLANNED UNIT DEVELOPMENT.

Action Requested

The Planning Commission is asked to hold a public hearing, review the proposed preliminary plat/PUD and recommend approval of the preliminary plat/PUD to City Council with conditions in Resolution 2023-XX and Resolution 2023-XX.

Attachments:

1. Resolution 2023-XX, Approval of Preliminary Plat
2. Resolution 2023-XX, Approval of PUD
3. Location Map
4. City Engineer Comment Letter
5. Capstone Homes Letter
6. Section 56. - PLANNED UNIT DEVELOPMENT (PUD)
7. Viking Meadows Park Plan
8. Preliminary Plat Plan Set
9. Architectural Features Exhibit

Planning Commission Action:

Motion by: _____

Second by: _____

Vote Yes: _____

Vote No: _____

**CITY OF EAST BETHEL
COUNTY OF ANOKA
STATE OF MINNESOTA**

RESOLUTION NO. 2023-XX

**APPROVING THE PRELIMINARY PLAT OF "VIKING MEADOWS" FOR
PROPERTIES LEGALLY DESCRIBED AS**

UNPLATTED VILLAGE OF EAST BETHEL THE E 1/2 OF SE 1/4, AND NW 1/4 OF SE 1/4 OF SEC 29 33 23 EXCEPTING THEREFROM HOWEVER TH PT OF N1/2 OF SE 1/4 OF SEC 29 33 23 DESC AS FOL, COM AT A POINT ON CENTER LI NE OF CO ROAD 22 WHICH POINT IS 125 FT W OF NW CORNER OF NE 1/4 OF SD SE1/4, TH S PARALLEL WITH THE W LINE OF SD NE 1/4 OF SE 1/4 A DIST OF 466 FT, TH E AT RT ANGLES A DIST OF 466 FT, TH N ON A LINE PARALLEL WITH W LINE OF SAID NE 1/4 OF SE 1/4 A DIST OF 176 FT, TH E AT RT ANGLES A DIST OF 150 FT, TH N ON A LINE PARALLEL WITH W LINE OF SD NE 1/4 OF SE 1/4 A DIST OF 290 FT, MORE OR LESS TO CENTE R OF COUNTY ROAD 22, TH WLY ALONG SD CENTER LINE OF SAID ROAD TO POINT OF COM; ALSO EX RD; SUBJ TO EASE OF REC

&

UNPLATTED VILLAGE OF EAST BETHEL N1/2 OF NE1/4 OF NE1/4 SEC 32 33 23 -SUBJ TO EASE TO RURAL COOP POWER ASSN

&

UNPLATTED VILLAGE OF EAST BETHEL N1/2 OF NW1/4 OF NW1/4 SEC 33 33 23 - SUBJ TO EASE TO RURAL COOP POWER ASSN

WHEREAS, Capstone Homes, INC has requested approval of a preliminary plat for Viking Meadows; and

WHEREAS, city staff reviewed and determined the preliminary plat is required for a planned unit development in Mixed Use zoning; and

WHEREAS, the approved land use in the 2040 East Bethel Comprehensive Plan for 122 acres is Mixed Use which provides development flexibility, allowing for both commercial and residential land uses; and

WHEREAS, the approved land use in the 2040 East Bethel Comprehensive Plan for 20 acres is R-1 Single Family Residential which is intended and designated to provide for single family dwellings or areas where similar residential development is likely to occur.

WHEREAS, by city ordinance a PUD may be applied to any business or residential zoning districts.

WHEREAS, on August 28th, 2023, a Concept Plan was reviewed and approved by Resolution 2023-61; and

WHEREAS, pursuant to published and mailed notice thereof, the Planning Commission has

conducted a public hearing on said preliminary plat; and

WHEREAS, as a result of such public hearing, the Planning Commission recommends approval of the preliminary plat to the City Council.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of East Bethel hereby agrees with the recommendation of the Planning Commission and approves the Planned Unit Development for Viking Meadows with the following conditions:

1. A Master Development PUD/ Developers Agreement shall be approved for each phase of the development. Each agreement will specify PUD design standards and developer obligations for the specified phase.
2. The approved preliminary plat lot lay out is shown as Exhibit A.
3. All comments of the City Engineer shall be satisfactorily addressed prior to any release of the final plat.
4. A wetland delineation must be approved by the City Engineer prior to approval of the final plat.
5. Environmental Review Documents requested by City Engineer must be received and reviewed prior to approval of the final plat. Specifically EAW Questions 8, 12, 13, &14.
6. Independent Traffic Study results shall be reviewed by City and County Engineer prior to approval of the final plat.
7. All comments of the Anoka County Engineer must be satisfactorily addressed prior to release of the final plat.
8. The applicant shall be responsible for the cost of construction of all improvements proposed as a part of the preliminary plat.
9. Park dedication fees must be paid prior to the release of the final plat at each phase of development.

Adopted by the City Council of the City of East Bethel this 11th day of December, 2023.

CITY OF EAST BETHEL

Kevin Lewis, Mayor

ATTEST:

City Administrator

**CITY OF EAST BETHEL
COUNTY OF ANOKA
STATE OF MINNESOTA**

RESOLUTION NO. 2023-XX

**APPROVING THE PLANNED UNIT DEVELOPMENT
OF "VIKING MEADOWS" FOR PROPERTIES LEGALLY DESCRIBED AS**

UNPLATTED VILLAGE OF EAST BETHEL THE E 1/2 OF SE 1/4, AND NW 1/4 OF SE 1/4 OF SEC 29 33 23 EXCEPTING THEREFROM HOWEVER TH PT OF N1/2 OF SE 1/4 OF SEC 29 33 23 DESC AS FOL, COM AT A POINT ON CENTER LI NE OF CO ROAD 22 WHICH POINT IS 125 FT W OF NW CORNER OF NE 1/4 OF SD SE1/4, TH S PARALLEL WITH THE W LINE OF SD NE 1/4 OF SE 1/4 A DIST OF 466 FT, TH E AT RT ANGLES A DIST OF 466 FT, TH N ON A LINE PARALLEL WITH W LINE OF SAID NE 1/4 OF SE 1/4 A DIST OF 176 FT, TH E AT RT ANGLES A DIST OF 150 FT, TH N ON A LINE PARALLEL WITH W LINE OF SD NE 1/4 OF SE 1/4 A DIST OF 290 FT, MORE OR LESS TO CENTE R OF COUNTY ROAD 22, TH WLY ALONG SD CENTER LINE OF SAID ROAD TO POINT OF COM; ALSO EX RD; SUBJ TO EASE OF REC

&

UNPLATTED VILLAGE OF EAST BETHEL N1/2 OF NE1/4 OF NE1/4 SEC 32 33 23 -SUBJ TO EASE TO RURAL COOP POWER ASSN

&

UNPLATTED VILLAGE OF EAST BETHEL N1/2 OF NW1/4 OF NW1/4 SEC 33 33 23 - SUBJ TO EASE TO RURAL COOP POWER ASSN

WHEREAS, Capstone Homes, INC has requested approval of a planned unit development for Viking Meadows; and

WHEREAS, city staff reviewed and determined the planned unit development is required in the Mixed Use zoning; and

WHEREAS, the approved land use in the 2040 East Bethel Comprehensive Plan is Mixed Use which provides development flexibility, allowing for both commercial and residential land uses; and

WHEREAS, on August 28th, 2023, a Concept Plan was reviewed and approved by Resolution 2023-61; and

WHEREAS, the Viking Meadows PUD consists of a concept of the residential development of the land shown in Exhibit A; and

WHEREAS, pursuant to published and mailed notice thereof, the Planning Commission has conducted a public hearing on said PUD; and

WHEREAS, as a result of such public hearing, the Planning Commission recommends approval of the PUD to the City Council.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of East Bethel hereby agrees with the recommendation of the Planning Commission and approves the Planned Unit Development for Viking Meadows with the following conditions:

1. A Master Development PUD/ Developers Agreement shall be approved for each phase. Each agreement will specify PUD design standards and developer obligations for the specified phase.
2. All conditions of Preliminary Plat approval resolution must be satisfied prior to the release of a final plat for each phase of development.

Adopted by the City Council of the City of East Bethel this 11th day of December, 2023.

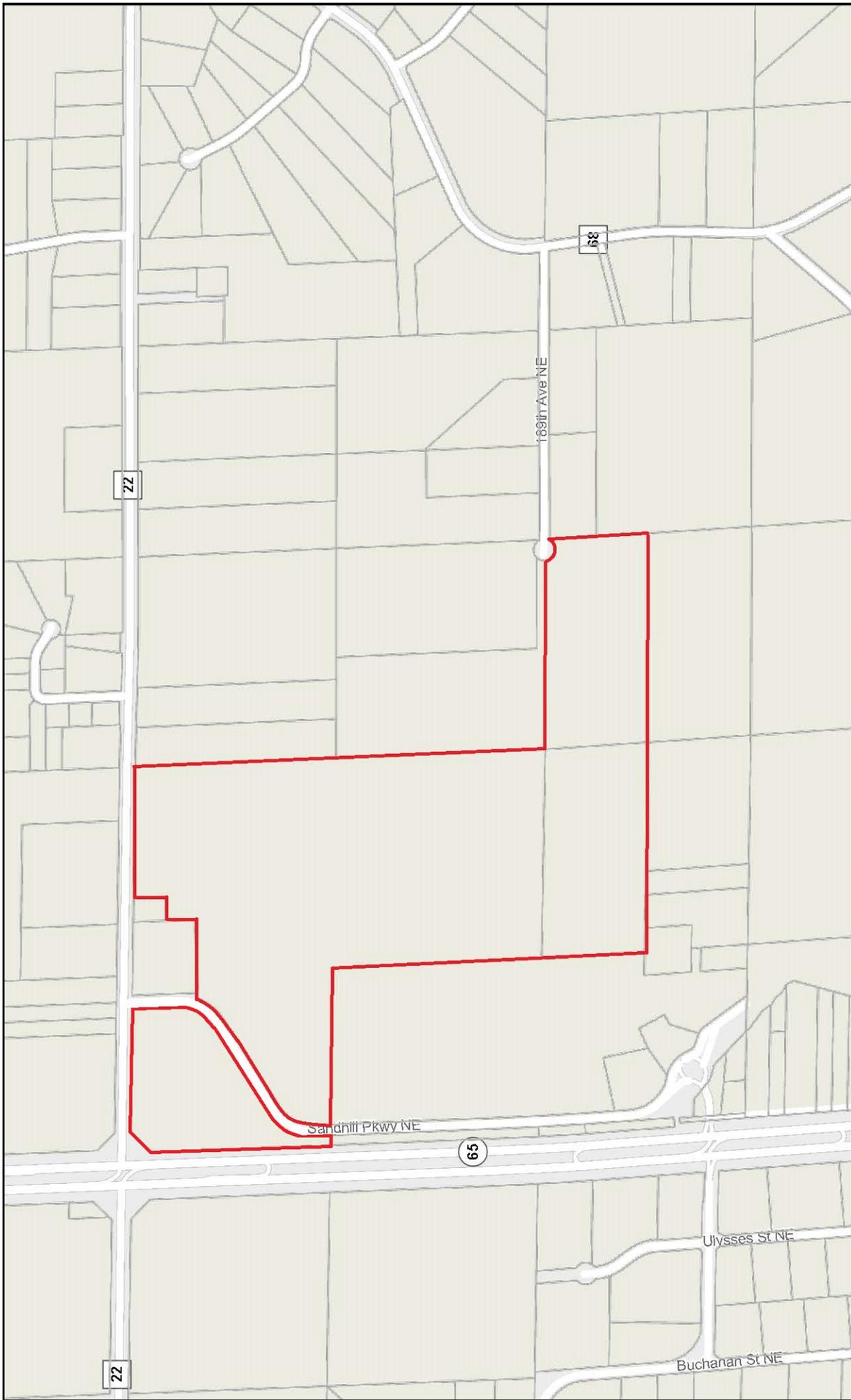
CITY OF EAST BETHEL

Kevin Lewi, Mayor

ATTEST:

City Administrator

Viking Meadows - Location Map



1 inch equals 845 feet

- Parcels
- City Mask



TO BE REPLACED

WITH CITY ENGINEERS COMMENT LETTER

ANTICIPATED TO BE RECEIVED PRIOR TO 11/28/23

PLANNING COMMISSION MEETING.

CAPSTONE

— H O M E S —

Mr. Aaron Berg - City Planner
City of East Bethel
2241 221st Ave NE
East Bethel, MN 55011

November 9th, 2023

Mr. Berg

Capstone Homes is grateful for the opportunity to present our Preliminary Plat Plans and PUD Application for Viking Meadows, a new Single-Family Neighborhood, located on Viking Boulevard just east of Highway 65 and Sandhill Parkway in East Bethel. Capstone Homes will be the developer and home builder of this exciting new Neighborhood. The Preliminary Plans submitted show our design for a community with a combination of 55', 70' and 80' Single Family home lots in two distinct neighborhoods. The Viking Meadows community is intended to serve Residential Home buyers looking for their first home, a home for growing families, a community for families to connect, or those who are looking for a comfortable retirement home. With a variety of home options Capstone anticipates a broad demographic of buyers.

In planning for Viking Meadows, Capstone followed the Comprehensive plan guidance of the Mixed-Use zoning, specifically the R-1 and R-2 guidance. Additionally, a portion of the development area was left available for Commercial use, accessible from Viking Boulevard, Sandhill Parkway and highly visible from Highway 65. The East Bethel Mixed-Use PUD defines its primary function as "Encouraging Development that preserves and enhances the natural characteristics and valuable natural resources of a site." For this reason, we have left substantial areas of Wetland, ponds, water ways and green spaces as enhanced natural characteristics fully benefiting the homeowners who will call Viking Meadows home. The Landscape exhibit shows the full extent of this open area. Additional changes from the originally proposed concept plan significantly softened density impacts to adjacent R-1 zoned neighbors and provides a natural transition from higher density areas to the West. The majority of the Viking Meadows perimeter remains open space and wetlands, which creates a great view shed for the new homes and great buffering for adjacent parcels.

As directed by City Staff and Council, the approval of the application will require the City Council's decision to permit Residential Homes built in accordance to the R-1 and R-2 standards. The Southern 20 Acre parcel included in Viking Meadows is in the R-1 Zoning district and does not require the PUD for development, however it will remain in the PUD as a part of the full project.

We appreciate the opportunity to partner with East Bethel in presenting the Viking Meadows Community. If there are any questions regarding the project and this application, please reach out directly to the team at Capstone Homes. We look forward to working with you and your team as we build new homes in East Bethel.

Regards,



Matt Barker
Capstone Homes - Community Manager

CAPSTONE HOMES, INC.
14015 SUNFISH LAKE BLVD, SUITE 400 | RAMSEY, MN 55303
O: 763-427-3090 | F: 763-712-9060

SECTION 56. PLANNED UNIT DEVELOPMENT (PUD)¹

1. Purpose.

The primary purpose of the planned unit development (PUD) provisions is to allow flexibility and variation from conventional ordinance standards in exchange for higher standards of development design and creativity, architectural control, natural resource protection, landscaping, public parks, public and private open space protection, pedestrian access, and multi-use corridor opportunities. The PUD provisions are also intended to promote the efficient use of land and promote cost-effective public and private infrastructure systems.

Public benefit: The public benefits to the surrounding neighborhood and the city as a whole that are intended to be derived from the approval of a planned unit development include, but are not limited to:

- A. Preservation and enhancement of desirable site characteristics and open space.
- B. A pattern of development which preserves natural vegetation, topographic and geologic features.
- C. Preservation and enhancement of historic and natural resources that significantly contribute to the character of the city.
- D. Use of design, landscape, or architectural features to create a pleasing environment or other special development features.
- E. Provision of a variety of housing types in accordance with the city's housing goals.
- F. Elimination of blighted structures or incompatible uses through redevelopment or rehabilitation.
- G. Business and commercial development to enhance the local economy and strengthen the tax base.
- H. To assure the development of a complex unit of associated uses is planned as a single entity and to effectuate the policies and standards of the comprehensive plan.

2. Conditional uses.

- A. Electric power and communications transmission lines.

3. Rules and standards.

- A. A PUD may be excluded from certain requirements when specifically approved as part of the PUD. Such exclusions shall only be granted for the purpose of creating better overall design and an improved living environment and not solely for the economic advantage of the applicant.
- B. The granting of a PUD does not alter in any manner the underlying zoning district uses. Building permits shall not be issued which are not in conformity with the approved PUD.
- C. A PUD may be applied to any business or residential zoning districts.

¹Editor's note(s)—Ord. No. 2021-06, adopted October 11, 2021, changed the title of Section 56 to read as set out herein. Formerly, Section 56 was entitled "Planned Unit Development (PUD) District."

D. A PUD is required in the MXU.

(Ord. No. 2021-06, 10-11-2021)

4. Development standards.

The development standards for a PUD shall be guided by the underlying zoning district and established with PUD approval with the exception of the following standards:

- A. *Minimum area for a PUD.* The minimum total area required for a PUD shall be three acres of contiguous upland (excluding wetlands). Tracts of land less than three acres may qualify only if the applicant can show that the minimum lot area requirement should be waived because a PUD is in the public interest and that one or both of the following conditions exist:
 - 1) Unusual physical features of the property itself or of the surrounding neighborhood are such that development under the standard provisions of the normal district would not be appropriate in order to conserve a physical or terrain feature of importance to the neighborhood or community.
 - 2) The property is adjacent to or across the street from property that has been developed under the provisions of this section and will contribute to the amenities of the neighborhood.
- B. *Commercial and industrial sites.* All commercial and/or industrial sites shall at a minimum have two principal buildings or two principal uses on site to qualify as a PUD. All commercial and/or industrial sites that have two or more principal buildings must be processed as a PUD.
- C. *Open space.* A primary function for a PUD is to encourage development that preserves and enhances the natural characteristics and valuable natural resources of a site and not force intense developments that use all portions of a given site to arrive at the maximum intensity or density allowed. In evaluating each individual proposal, the recognition of this objective will be a basic consideration in granting approval or denial. All open space shall be labeled as such and as to its intent or designed functions.
- D. *Relationship to adjacent areas.* The design of a PUD shall take into account the relationship of the site to the surrounding areas. The perimeter of the PUD shall be so designed to minimize any undesirable impact of the development on adjacent properties and, conversely, to minimize any undesirable impact of adjacent land use and development characteristics on the PUD.

5. Procedure and administration.

- A. *Pre-application meeting.* Prior to submission of any plan for consideration of the planning commission and city council, the applicant shall meet with city staff to discuss the contemplated project relative to community development objectives for the area in question to learn what procedural steps and exhibits shall be required. In the event the proposed development of the land is not in conflict with such community development objectives, the applicant may proceed to concept plan review.
- B. *Concept plan review.* Before submitting an application for preliminary plan review, the applicant shall submit a concept plan of the proposed PUD to be reviewed by the planning commission and city council. The concept plan review allows the applicant to receive general, non-binding feedback from the planning commission and city council before the applicant prepares and submits a more detailed application for preliminary plan review.
- C. *Preliminary plan review.* The applicant for a PUD shall apply for preliminary plan review. The planning commission shall make a recommendation to the city council to approve or deny the preliminary plan and the council shall take final action on the application. City council approval of the preliminary plan indicates that the applicant can proceed to final plan review. The application for preliminary plan review shall be

accompanied by supporting information as listed below or as deemed necessary by the city to fully explain the property, the applicant, and the proposed development. The application may include further information as the applicant deems appropriate for preliminary plan review of the proposed PUD. The city may require additional information depending on the complexity of the proposal. The supporting information and an application form shall be submitted in a format as directed by the city and, at a minimum, shall contain the following:

- 1) A written statement describing the proposed PUD and the market which it is intended to serve. The statement shall also demonstrate the proposed PUD relationship to the city's comprehensive plan and how the proposed PUD is to be designed, arranged, and operated to permit the development and use of neighboring property in accordance with the applicable provisions of the city. The statement shall also include the public decisions necessary for implementing the proposed plan including the present and possible new zoning classifications required for development.
- 2) A legal description of the entire area within the PUD for which final plan review approval is sought.
- 3) A preliminary plat prepared in accordance with the city's subdivision regulations.
- 4) A preliminary plan drawing to scale of not less than one inch equals 50 feet (or scale as requested by the city) containing at a minimum the following information:
 - a) Proposed name of the development;
 - b) Property boundary lines and dimensions of the property and any significant topographical or physical features of the site;
 - c) The location, size, use, and arrangement, including height in stories and feet, and total square feet of ground area coverage and floor area of proposed buildings including model homes and existing buildings that will remain, if any. Also, all required setback lines shall be depicted;
 - d) Location, dimensions of all driveways, entrances, curb cuts, parking stalls, loading spaces, and access aisles, and all other circulation elements including bike and pedestrian, and the total site coverage of all circulation elements;
 - e) Location, designation, and total area of all common private open space and facilities;
 - f) Location, designation, and total area proposed to be conveyed or dedicated for public open space including parks, playgrounds, school sites, and recreational facilities;
 - g) The location, use, and size of structures and other land uses on adjacent properties; and
 - h) Where applicable, tabulation indicating the number of residential dwelling units and expected population, and tabulation indicating the gross square footage, if any, of commercial and industrial floor space by type of activity.
- 5) A preliminary landscape plan showing groundcover materials and the areas to be landscaped with the location, size, and species of all trees, shrubbery, and groundcover.
- 6) A preliminary grading, drainage, and site alteration plan for the development illustrating changes to existing topography and natural site vegetation and all appropriate protection measures taken during construction.
- 7) A preliminary lighting plan illustrating the location, types of devices, and photometric data.
- 8) A preliminary signage plan illustrating the sizes, location, and overall program.
- 9) A traffic flow plan and analysis.
- 10) Solid waste disposal procedures and provisions.

-
- 11) The applicant shall have a property interest in the site which shall consist of a fee simple title, or an option to acquire a fee simple title within a specified time period, or a leasehold interest in excess of 30 years, or a substantial interest in a joint venture agreement, real estate investment trust, or other real estate syndication that can obtain a fee simple title or marketable title subject to certain restraint which will not substantially restrict its development within a reasonable time. All mortgages including purchase money mortgages, easements restricting land use, and liens and judgments that may affect the site shall be documented. The applicant shall supply proof of existing ownership consisting of an abstract of title, certified currently, a current certificate of title, or an attorney's title opinion based thereon, together with any unrecorded documents whereby the applicant acquired a legal or equitable property interest.
 - 12) Any other information that may have been required by the city staff, planning commission, or city council in conjunction with the approval of preliminary plan review.

A. [D1.] *Final plan review.*

The applicant shall have secured final plan review approval by the city council within one year following the date of approval of the preliminary plan review. If application for final plan review approval is not received within one year, the preliminary plan review will be considered abandoned and a new application for preliminary plan review must be submitted. The city council shall make final determination on approval of the final plan review.

The application for final plan review shall be accompanied by development plans of the proposed PUD and supporting information as listed below or as deemed necessary by the city. All material shall be submitted together in a format as directed by the city.

- 1) A final site plan, grading plan, utility plan, landscaping plan, lighting plan, building elevations, sign plan, and all applicable data as aforementioned in this section as deemed necessary depending upon the complexity of the proposal. One transparent Mylar copy of the final development plans, should they be approved, shall be filed with the city within 60 days of such approval.
- 2) A final plat in accordance with the requirements of the city's subdivision ordinance.
- 3) A legal submission component including any deed restrictions, covenants, agreements, bylaws, or proposed homeowner's association or other documents or contracts controlling the use or maintenance of property. Where such information is lacking, the city council may require a bond or similar guarantee to insure that areas held common by persons residing in the development will be developed and maintained.
- 4) A final construction staging plan indicating the geographical sequence and timing of development for the plan or portions thereof, including the date of beginning and completion of each stage.
- 5) Any other information necessary to fully represent the intentions of the final plan.

A. [D2.] *Fees.* The required application fee shall accompany applications for sketch plan, preliminary plan, and final plan review. The applicant shall pay fees as set forth by the city council.

E. *Public hearing and notices.* All applications for review of a PUD proposal, except sketch plan review, require a public hearing and shall be noticed and processed according to the standards and procedures for zoning ordinance text and map amendments as established in Section 4. Applications and Procedures.

F. *Development agreements.* A development agreement shall be executed reflecting all terms and conditions of the approved PUD plans and financial requirements.

6. Criteria for granting a PUD.

The planning commission may recommend, and the city council may act to approve or deny, a preliminary or final plan for a PUD in any district. The planning commission, in making a recommendation, and the city council, in acting upon a plan, shall consider the following factors; however, nothing herein shall be meant to guarantee approval of such PUD:

- A. The consistency of the proposed PUD with the city's comprehensive plan;
- B. The proposed uses compliance with the standards and criteria of the zoning ordinance and subdivision regulations;
- C. The extent to which the proposed PUD is designed to form a desirable and unified environment within its own boundaries in terms of relationship of structures, patterns of circulation, visual character, and sufficiency of drainage and utilities;
- D. The extent to which the proposed uses will be compatible with present and planned uses in the surrounding area;
- E. The impact of the proposed uses on the health, safety, and general welfare of the occupants of the surrounding area;
- F. The burden or impact created by the PUD on parks, schools, streets, and other public facilities and utilities;
- G. The sufficiency of each phase of the PUD to ensure its construction and operation is feasible without dependence upon any subsequent phase;
- G. [H.] The impact of the PUD on environmental quality, property values, scenic views, and preservation of significant natural resources and amenities of the surrounding area; and
- H. [I.] That any exceptions to city ordinances, policies, or regulations are justified by the design or development of the proposed use.

7. Final plan revisions.

- A. Minor changes in the location, placement, and heights of buildings or structures may be authorized by the city if required by engineering or other circumstances not foreseen at the time the final plan review was approved.
- B. Approval by the city council shall be required for changes such as rearrangement of lots, blocks, and building tracks or any other significant changes as determined by the city. These changes shall be consistent with the purpose and intent of the approved final plan review.

8. Method of amending a PUD.

Any desired change involving density, use, building type, enlargement, or intensification of the use not specifically allowed by a particular PUD, or any request for a variance from the specific terms of a previously passed PUD, shall require that an application be filed for an amendment and all procedures shall then apply as if a new plan was applied for.

9. Method of cancellation of a PUD.

Any existing approved PUD shall be deemed to be canceled if the owner of the land involved in the permit applies for and receives a rezoning with respect to said property prior to the time that there is any physical

implementation of the matters covered by the previously approved PUD. In addition, an existing PUD shall be deemed to be automatically canceled in the event that a final plat, if the same is required in connection with the application, is not filed with Anoka County as required by and in accordance with the terms of the city subdivision regulations within 120 days following final approval of the PUD by the city council. The PUD shall expire and be considered null and void one year after it has been issued if no construction has begun or if use has not been established. In all other situations, an existing PUD shall be canceled and revoked, short of expiring according to its own terms, only upon the event of the city acting in accordance with law and due process, taking some rezoning action that supersedes the PUD. City council has the authority to set a completion date of construction activities with a PUD.

(Ord. No. 19, Second Series, 5-5-2010)



LEGEND

- 50' Liberty Lots (94 lots, ± 32 ac.)
- 70' Classic Lots (109 lots, ± 42 ac.)
- 80' Classic Lots (39 lots, ± 20 ac.)
- Park / Recreation Space (± 10.7 ac.)
- Open Space
- Wetlands
- Ponds
- Property Boundary (± 129 ac.)
- Parcel / PLS Lines
- Developable Areas (± 95 ac.)
- Existing Wetlands
- County Ditch
- Proposed Trails
- Proposed Sidewalks

VIKING MEADOWS

EAST BETHEL, MINNESOTA

VICINITY MAP

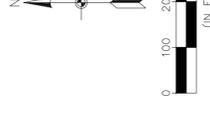


NOT TO SCALE



SHEET INDEX

1. COVER
2. EXISTING CONDITIONS
3. PRELIMINARY PLAT INDEX
- 4-11. PRELIMINARY PLAT
12. REMOVALS PLAN INDEX
- 13-14. REMOVALS PLAN
15. PRELIMINARY SITE & UTILITY PLAN INDEX
- 16-17. PRELIMINARY SITE & UTILITY PLAN
18. PRELIMINARY GRADING & EROSION CONTROL PLAN INDEX
- 19-26. PRELIMINARY GRADING & EROSION CONTROL PLANS
- 27-29. DETAILS
- L1-L7. LANDSCAPE PLAN



BENCHMARK	
1. Minnesota Department of Transportation (MnDOT Name DENN MN07) =	Elevation = 893.19 ft. (NAVD88)
2. Anoka County Benchmark No. 2041	Elevation = 909.39 ft. (NAVD88)

**Know what's below.
Call before you dig.**



The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of C/ASCE 38-02, entitled "Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data."

CARLSON MCCAIN
ENGINEERING SURVEYING ENVIRONMENTAL
3890 PHEASANT RIDGE DR NE
BLAINE, MN 55449
TEL 763.489.7900
FAX 763.489.7959
CARLSONMCCAIN.COM

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: Brian J. Krystofek, P.E.
Signature: *Brian J. Krystofek*
Date: 11/14/23 License #: 25063

Drawn: KSO/LC/ADB
Designed: BJK
Date: 11/14/23

EAST BETHEL 648-1, LLC
14015 Sunfish Lake Blvd. NW, Suite 400
Ramsey, MN 55303

VIKING MEADOWS
East Bethel, MN

COVER

1 of 29

VIKING MEADOWS

PROPERTY DESCRIPTION: (Per Schedule A of Title Commitment File No. 676021 Revision No. 1, with a commitment date of October 31, 2023 at 7:00 A.M., prepared by Land Title, Inc. as issuing agent for Stewart Title Guaranty Company)

The North Half of the Northwest Quarter of Section 33, AND the North Half of the Northeast Quarter of the Northeast Quarter of Section 32, AND the East Half of the Southeast Quarter and the Northwest Quarter of the Southeast Quarter of Section 29, all of the above being in Township 33 North, Range 23 West, Anoka County, Minnesota.

EXCEPTING THEREFROM, however, that part of the North Half of the Southeast Quarter of Section 29, Township 33, Range 23 described as follows: Commencing at a point on the center line of County Road No. 22, which point is 125 feet West of the Northwest corner of the Northeast Quarter of the Southeast Quarter, thence South parallel with the West line of said Northeast Quarter of Southeast Quarter a distance of 466 feet; thence East at right angles a distance of 466 feet; thence North on a line parallel with the West line of said Northeast Quarter of Southeast Quarter a distance of 176 feet, thence East at right angles a distance of 150 feet, thence North on a line parallel with the West line of said Northeast Quarter of Southeast Quarter a distance of 290 feet, more or less, to the center of County Road 22, thence Westerly along said center line of said Road to point of commencement.

GENERAL NOTES:

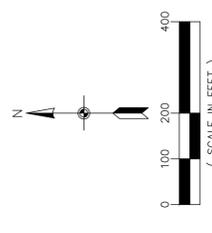
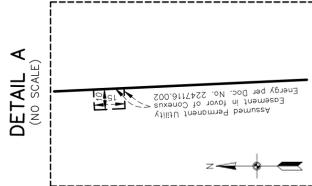
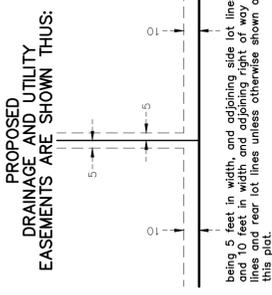
- 1) Bearings shown hereon are based on the East line of Southeast 1/4 of Section 29, Township 33, Range 23, which is assumed to bear S02°39'20"E.
- 2) Surveyed property contains ±6,770,236 sq. ft. (±155.42 acres).

SITE DATA

TOTAL SITE AREA	±155.42 AC.	EXISTING ZONING	MXU/R-1
TOTAL ROW AREA	±29.35 AC.	PROPOSED ZONING	MXU/R-1
TOTAL OUTLOT AREA	±61.16 AC.	UTILITIES	AVAILABLE
OUTLOT A	±37.20 AC.	MINIMUM RESIDENTIAL SETBACK DATA:	
OUTLOT B	±1.54 AC.	FRONT	25 FT.
OUTLOT C	±1.15 AC.	SIDE (GARAGE)	10 FT.
OUTLOT D	±0.94 AC.	SIDE (HOUSE)	10 FT.
OUTLOT E	±0.93 AC.	SIDE CORNER	20 FT.
OUTLOT F	±3.76 AC.	REAR SETBACK	25 FT.
OUTLOT G	±1.25 AC.		
OUTLOT H	±0.70 AC.		
OUTLOT I	±13.69 AC.		
TOTAL LOT AREA	±64.91 AC.		
SMALLEST LOT	±7,051 S.F.		
LARGEST LOT	±29,438 S.F.		
AVERAGE LOT	±11,684 S.F.		
TOTAL NUMBER OF LOTS	242		
GROSS DENSITY	1.56 LOTS/AC.		

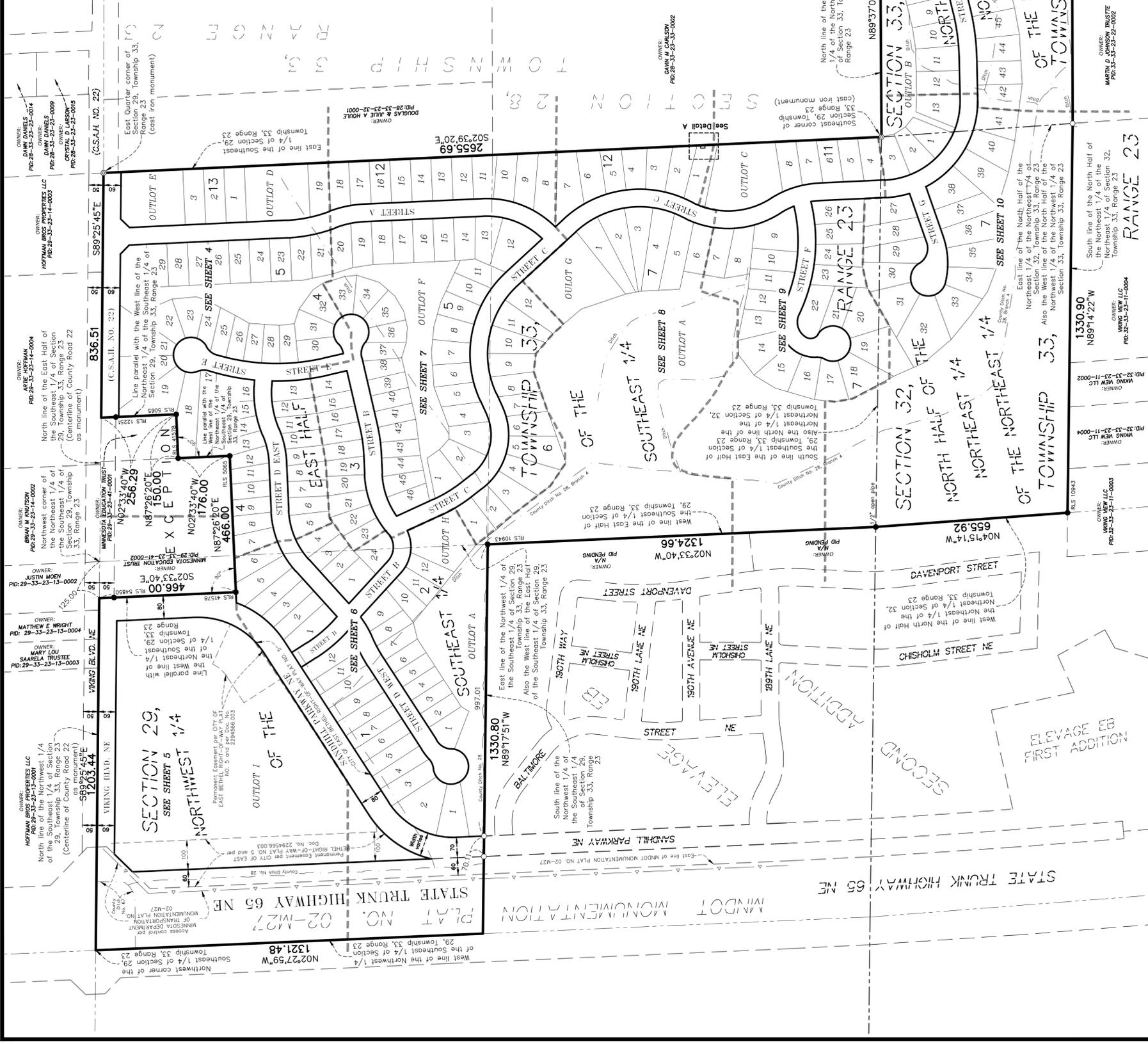
LEGEND

- ⬇ Denotes Found 1.5 inch MNDOT Right of Way Disc
- Denotes Anoka County Section Monument, as noted
- Denotes Found Iron Monument, as noted
- Denotes 5/8 inch by 14 inch rebar marked with RLS 54650
- Denotes Access Control per MINNESOTA DEPARTMENT OF TRANSPORTATION MONUMENTATION PLAN NO. 02-M27
- Denotes Building Setback Line
- Denotes Existing Tree Line
- Denotes Wetlands delineated by Klehsaug in 2022



BENCHMARK

1. Minnesota State Survey Monument No. 789 (MNDOT Name DENN MNDOT) - Elevation = 889.19 ft. (NAVD83)
2. Anoka County Benchmark No. 2041 (Elevation = 909.39 ft. (NAVD83))



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BLAINE, MN 55449
TEL 763.489.7900
FAX 763.489.7959
CARLSONMCCAIN.COM

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Minnesota.
Print Name: Thomas R. Balluff, L.S.
Signature: *Thomas R. Balluff*
Date: 11/14/23 License #: 40361

Revisions:
DRAWN BY: NIS
ISSUE DATE: 11/14/23
FILE NO.: 2519

PRELIMINARY PLAT INDEX
VIKING MEADOWS
East Bethel, MN

EAST BETHEL 648-1, LLC
14015 Sunfish Lake Blvd. NW, Suite 400
Ramsey, MN 55303

3 of 26



STATE TRUNK HIGHWAY NO. 55 N

West line of the Northwest 1/4 of the Southeast 1/4 of Section 29, Township 33, Range 23, N02°27'59"W 1321.48

1330.80 N89°17'51"W

Ditch Ditch No. 28, Branch 4 997.0ft

OWNER: N/A
PID PENDING

South line of the Northwest 1/4 of the Southeast 1/4 of Section 29, Township 33, Range 23

<p>CARLSON MCCAIN ENGINEERING SURVEYING ENVIRONMENTAL 3890 PHEASANT RIDGE DR NE BLAINE, MN 55449 TEL 763.489.7900 FAX 763.489.7959 CARLSONMCCAIN.COM</p>	<p>Revisions: DRAWN BY: NJS ISSUE DATE: 11/14/23 FILE NO: 2519</p>	<p>Print Name: Thomas R. Balluff, L.S. Signature: <i>Thomas R. Balluff</i> Date: 11/14/23 License #: 40361</p>	<p>I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Minnesota</p>	<p>EAST BETHEL 648-1, LLC 14015 Sunfish Lake Blvd. NW, Suite 400 Ramsey, MN 55303</p>	<p>VIKING MEADOWS East Bethel, MN</p>	<p>PRELIMINARY PLAT 6 of 26</p>
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OWNER:
DOUGLAS & JULIE A HOULE
PID: 28-33-23-32-001

28 T O W N S H I P
R A N G E 2 3

PRELIMINARY PLAT

VIKING MEADOWS
East Bethel, MN

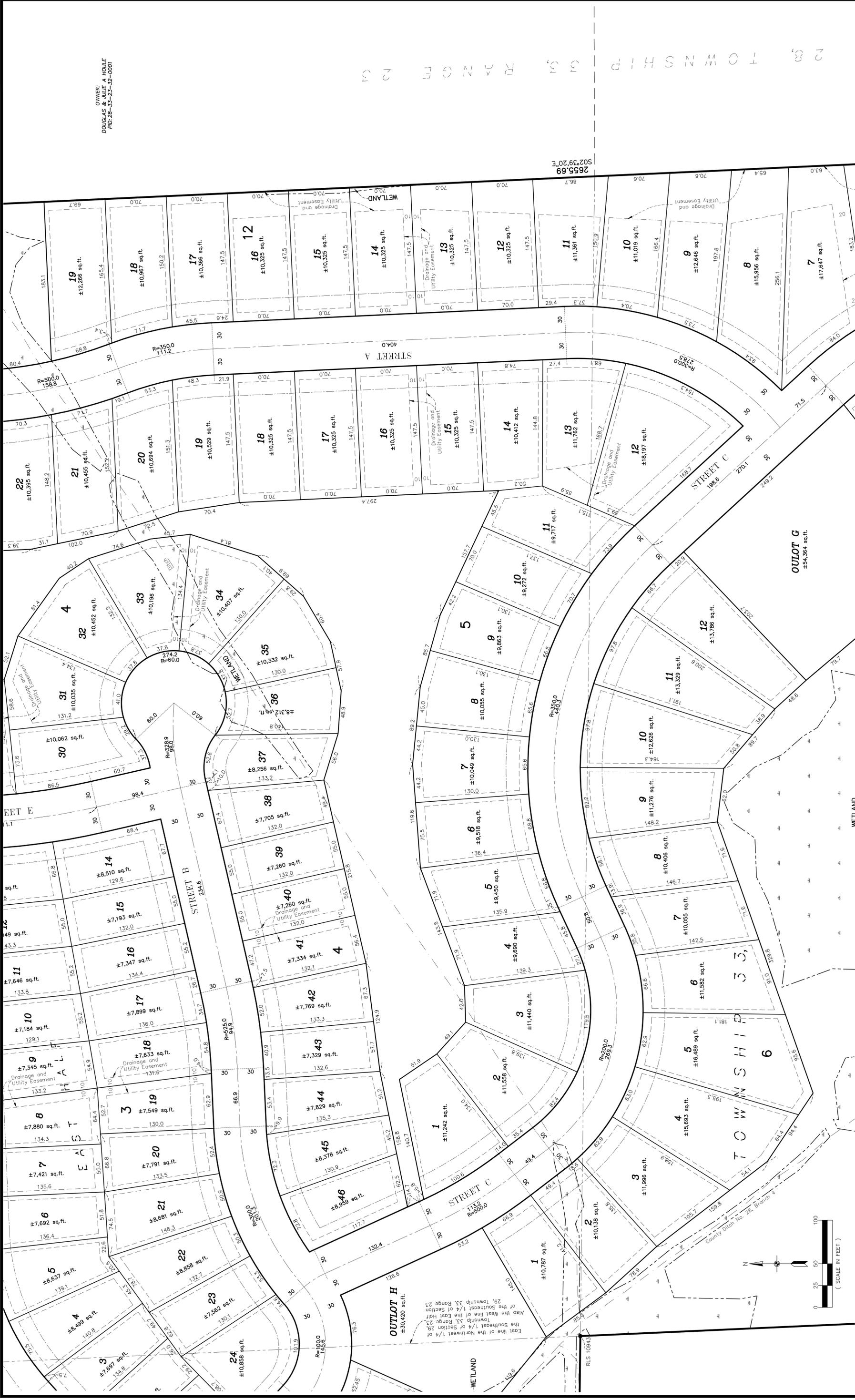
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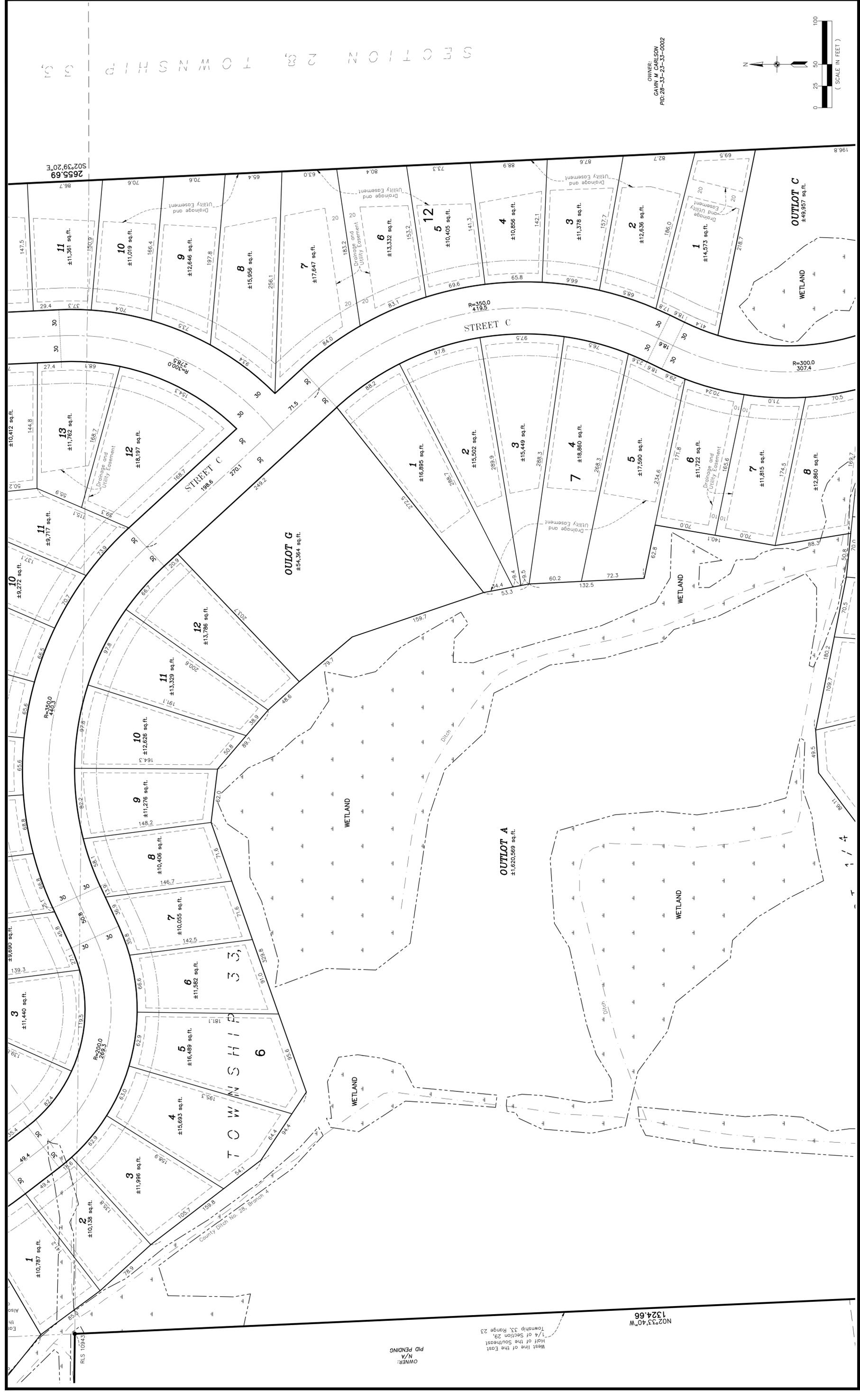
Print Name: Thomas R. Balluff, L.S.
Signature: *Thomas R. Balluff*
Date: 11/14/23 License #: 40361

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed professional surveyor under the laws of the State of Minnesota.

3890 PHEASANT RIDGE DR NE
BLAINE, MN 55449
TEL 763.489.7900
FAX 763.489.7959
CARLSONMCCAIN.COM

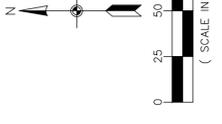
CARLSON
MCCAIN
ENGINEERING
SURVEYING
ENVIRONMENTAL





SECTION 29, TOWNSHIP 23, RANGE 33

OWNER:
GAVIN M CARLSON
PID: 28-33-23-33-0002



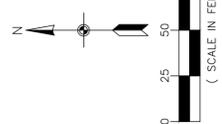
 <p>CARLSON MCCAIN</p> <p>ENGINEERING SURVEYING ENVIRONMENTAL</p> <p>3890 PHEASANT RIDGE DR NE BLAINE, MN 55449 TEL 763.489.7900 FAX 763.489.7959 CARLSONMCCAIN.COM</p>	<p>I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Minnesota.</p> <p>Print Name: Thomas R. Balluff, L.S. Signature: <i>Thomas R. Balluff</i> Date: 11/14/23 License #: 40361</p>	<p>Revisions:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>DRAWN BY:</td> <td>NJS</td> </tr> <tr> <td>ISSUE DATE:</td> <td>11/14/23</td> </tr> <tr> <td>FILE NO.:</td> <td>2519</td> </tr> </table>	DRAWN BY:	NJS	ISSUE DATE:	11/14/23	FILE NO.:	2519	<p>PRELIMINARY PLAT</p> <p>VIKING MEADOWS East Bethel, MN</p> <p>EAST BETHEL 648-1, LLC 14015 Sunfish Lake Blvd. NW, Suite 400 Ramsey, MN 55303</p>
DRAWN BY:	NJS								
ISSUE DATE:	11/14/23								
FILE NO.:	2519								
<p>3502'33.40"W 1324.66'</p> <p>Wet line of the East 1/4 of Section 29, Township 23, Range 33</p> <p>OWNER: N/A PID PENDING</p>		<p>8 of 26</p>							



OWNER:
ANGELA L. WELCH
PID: 28-33-23-34-0002

OWNER:
PATRICIA AFFO TER
PID: 33-33-23-21-0004

OWNER:
VIKING MEADOWS INC
PID: 33-33-23-21-0002



11 of 26

PRELIMINARY PLAT

VIKING MEADOWS
East Bethel, MN

EAST BETHEL 648-1, LLC
14015 Sunfish Lake Blvd. NW, Suite 400
Ramsey, MN 55303

Revisions:

NO.	DATE	DESCRIPTION
1	11/14/23	ISSUE DATE
2	2519	FILE NO.

Print Name: Thomas R. Balluff, L.S.
Signature: *Thomas R. Balluff*
Date: 11/14/23 License #: 40361

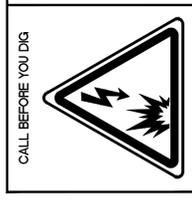
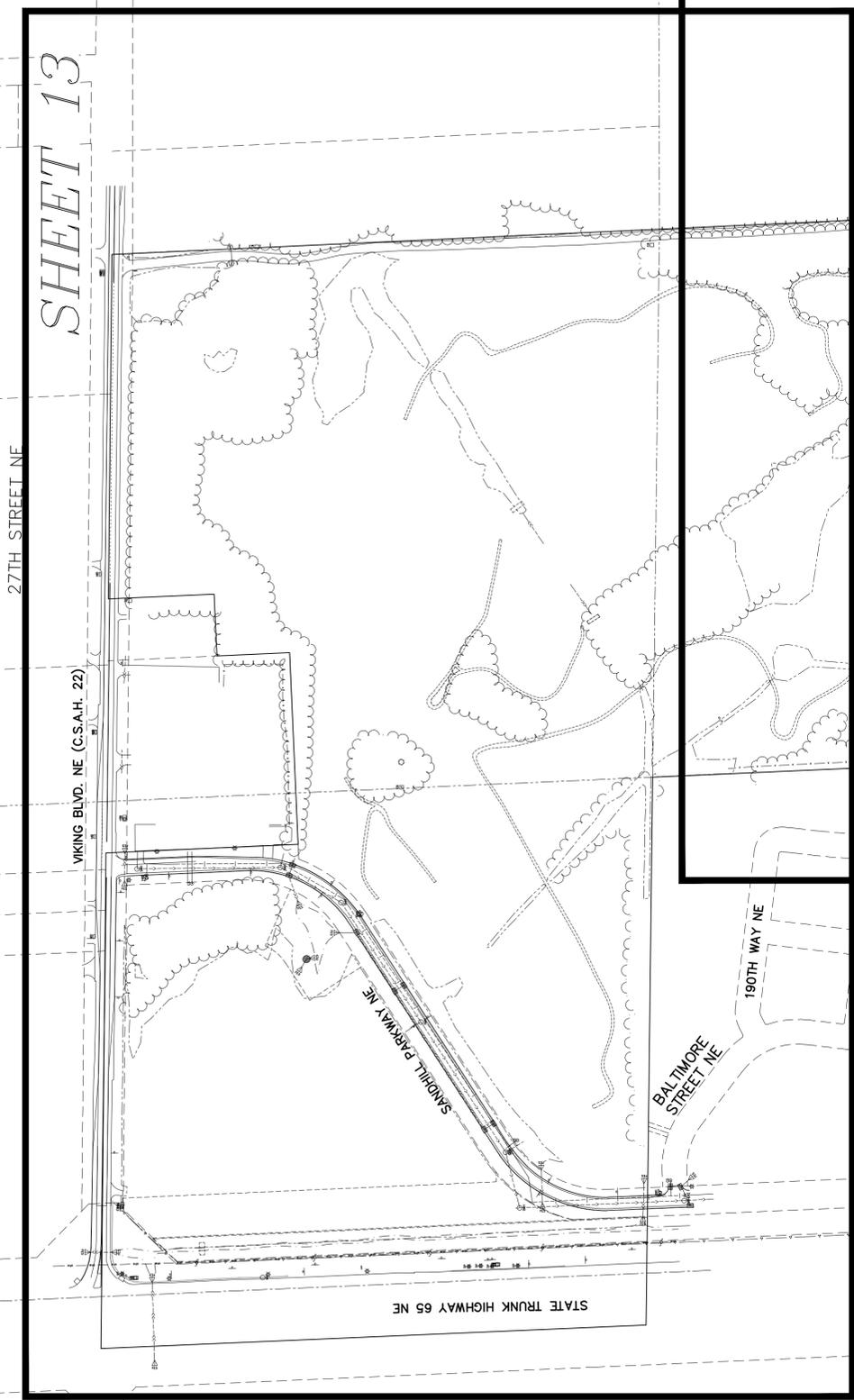
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Minnesota.

OWNER:
MARTIN D. JOHNSON TRUSTEE
PID: 33-33-23-22-0002

3890 PHEASANT RIDGE DR NE
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3



The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of C/ASCE 38-02, entitled "Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data."

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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota
Print Name: Brian J. Krystofek, P.E.
Signature: *Brian J. Krystofek*
Date: 11/14/23 License #: 25063

Drawn: KSO/LC/ADB
Designed: BJK
Date: 11/14/23

Revisions:
1.

EAST BETHEL 648-1, LLC
14015 Sunfish Lake Blvd. NW, Suite 400
Ramsey, MN 55303

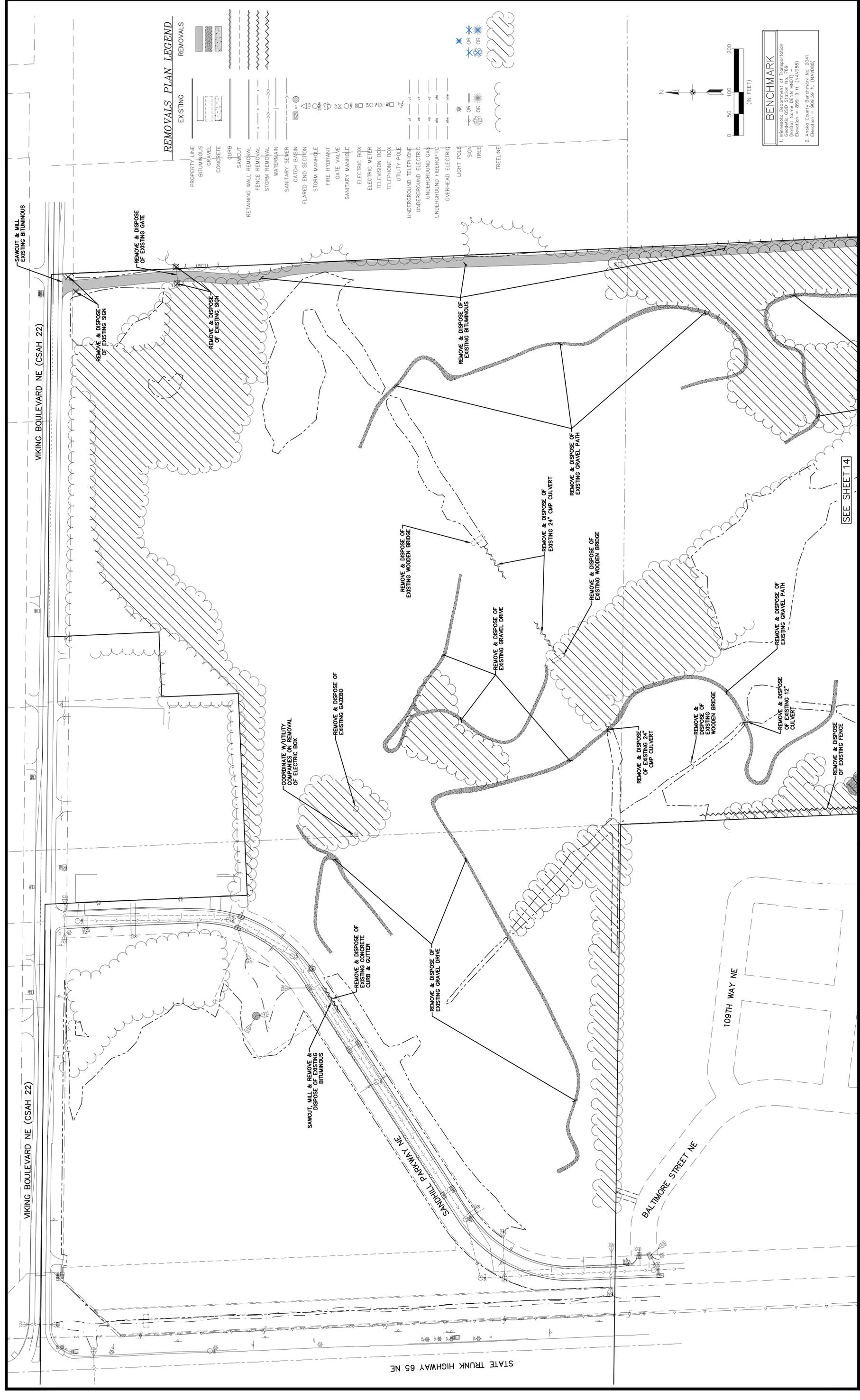
VIKING MEADOWS
East Bethel, MN

REMOVALS PLAN INDEX

12 of 29
#10242-03

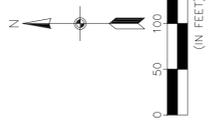
BENCHMARK	
1. Minnesota State Plane 7699 (NAD83) Station 65 (MNDOT Name BENN MNDT) - Elevation = 899.19 ft. (NAVD83)	2. Anoka County Benchmark No. 2041 Elevation = 909.39 ft. (NAVD83)





REMOVALS PLAN LEGEND

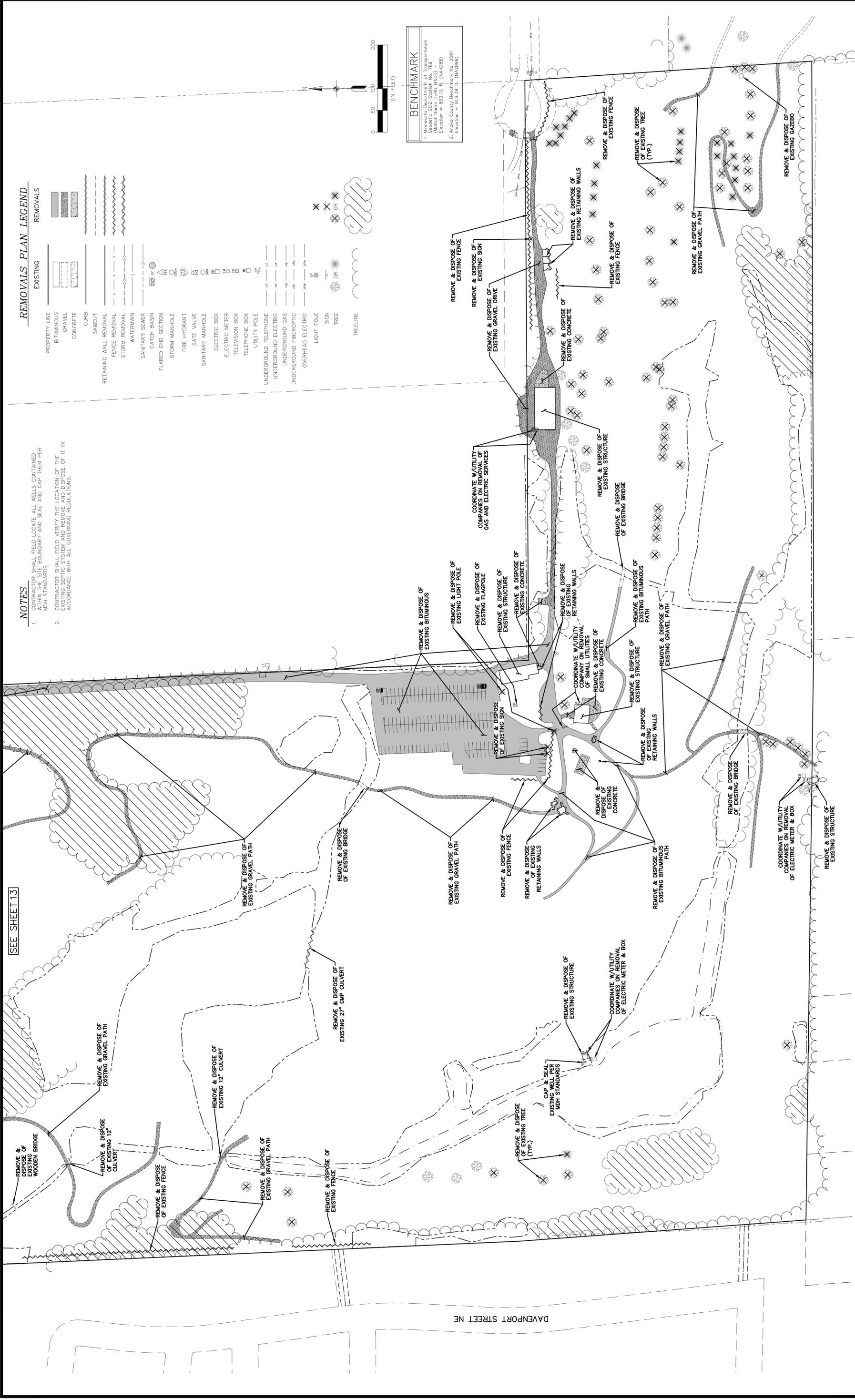
EXISTING	REMOVALS
PROPERTY LINE	BITUMINOUS
GRAVEL	GRAVEL
CONCRETE	CONCRETE
CURB	SAWCUT
RETAINING WALL REMOVAL	FENCE REMOVAL
STORM REMOVAL	WATERMAIN
SANITARY SEWER	CATCH BASIN
FLARED END SECTION	STORM MANHOLE
FIRE HYDRANT	GATE VALVE
SANITARY MANHOLE	ELECTRIC BOX
ELECTRIC METER	TELEVISION BOX
TELEPHONE BOX	UTILITY POLE
UNDERGROUND TELEPHONE	UNDERGROUND ELECTRIC
UNDERGROUND GAS	UNDERGROUND FIBEROPTIC
OVERHEAD ELECTRIC	LIGHT POLE
SIGN	TREE
TREELINE	



BENCHMARK

- WINDY HILLS SURVEYING CORPORATION
Geodetic (SSD) Station No. 769
(MADot Name DENN MADT) -
Elevation = 8951.9 ft. (NA1988)
- Anoka County Benchmark No. 2041
Elevation = 9053.39 ft. (NA1988)

<p>CARLSON MCCAIN</p> <p>ENGINEERING SURVEYING ENVIRONMENTAL</p> <p>3890 PHEASANT RIDGE DR NE BLAINE, MN 55449 TEL 763.489.7900 FAX 763.489.7959 CARLSONMCCAIN.COM</p>	<p>I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota</p> <p>Print Name: Brian J. Krystofek, P.E. Signature: <i>Brian J. Krystofek</i> Date: 11/14/23 License #: 25063</p>	<p>Drawn: KSO/LC/ADB Designed: BJK Date: 11/14/23</p> <p>Revisions: 1.</p>	<p>VIKING MEADOWS East Bethel, MN</p> <p>EAST BETHEL 648-1, LLC 14015 Sunfish Lake Blvd. NW, Suite 400 Ramsey, MN 55303</p>
<p>REMOVALS PLAN</p>		<p>13 of 29</p>	<p>#10242-03</p>



REMOVALS PLAN LEGEND

EXISTING	REMOVALS
PROPERTY LINE	BITUMINOUS
GRAVEL	CONCRETE
CURB	SAWCUT
RETAINING WALL REMOVAL	FENCE REMOVAL
STORM REMOVAL	WATERMAIN
SANITARY SEWER	CATCH BASIN
FLARED END SECTION	STORM MANHOLE
FIRE HYDRANT	GATE VALVE
SANITARY MANHOLE	ELECTRIC BOX
ELECTRIC METER	TELEVISION BOX
TELEPHONE BOX	UTILITY POLE
UNDERGROUND TELEPHONE	UNDERGROUND ELECTRIC
UNDERGROUND GAS	UNDERGROUND FIBEROPTIC
OVERHEAD ELECTRIC	LIGHT POLE
SIGN	TREE
TREELINE	

- NOTES**
1. CONTRACTOR SHALL FIELD LOCATE ALL WELLS CONTAINED WITHIN THE SITE BOUNDARY AND SEAL AND CAP THEM PER MDP STANDARDS.
 2. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF THE EXISTING UTILITIES AND REMOVE OR REPAIR AS REQUIRED IN ACCORDANCE WITH ALL GOVERNING REGULATIONS.

BENCHMARK

1. Minnesota Department of Transportation
 Control Point (MNDOT) 769
 (Merit) (LSD) (DIN) (MNDOT)
 Elevation = 899.19 ft. (NAVD88)

2. Anoka County Benchmark No. 2041
 Elevation = 909.39 ft. (NAVD88)

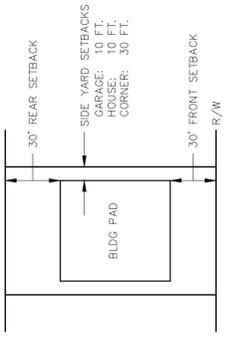
SEE SHEET 13

<p>CARLSON MCCAIN ENGINEERING SURVEYING ENVIRONMENTAL</p> <p>3390 PHEASANT RIDGE DR NE BLAINE, MN 55449 TEL 763.489.7900 FAX 763.489.7959 CARLSONMCCAIN.COM</p>	<p>I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.</p> <p>Print Name: Brian J. Krystofak, P.E. Signature: <i>Brian J. Krystofak</i> Date: 11/14/23 License #: 25063</p>	<p>Drawn: KSO/LC/ADB Designed: BJK Date: 11/14/23</p>	<p>Revisions: 1.</p>	<p>EAST BETHEL 648-1, LLC 14015 Sunfish Lake Blvd. NW, Suite 400 Ramsey, MN 55303</p>	<p>VIKING MEADOWS East Bethel, MN</p>	<p>14 of 29</p>
				<p>REMOVALS PLAN</p>		

SHEET 16

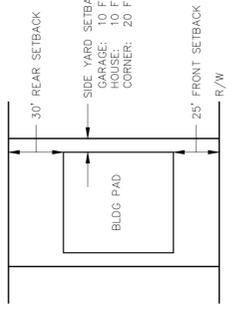
SHEET 17

SINGLE FAMILY 80' LOTS



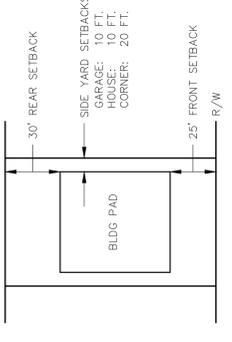
TYPICAL SERVICES SHALL BE:
 WATER: COPPER TYPE K
 SEWER: 4" PVC SDR 26
 CURB STOP TO BE PLACED 10' BEYOND R/W

SINGLE FAMILY 70' LOTS

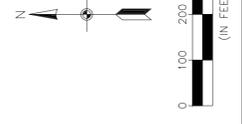
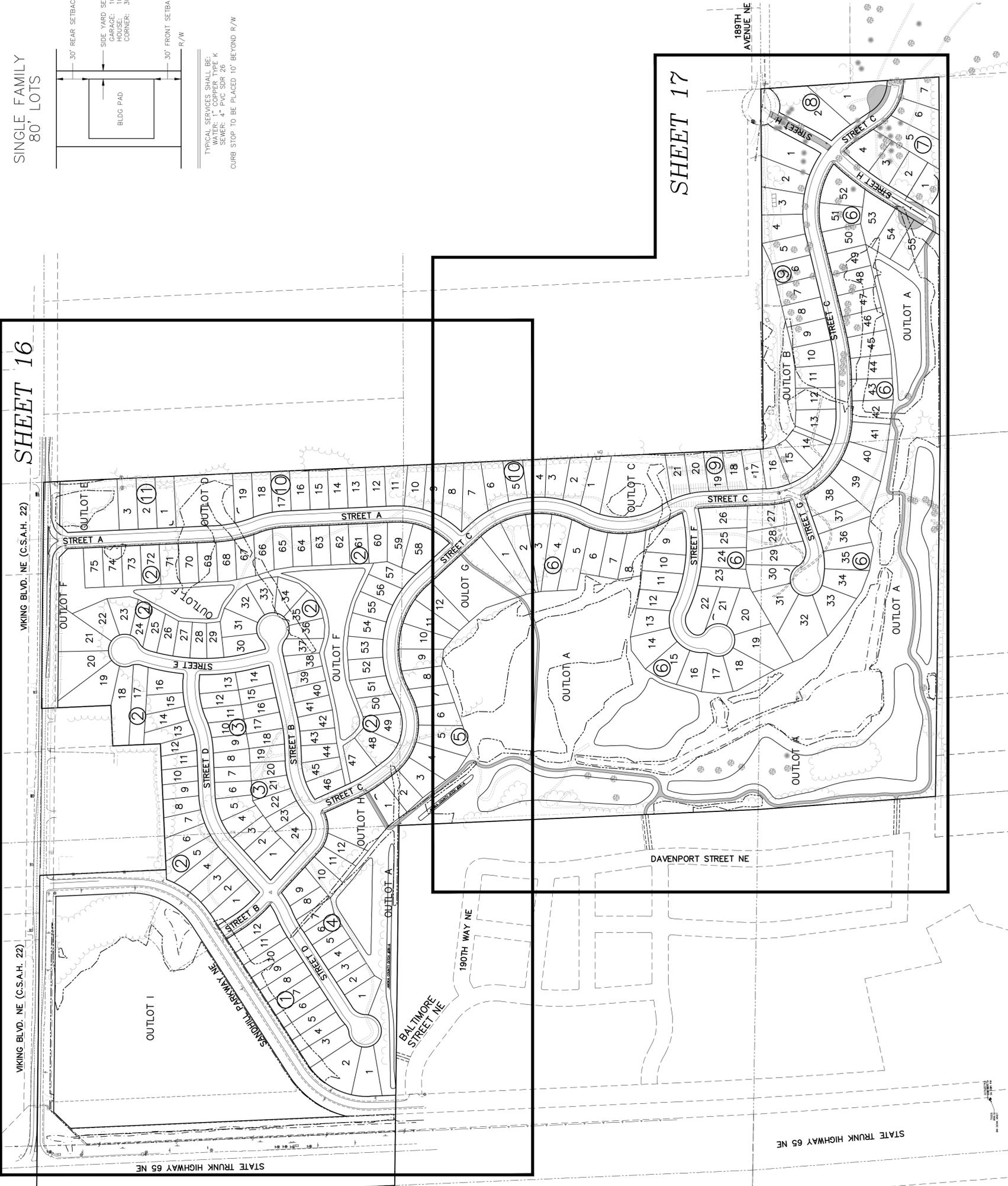


TYPICAL SERVICES SHALL BE:
 WATER: COPPER TYPE K
 SEWER: 4" PVC SDR 26
 CURB STOP TO BE PLACED 10' BEYOND R/W

SINGLE FAMILY 55' LOTS



TYPICAL SERVICES SHALL BE:
 WATER: COPPER TYPE K
 SEWER: 4" PVC SDR 26
 CURB STOP TO BE PLACED 10' BEYOND R/W



BENCHMARK	
1. Minnesota Department of Transportation Geodetic OSD Station No. 769 Location: 189th Avenue NE Elevation = 859.19 ft. (NAVD83)	
2. Anoka County Benchmark No. 2641 Location: 189th Avenue NE Elevation = 909.39 ft. (NAVD83)	

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Print Name: Brian J. Krystofak, P.E.
 Signature: *Brian J. Krystofak*
 Date: 11/14/23 License #: 25063

Drawn: KSO/LC/ADB
 Designed: BJK
 Date: 11/14/23

EAST BETHEL 648-1, LLC
 14015 Sunfish Lake Blvd. NW, Suite 400
 Ramsey, MN 55303

VIKING MEADOWS
 East Bethel, MN

PRELIMINARY SITE & UTILITY PLAN INDEX

SITE PLAN LEGEND

EXISTING	PROPOSED
LIGHT POLE	●
SANITARY MANHOLE	○
MISCELLANEOUS SIGN	○
EXISTING TREE	☼
TELEVISION BOX	○
FIRE HYDRANT	○
GATE VALVE	○
CLEANOUT	○
ELECTRIC BOX	○
GAS METER	○
CATCH BASIN	○
ELECTRIC METER	○
TELEPHONE BOX	○
UTILITY POLE	○
FLARED END SECTION	○
STORM MANHOLE	○
SERVICE	○
RETAINING WALL	—
WATERMAIN	—
SANITARY SEWER	—
STORM SEWER	—
PROPERTY LINE	—
SETBACK LINE	—
CURB	—
WETLAND	—
UNDERGROUND TELEPHONE	—
UNDERGROUND ELECTRIC	—
UNDERGROUND GAS	—
UNDERGROUND FIBEROPTIC	—
FENCE	—
OVERHEAD ELECTRIC	—
CONCRETE SURFACE	—
BITUMINOUS SURFACE	—



BENCHMARK

1. Wetland Boundary (M) - 11/14/23
Geodetic CSO Station No. 760
(MidDot Name DENN MNDT) -
Elevation = 899.19 ft. (NAVD88)
2. Anoka County Benchmark No. 2041
Elevation = 909.39 ft. (NAVD88)



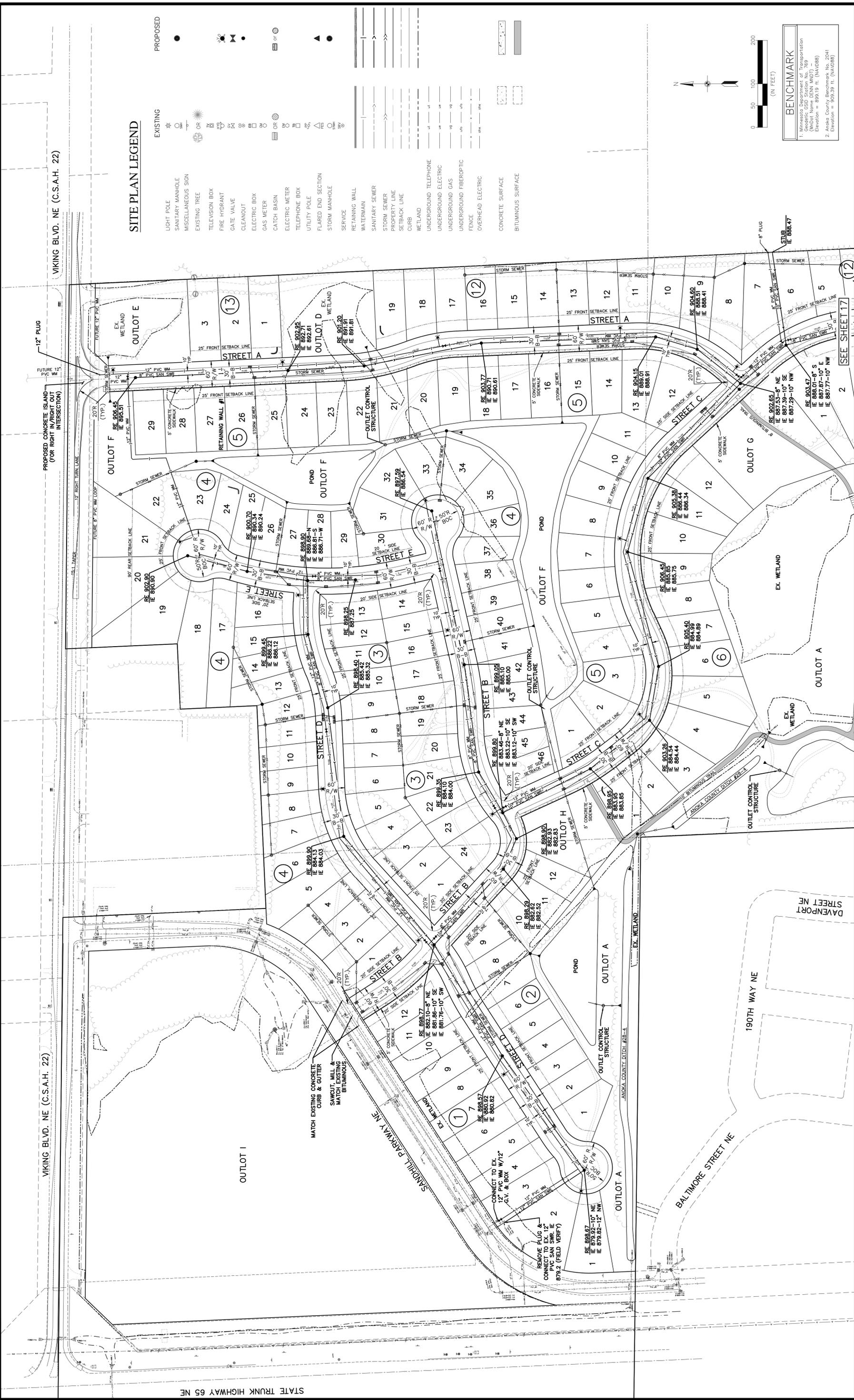
<p>CARLSON MCCAIN ENGINEERING SURVEYING ENVIRONMENTAL</p> <p>3890 PHEASANT RIDGE DR NE BLAINE, MN 55449 TEL 763.489.7900 FAX 763.489.7959 CARLSONMCCAIN.COM</p>	<p>I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota</p> <p>Signature: <i>Brian J. Krystofek</i> Date: 11/14/23 License #: 25063</p>	<p>Drawn: KSO/LC/ADB Designed: BJK Date: 11/14/23</p>	<p>Revisions: 1.</p>	<p>EAST BETHEL 648-1, LLC 14015 Sunfish Lake Blvd. NW, Suite 400 Ramsey, MN 55303</p>	<p>VIKING MEADOWS East Bethel, MN</p>	<p>PRELIMINARY SITE & UTILITY PLAN</p>
				<p>17 of 29</p>	<p># 10242-03</p>	

SITE PLAN LEGEND

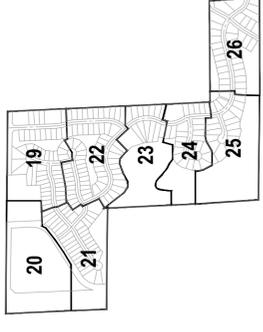
EXISTING	PROPOSED
Light Pole	Light Pole
Sanitary Manhole	Sanitary Manhole
Miscellaneous Sign	Miscellaneous Sign
Existing Tree	Existing Tree
Television Box	Television Box
Fire Hydrant	Fire Hydrant
Gate Valve	Gate Valve
Cleanout	Cleanout
Electric Box	Electric Box
Gas Meter	Gas Meter
Catch Basin	Catch Basin
Electric Meter	Electric Meter
Telephone Box	Telephone Box
Utility Pole	Utility Pole
Flared End Section	Flared End Section
Storm Manhole	Storm Manhole
Service	Service
Retaining Wall	Retaining Wall
Watermain	Watermain
Sanitary Sewer	Sanitary Sewer
Storm Sewer	Storm Sewer
Property Line	Property Line
Setback Line	Setback Line
Curb	Curb
Wetland	Wetland
Underground Telephone	Underground Telephone
Underground Electric	Underground Electric
Underground Gas	Underground Gas
Underground Fiberoptic	Underground Fiberoptic
Fence	Fence
Overhead Electric	Overhead Electric
Concrete Surface	Concrete Surface
Bituminous Surface	Bituminous Surface



BENCHMARK	
1. Minnesota State Plane, NAD 83 Corner: 100' Station No. 789 (Hubet Name: DENN MNDT) - Elevation = 899.19 ft. (NAVD83)	2. Anoka County Benchmark No. 2041 Elevation = 909.39 ft. (NAVD83)



<p>CARLSON MCCAIN ENGINEERING SURVEYING ENVIRONMENTAL 3890 PHEASANT RIDGE DR NE BLAINE, MN 55449 TEL 763.489.7900 FAX 763.489.7959 CARLSONMCCAIN.COM</p>	<p>I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota</p> <p>Print Name: Brian J. Krystofak, P.E. Signature: <i>Brian J. Krystofak</i> Date: 11/14/23 License #: 25063</p>	<p>Revisions: 1.</p>	<p>Drawn: KSO/LC/ADB Designed: BJK Date: 11/14/23</p>	<p>16 of 29</p>
				<p>EAST BETHEL 648-1, LLC 14015 Sunfish Lake Blvd. NW, Suite 400 Ramsey, MN 55303</p>



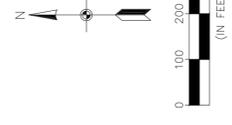
KEY

LEGEND	
EXISTING	PROPOSED
PROPERTY LINE	---
EASEMENT LINE	---
CURB LINE	---
BITUMINOUS	---
CONCRETE	---
SANITARY SEWER	---
STORM SEWER	---
DRANTILE	---
WATER MAIN	---
OVERHEAD UTILITY	---
STORM CATCH BASIN	---
STORM MANHOLE	---
OUTLET CONTROL STRUCTURE	---
MANHOLE	---
HYDRANT	---
GATE VALVE	---
TELEVISION BOX	---
TELEPHONE BOX	---
UTILITY POLE	---
RETAINING WALL	---
FENCE	---
10' CONTOUR	---
2' CONTOUR	---
WETLAND LINE	---
SPOT ELEVATION	---
EMERGENCY OVERFLOW	---
SILT FENCE	---
TREE FENCE	---
GRADING LIMITS	---
TREELINE	---
MAINTENANCE ACCESS	---
WETLAND SIGN	---
WELL	---
LIGHT POLE	---
FLAG POLE	---
ELECTRIC BOX	---
TELEPHONE BOX	---
TELEVISION BOX	---
SIGN	---
GEO TECH SOIL BORING	---

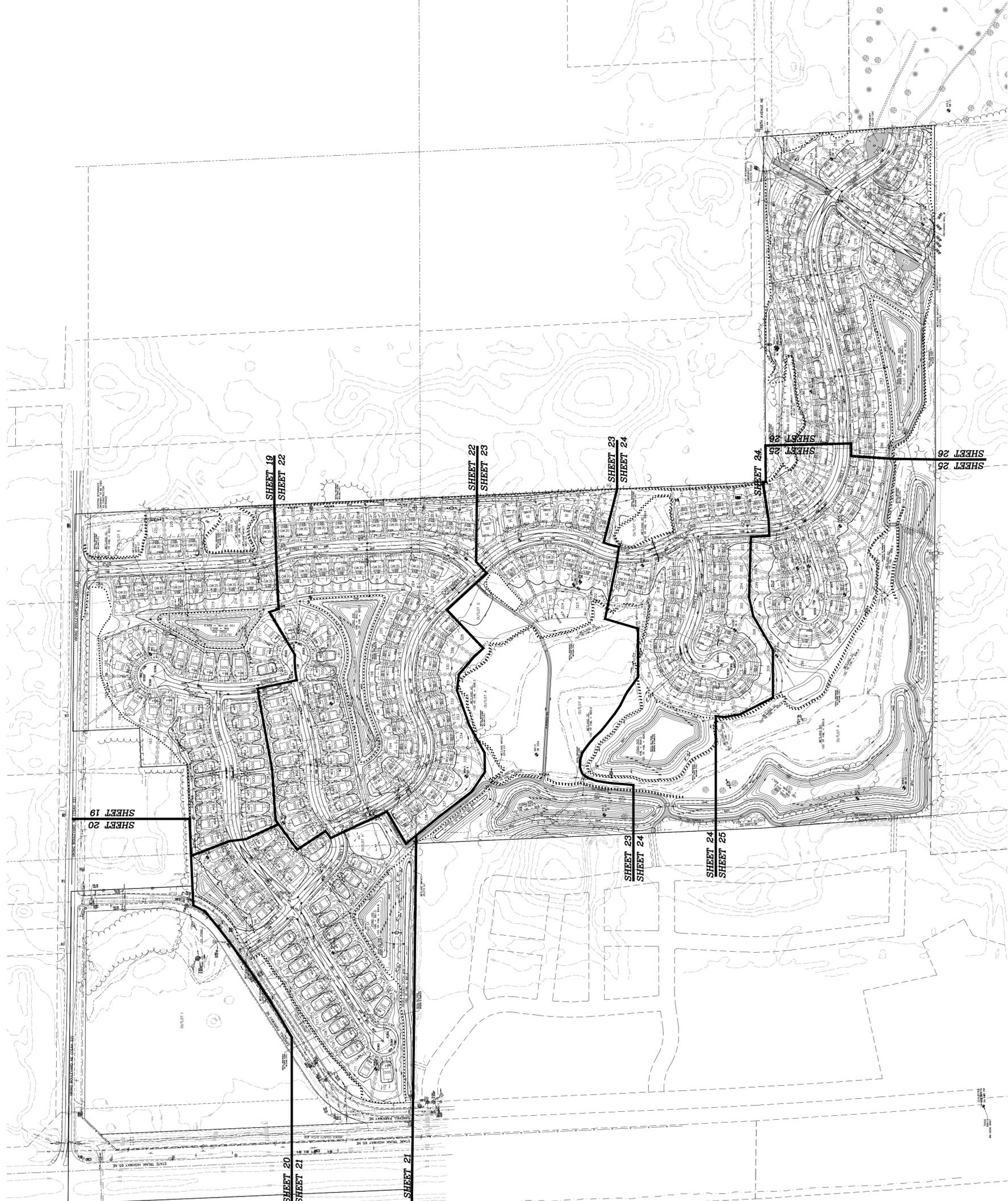
WETLAND SUMMARY

WETLAND IMPACT = 145,659 S.F.

WETLAND REPLACEMENT CREDITS WILL BE PURCHASED IN LIEU OF ONSITE REPLACEMENT



BENCHMARK	
1. Minnesota Department of Transportation Geodetic Control Station No. 789 Elevation = 899.19 ft. (NAVD88)	
2. Anoka County Benchmark No. 2041 Elevation = 909.39 ft. (NAVD88)	



NOTES

- ALL DISTURBED AREAS TO BE SCARPED AFTER GRADING IS COMPLETE.
- SOIL STOCKPILES SHALL BE FITTED BY SEDIMENT-TRAPPING MEASURES AND STABILIZED WITHIN 7 DAYS OF INACTIVITY.
- THE TRANSPORTATION OF SEDIMENT (MUD) BY RUNOFF OR VEHICLE TRACKING ONTO PAVED SURFACES SHALL BE MINIMIZED TO THE MAXIMUM EXTENT POSSIBLE.
- STREET SWEEPING SHALL TAKE PLACE BY THE END OF DAY (IF REQUIRED).
- EROSION CONTROL AND SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.



The subsurface utility information shown on this plan is utility information that was obtained from records according to the Minnesota Rules, Chapter 62A.02, and is not intended for the Collection and Depiction of Existing Subsurface Utility Data.

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Print Name: Brian J. Krystofak, P.E.
Signature: *Brian J. Krystofak*
Date: 11/14/23 License #: 25063

Drawn: KSO/LC/ADB
Designed: BJK
Date: 11/14/23

Revisions:

EAST BETHEL 648-1, LLC
14015 Sunfish Lake Blvd. NW, Suite 400
Ramsey, MN 55303

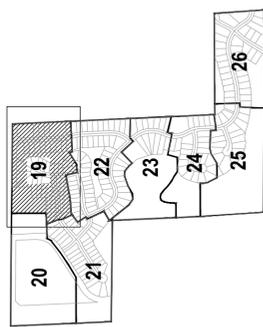
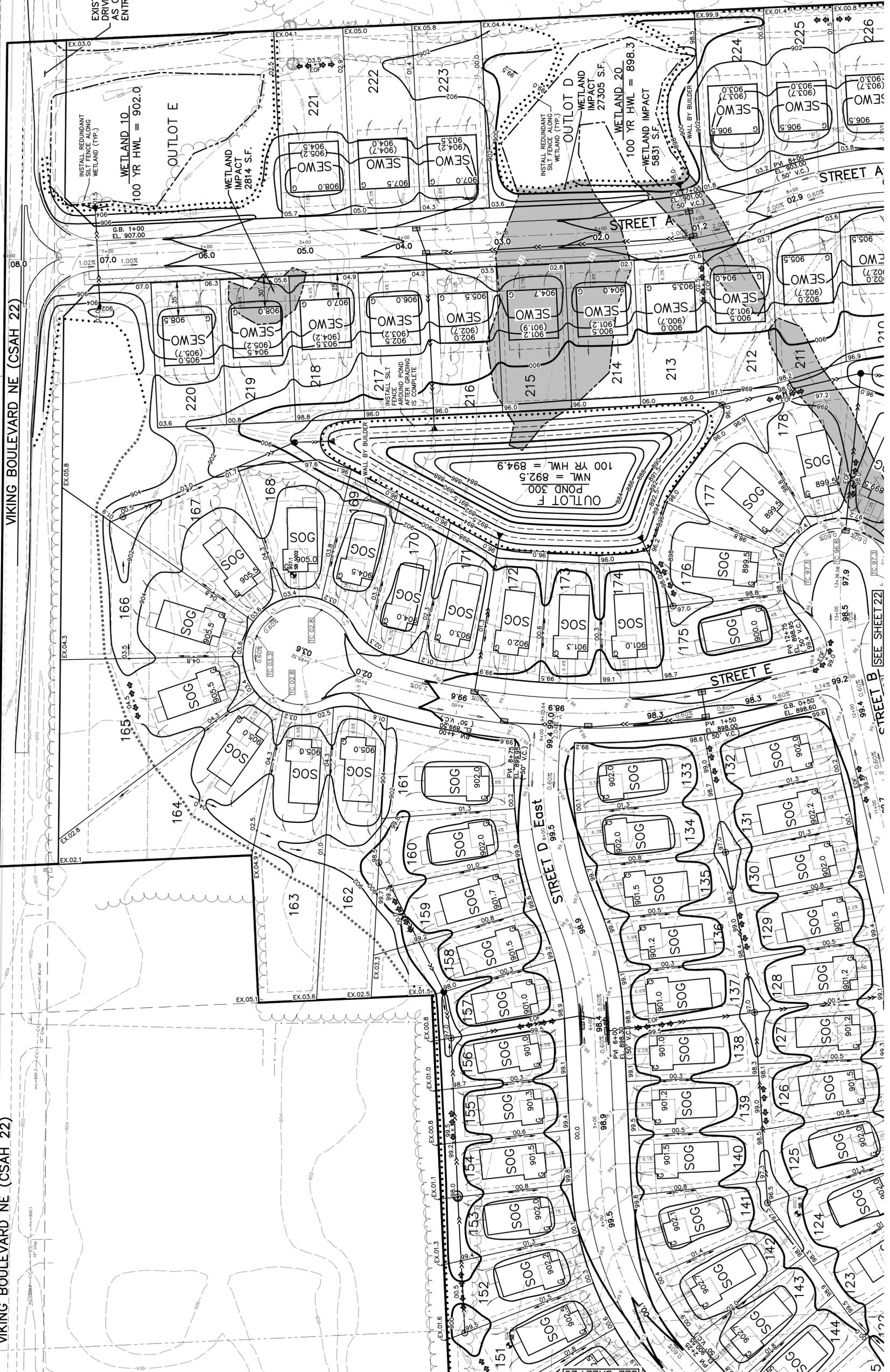
VIKING MEADOWS
East Bethel, MN

INDEX

VIKING BOULEVARD NE (CSAH 22)

VIKING BOULEVARD NE (CSAH 22)

EXISTING BITUMINOUS DRIVEWAY TO BE USED AS CONSTRUCTION ENTRANCE



BENCHMARK

1. Minnesota Department of Transportation
Geodetic GSD Station No. 789
(Under Name DENN MNDOT)
Elevation = 899.19 ft. (NNVD88)

2. Anoka County Benchmark No. 2041
Elevation = 898.28 ft. (NNVD88)

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CARLSONMCCAIN.COM

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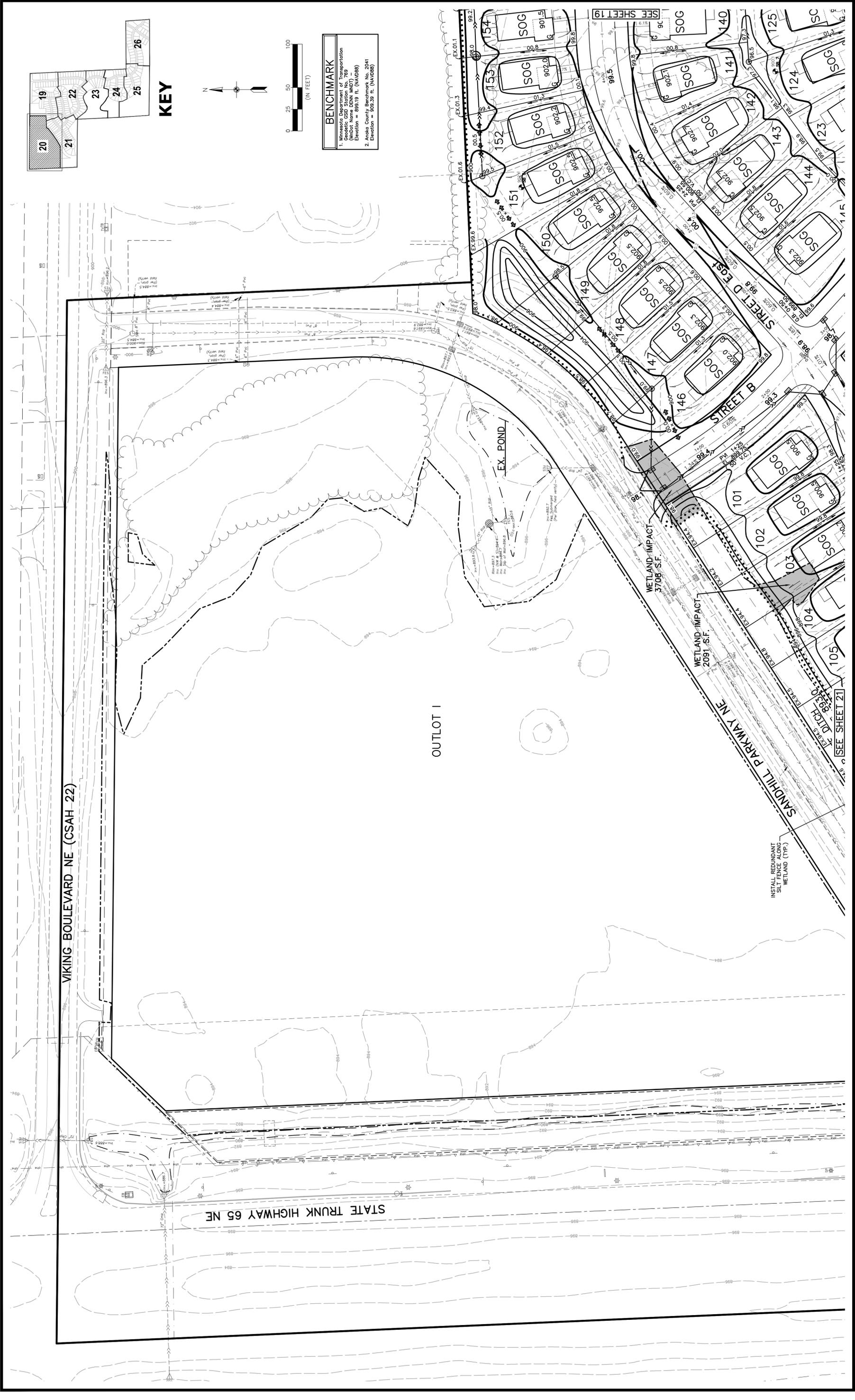
Print Name: Brian J. Krystofak, P.E.
Signature: *Brian J. Krystofak*
Date: 11/14/23 License #: 25063

Drawn: HRO/LC/ADB
Designed: BJK
Date: 11/14/23

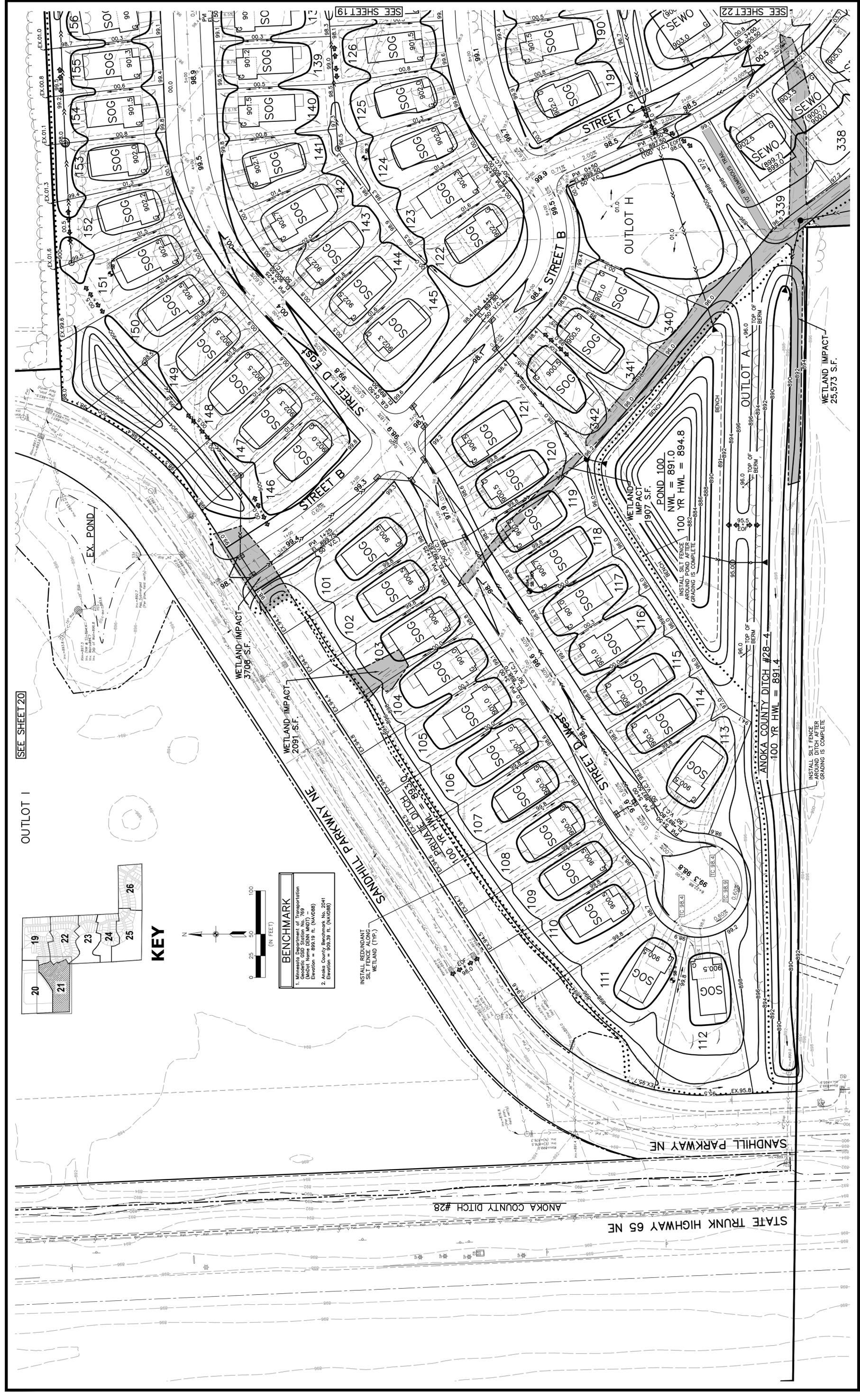
EAST BETHEL 648-1, LLC
14015 Sunfish Lake Blvd. NW, Suite 400
Ramsey, MN 55303

VIKING MEADOWS
East Bethel, MN

PRELIMINARY GRADING & EROSION CONTROL PLAN

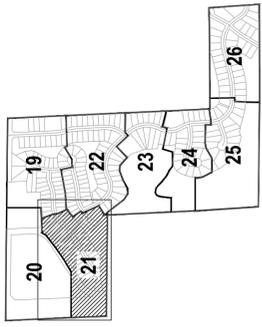


<p>CARLSON MCCAIN ENGINEERING SURVEYING ENVIRONMENTAL 10265A10242-03 - Viking Meadows.cad.ctb:preliminary10242-03.dwg Date: 11/14/23</p>	<p>3500 PHEASANT RIDGE DR NE BLAINE, MN 55449 TEL 763.489.7900 FAX 763.489.7959 CARLSONMCCAIN.COM</p>	<p>I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota</p> <p>Print Name: Brian J. Krystofiak, P.E. Signature: <i>Brian J. Krystofiak</i> Date: 11/14/23 License #: 250653</p>	<p>Drawn: KRO/LC/ADB Designed: BJK Date: 11/14/23</p>	<p>Revisions: 1.</p>	<p>EAST BETHEL 648-1, LLC 14015 Sunfish Lake Blvd. NW, Suite 400 Ramsey, MN 55303</p> <p>VIKING MEADOWS East Bethel, MN</p> <p>PRELIMINARY GRADING & EROSION CONTROL PLAN</p> <p>20 of 29</p> <p>#10242-03</p>
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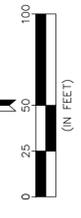


SEE SHEET 20

OUTLOT I



KEY

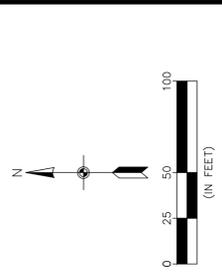
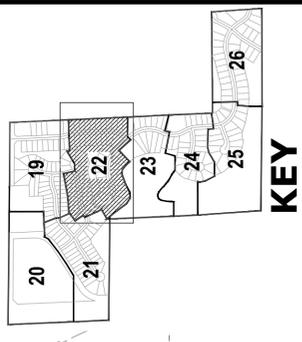
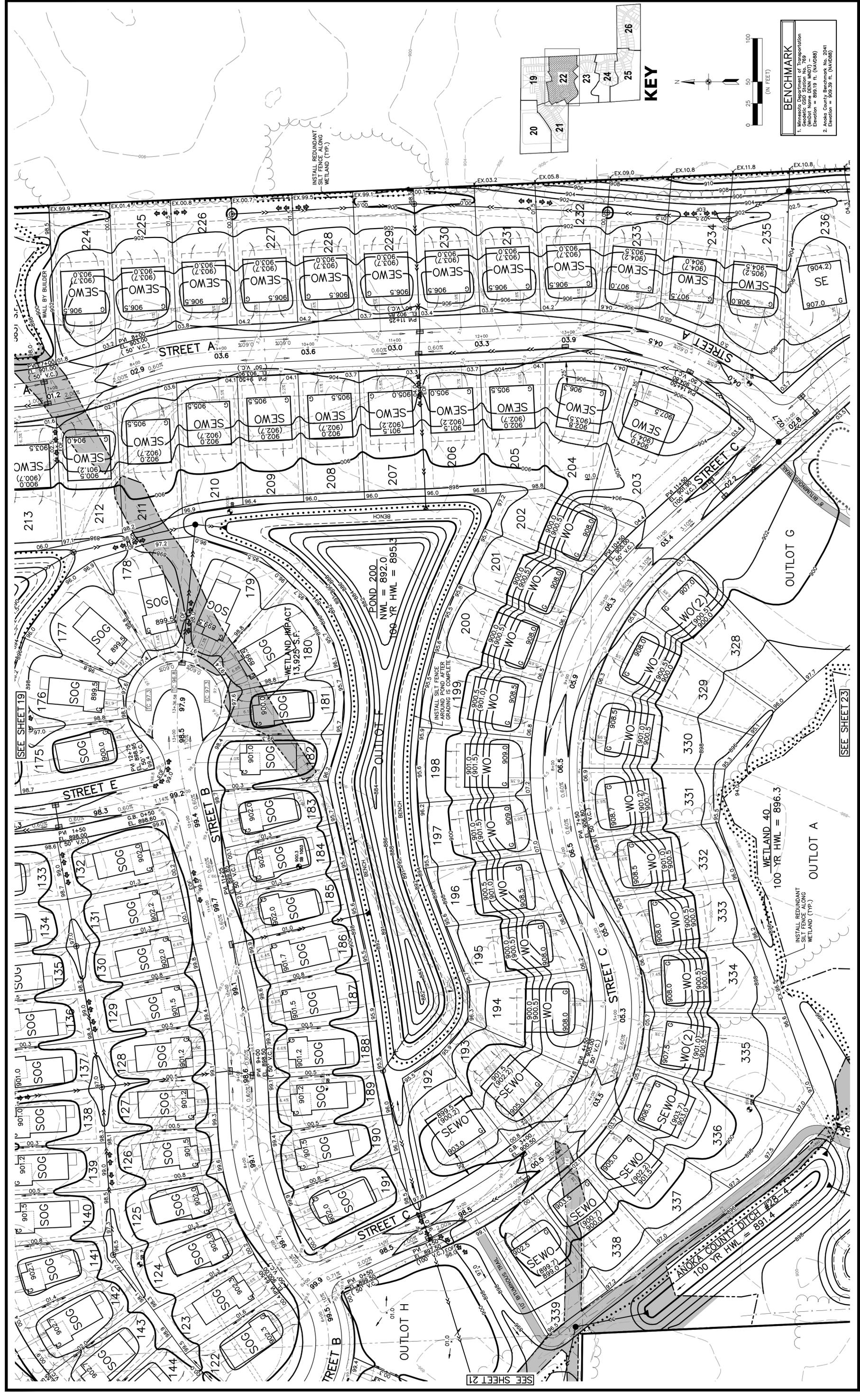


BENCHMARK	
1. Minnesota Department of Transportation (MnDOT) (MnDOT Name: 62N W07) 25	Elevation = 885.19 ft. (NAD83)
2. Anoka County Benchmark No. 2041	Elevation = 805.39 ft. (NAD83)

INSTALL REDUNDANT SILT FENCE ALONG WETLAND (TYP.)

INSTALL SILT FENCE AROUND DITCH AFTER GRADING IS COMPLETE

<p>ENGINEERING SURVEYING ENVIRONMENTAL 3500 PHEASANT RIDGE DR NE BLAINE, MN 55449 TEL 763.485.7900 FAX 763.485.7959 CARLSONMCCAIN.COM</p>	<p>1. I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.</p> <p>Print Name: Brian J. Krystofiak, P.E. Signature: <i>Brian J. Krystofiak</i> Date: 11/14/23 License #: 25063</p>	<p>Revisions: 1.</p> <p>Drawn: HRO/LC/ADB Designed: BJK Date: 11/14/23</p>	<p>EAST BETHEL 648-1, LLC 14015 Sunfish Lake Blvd. NW, Suite 400 Ramsey, MN 55303</p>	<p>VIKING MEADOWS East Bethel, MN</p>	<p>PRELIMINARY GRADING & EROSION CONTROL PLAN</p>
	<p>3500 PHEASANT RIDGE DR NE BLAINE, MN 55449 TEL 763.485.7900 FAX 763.485.7959 CARLSONMCCAIN.COM</p>	<p>21 of 29</p>	<p>#10242-03</p>		



BENCHMARK

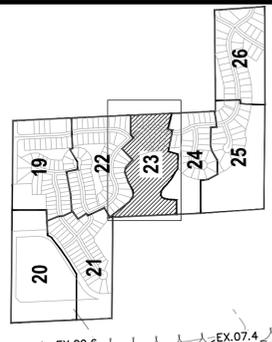
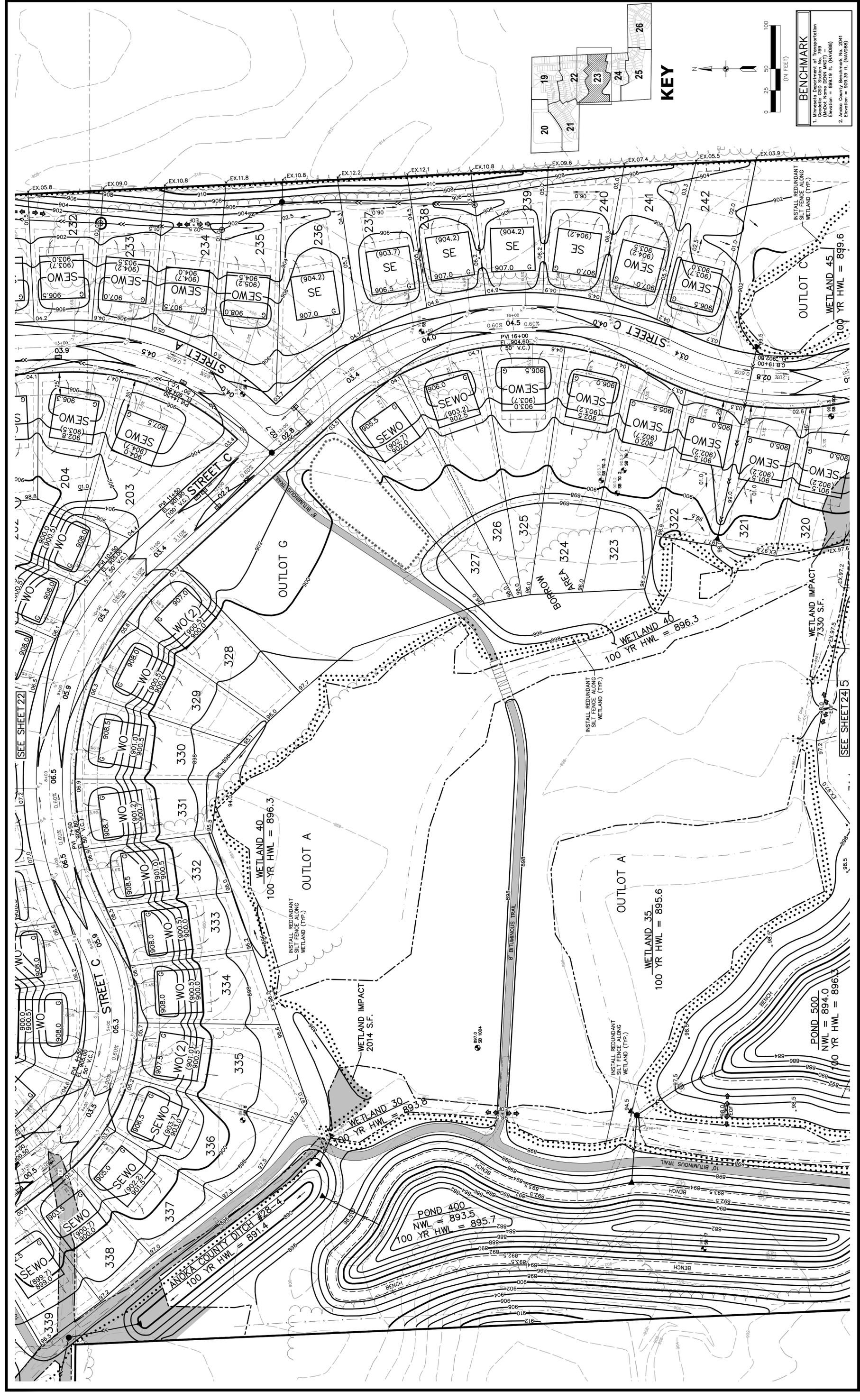
- Minnesota Department of Transportation (Model Name: BMN1 WAD7) Elevation = 899.19 ft. (NAVD88)
- Anoka County Benchmark No. 2041 Elevation = 908.39 ft. (NAVD88)

Revisions:

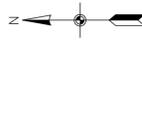
Drawn: HRO/LC/ADB	Print Name: Brian J. Krystofiak, P.E.
Designed: BJK	Signature: <i>Brian J. Krystofiak</i>
Date: 11/14/23	Date: 11/14/23 License #: 250653

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CARLSONMCCAIN.COM

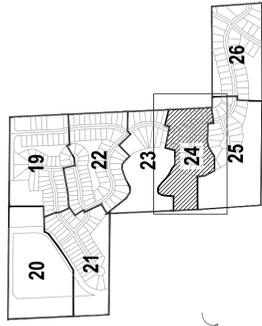
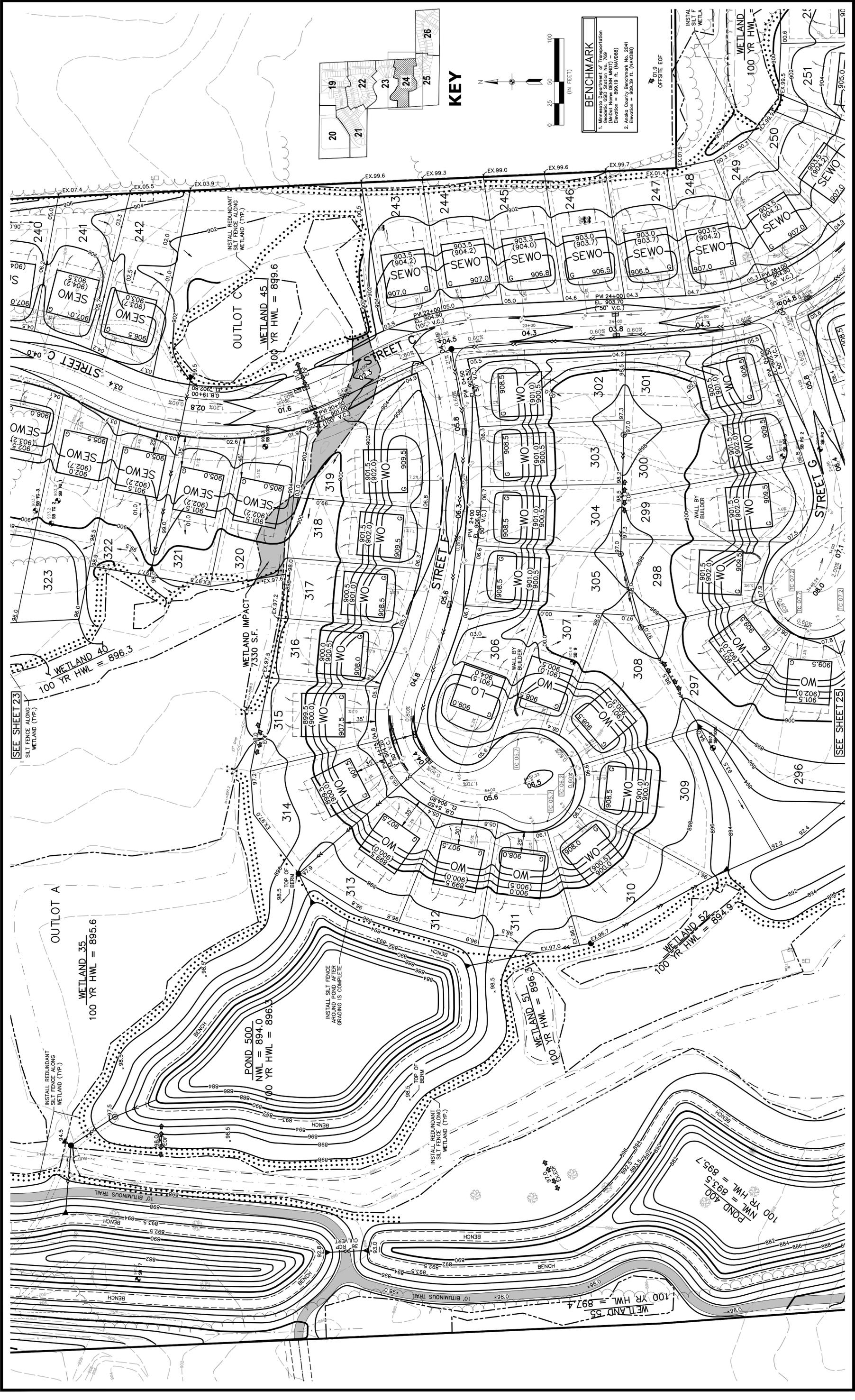


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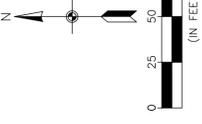


BENCHMARK	
1.	Minnesota Department of Transportation Project: 030 Station: 05+759 Elevation = 899.19 ft. (NAVD83)
2.	Acacia County Benchmark No. 2041 Elevation = 899.39 ft. (NAVD83)

<p>PRELIMINARY GRADING & EROSION CONTROL PLAN</p>	<p>23 of 29</p>
<p>VIKING MEADOWS East Bethel, MN</p>	
<p>EAST BETHEL 648-1, LLC 14015 Sunfish Lake Blvd. NW, Suite 400 Ramsey, MN 55303</p>	
<p>I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.</p>	<p>Drawn: BRO/LC/ADB Designed: BJK Date: 11/14/23</p>
<p>3590 PHEASANT RIDGE DR NE ENGINEERING SURVEYING ENVIRONMENTAL CARLSON McCain BLAINE, MN 55449 TEL: 763.489.7900 FAX: 763.489.7999 CARLSONMCCAIN.COM</p>	<p>Print Name: Brian J. Krystofak, P.E. Signature: <i>Brian J. Krystofak</i> Date: 11/14/23 License #: 25063</p>

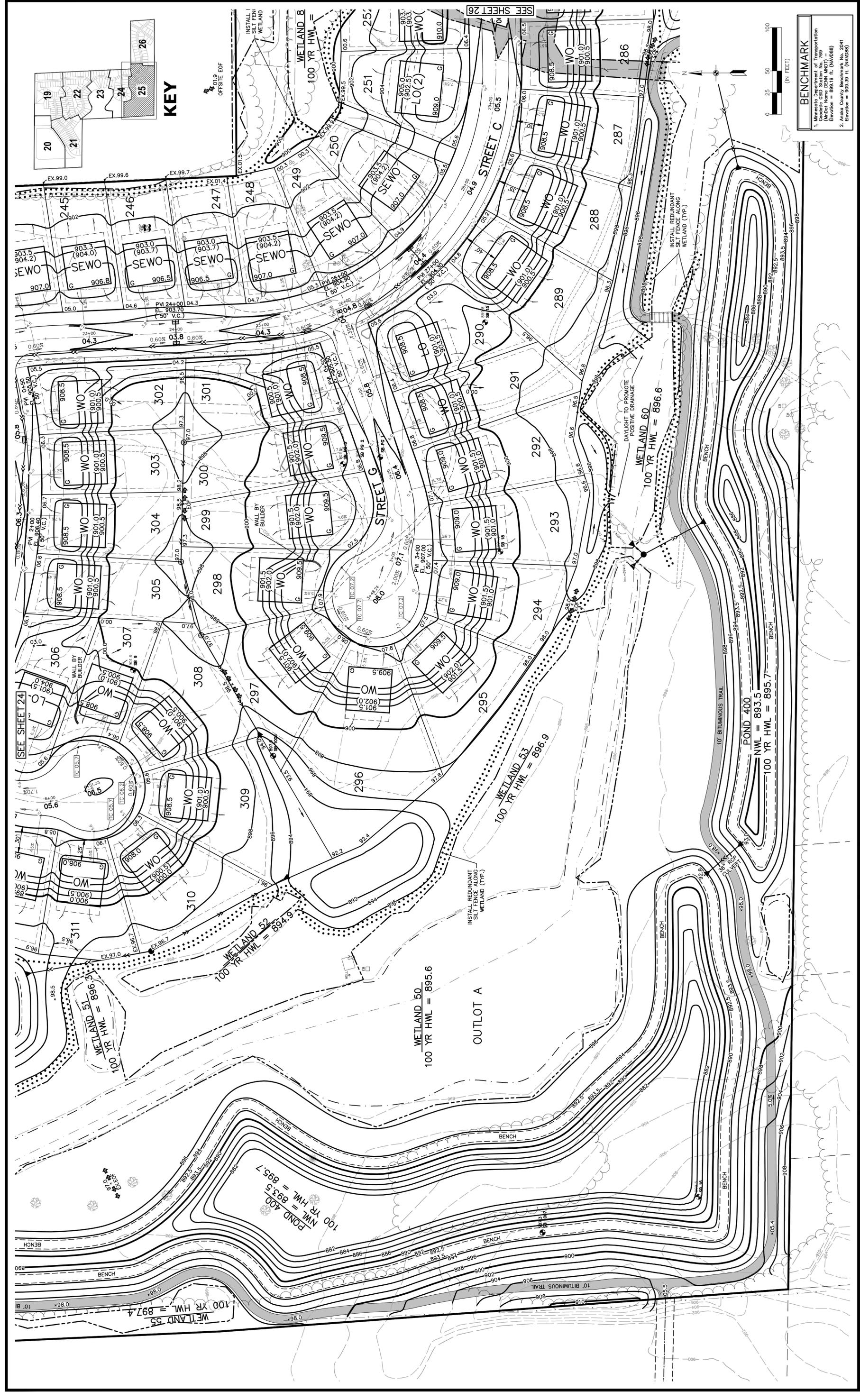


KEY



BENCHMARK
 1. Minnesota Department of Transportation
 Geodetic Control Station No. 769
 (MnDOT Name DENN MNDOT) -
 Elevation = 892.19 ft. (NNVD88)
 2. Anoka County Benchmark No. 2041
 Elevation = 892.59 ft. (NNVD88)

<p>PRELIMINARY GRADING & EROSION CONTROL PLAN</p> <p>24 of 29</p>
<p>VIKING MEADOWS East Bethel, MN</p>
<p>EAST BETHEL 648-1, LLC 14015 Sunfish Lake Blvd. NW, Suite 400 Ramsey, MN 55303</p>
<p>Drawn: HRO/LC/ABB Designed: BJK Date: 11/14/23</p>
<p>Print Name: Brian J. Krystofak, P.E. Signature: <i>Brian J. Krystofak</i> Date: 11/14/23 License #: 250653</p>
<p>I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota</p> <p>CARLSON McCain ENGINEERING SURVEYING ENVIRONMENTAL</p> <p>3550 PHEASANT RIDGE DR NE BLAINE, MN 55449 TEL: 763.489.7900 FAX: 763.489.7959 CARLSONMCCAIN.COM</p>

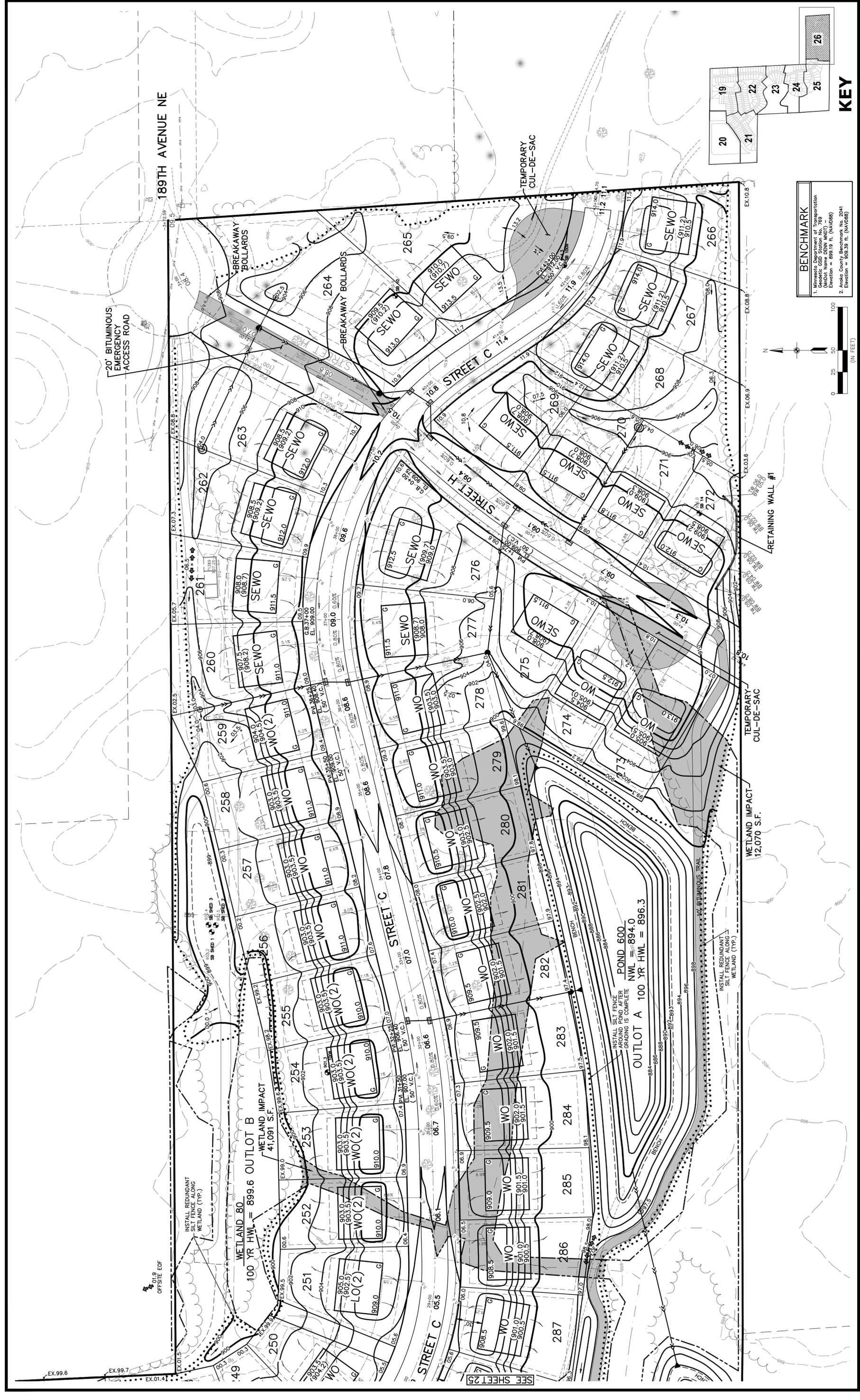


BENCHMARK
 1. Minnesota Department of Transportation
 Geodetic CSO Station No. 769
 Elevation = 895.19 ft. (NAVD89)
 2. Anoka County Benchmark No. 2044
 Elevation = 905.39 ft. (NAVD89)

Revisions:
 1.
 Drawn: HRO/LC/ADB
 Designed: BJK
 Date: 11/14/23

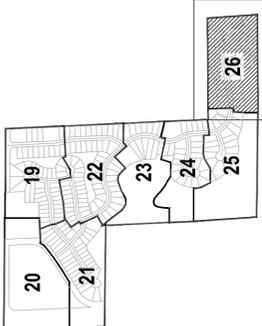
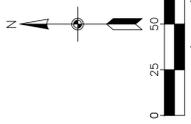
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 Print Name: Brian J. Krystofek, P.E.
 Signature: *Brian J. Krystofek*
 Date: 11/14/23 License #: 250653

**CARLSON
MCCAIN**
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 FAX 763.486.7959
 CARLSONMCCAIN.COM



BENCHMARK

- Minnesota Department of Transportation
Geodetic Control Station No. 789
Elevation = 895.19 ft. (NAVD88)
- Anoka County Benchmark No. 2041
Elevation = 905.39 ft. (NAVD88)



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CARLSONMCCAIN.COM

Print Name: Brian J. Krystofak, P.E.
Signature: *Brian J. Krystofak*
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EAST BETHEL 648-1, LLC
14015 Sunfish Lake Blvd. NW, Suite 400
Ramsey, MN 55303

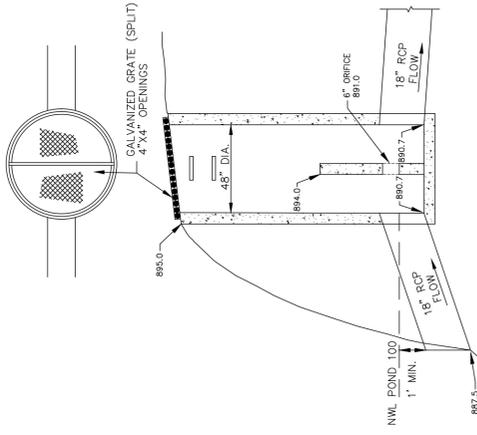
Revisions:
1.
Drawn: BRO/LC/ADB
Designed: BJK
Date: 11/14/23

VIKING MEADOWS
East Bethel, MN

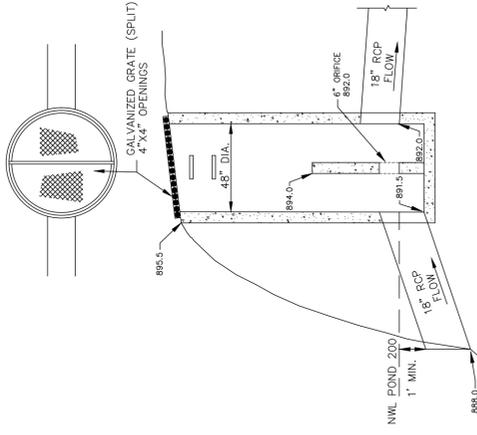
PRELIMINARY GRADING & EROSION CONTROL PLAN

26 of 29
#10242-03

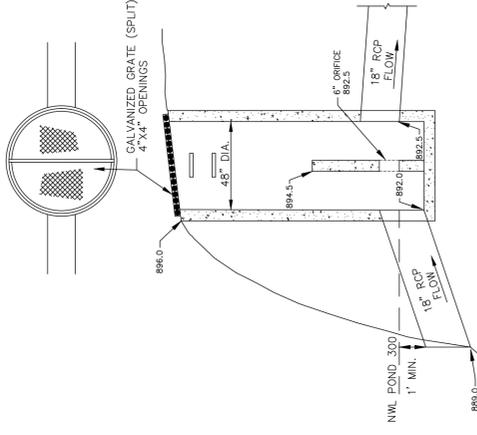
OUTLET CONTROL STRUCTURE POND 100



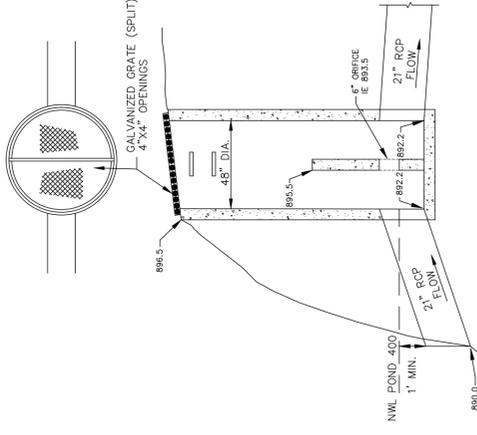
OUTLET CONTROL STRUCTURE POND 200



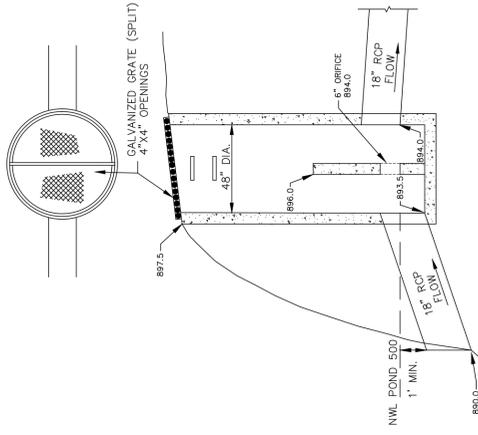
OUTLET CONTROL STRUCTURE POND 300



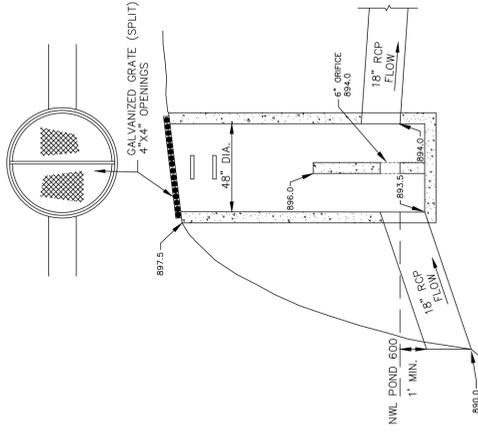
OUTLET CONTROL STRUCTURE POND 400



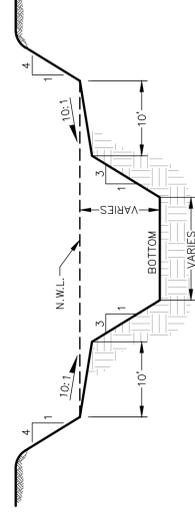
OUTLET CONTROL STRUCTURE POND 500



OUTLET CONTROL STRUCTURE POND 600



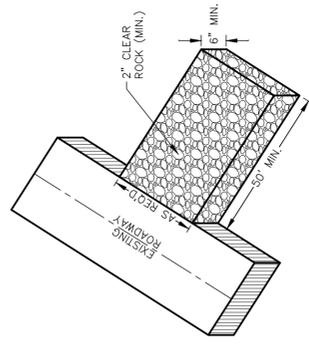
TYPICAL POND SECTION



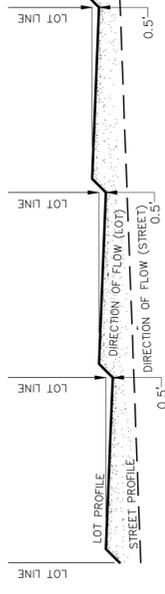
TURF ESTABLISHMENT

TURF ESTABLISHMENT SHALL APPLY TO ALL DISTURBED AREAS AND SHALL BE ACCORDING TO PHOTO STANDARD SPECIFICATIONS FOR CONSTRUCTION (LATEST EDITION) EXCEPT AS MODIFIED BELOW.
 TURF ESTABLISHMENT SHALL OCCUR AS SOON AS POSSIBLE BUT IN NO CASE MORE THAN 7 DAYS.
 SEED: MNDOT MIXTURE 25-141 AT 60 POUNDS PER ACRE.
 DORMANT SEED: SHALL BE APPLIED AT TWICE THE NORMAL RATE AFTER NOVEMBER 1ST.
 MULCH: TYPE 1 AT 2 TONS PER ACRE (DISK ANCHORED).
 FERTILIZER: TYPE 1 10-10-10 AT 200 POUNDS PER ACRE.

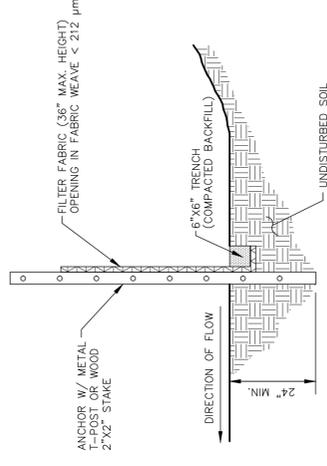
ROCK CONSTRUCTION ENTRANCE



LOT BENCHING DETAIL

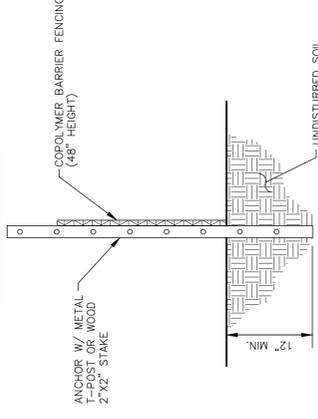


SILT FENCE



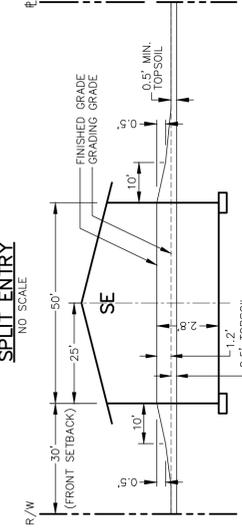
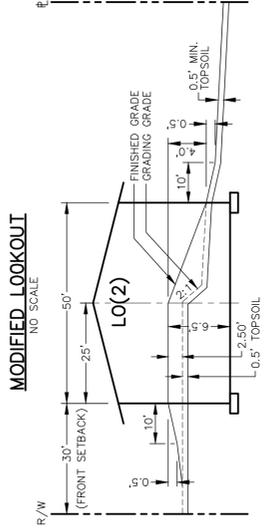
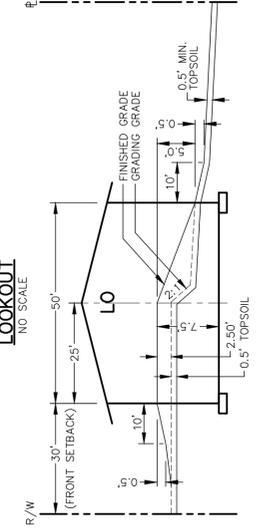
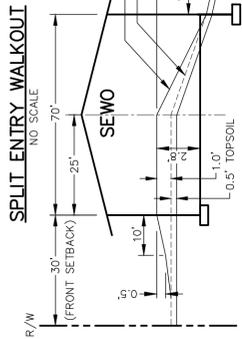
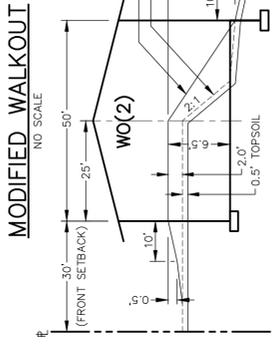
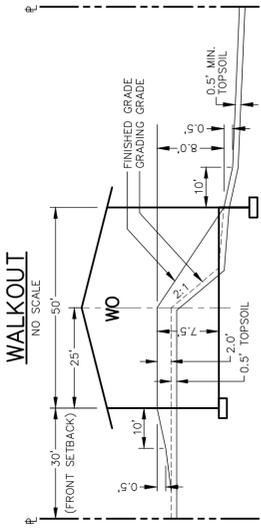
NOTES:
 1. DIG A 6"x6" TRENCH ALONG THE INTENDED SILT FENCE LINE.
 2. DRIVE ALL ANCHOR POSTS INTO THE GROUND AT THE DOWNHILL SIDE OF THE TRENCH.
 3. POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART.
 4. LAY OUT SILT FENCE ALONG THE UPHILL SIDE OF THE ANCHOR POSTS AND BACK FILL 6"x6" TRENCH.
 5. SECURELY ATTACH SILT FENCE TO ANCHOR POSTS W/ MINIMUM OF THREE ATTACHMENTS PER POST.
 6. SEE MNDOT SPECIFICATIONS 2573 & 3886.

TREE FENCE

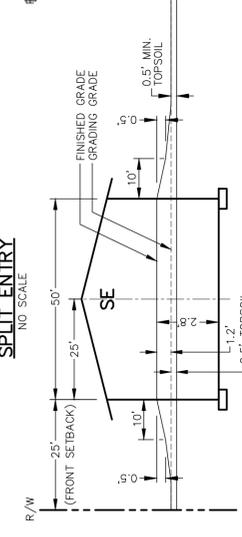
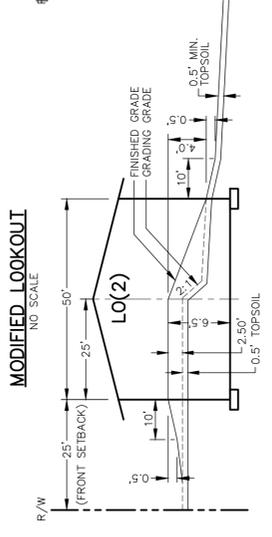
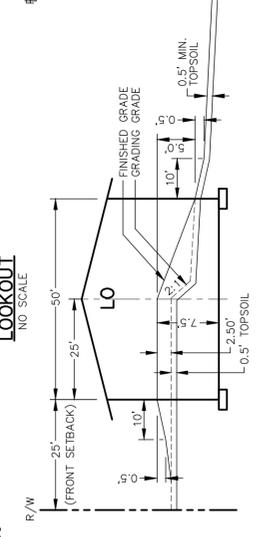
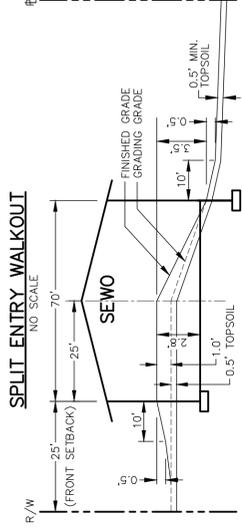
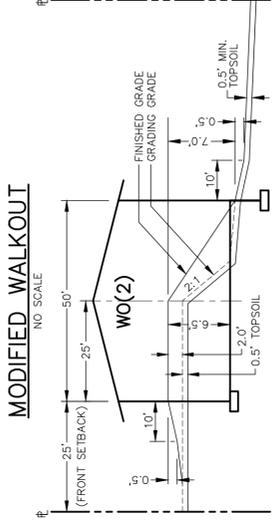
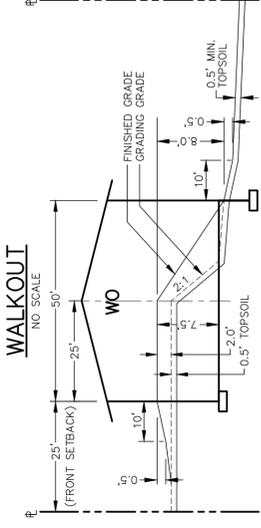


NOTES:
 1. TREE FENCING SHALL BE PLACED A MINIMUM OF 1 FOOT PER CALIPER INCH OF TREE DIAMETER FROM TREE(S) THAT IS/ARE TO BE SAVED.
 2. ANCHOR POST MAY BE SPACED UP TO 10 FEET APART.
 3. SECURELY ATTACH TREE FENCE TO ANCHOR POSTS W/ MINIMUM OF TWO ATTACHMENTS PER POST.
 4. SEE MNDOT SPECIFICATION 2572.

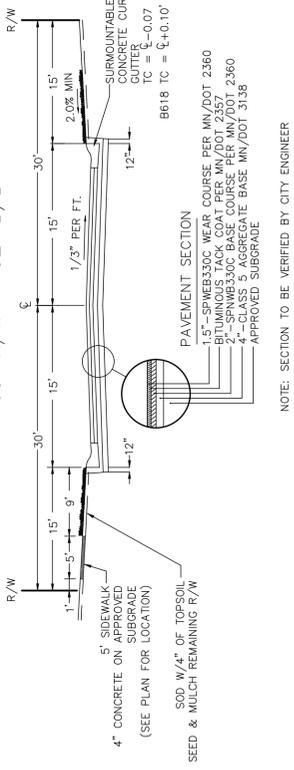
80' LOTS
251-289



70' LOTS
192-250 & 290-339

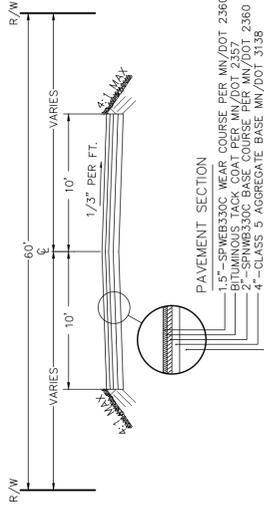


TYPICAL STREET SECTION
60' R/W - 32' B/B



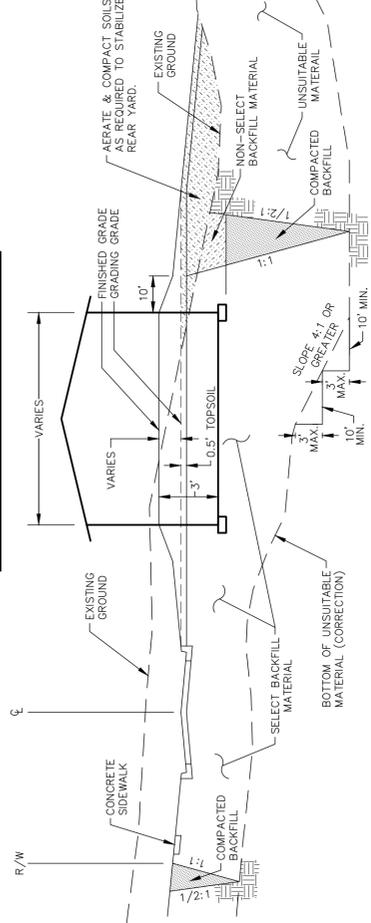
NOTE: SECTION TO BE VERIFIED BY CITY ENGINEER

20' EMERGENCY ACCESS

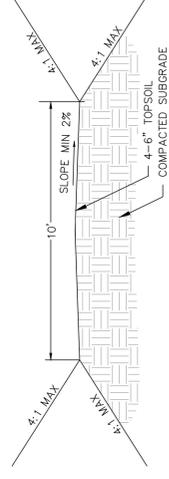


NOTE: SECTION TO BE VERIFIED BY CITY ENGINEER

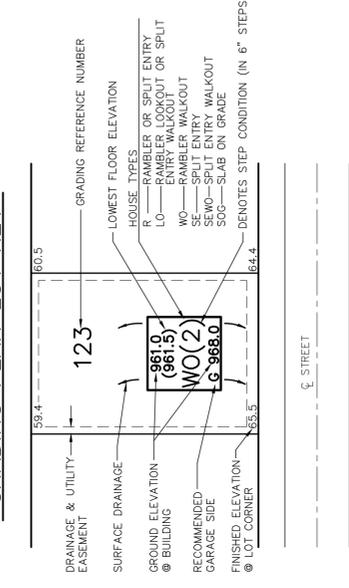
SUBGRADE CORRECTION



MAINTENANCE ACCESS



GRADING PLAN LOT KEY



CARLSON MCCAIN
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Date: 11/14/23 License #: 25063

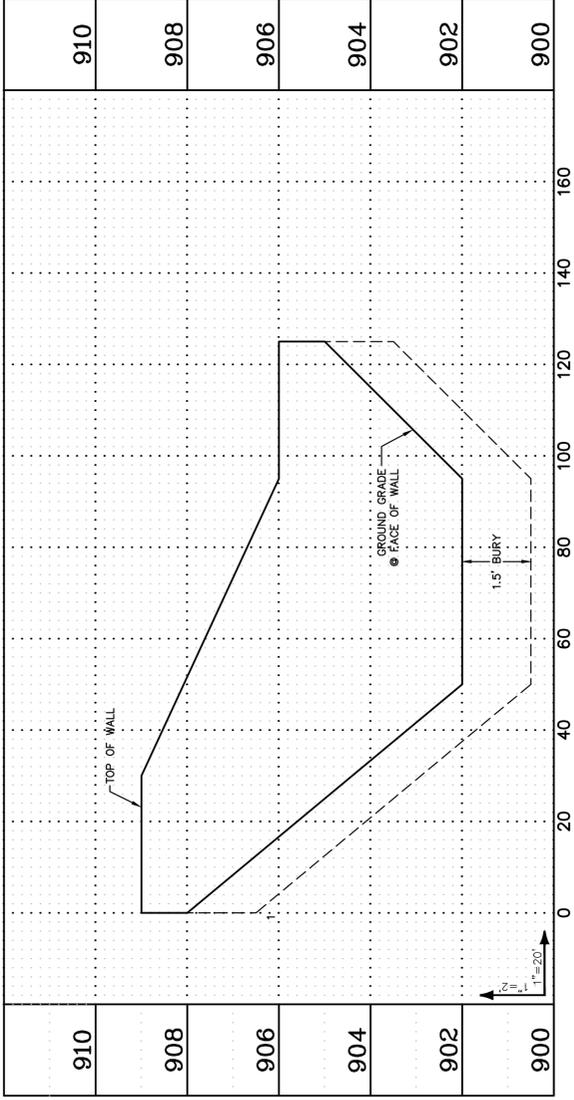
Drawn: KSO/LC/ADB
Designed: BJK
Date: 11/14/23

EAST BETHEL 648-1, LLC
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Ramsey, MN 55303

VIKING MEADOWS
East Bethel, MN

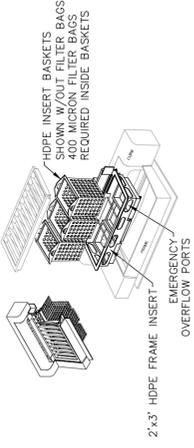
DETAILS

**MODULAR RETAINING WALL #1
(681 SF)**



INFRA SAFE — 2'x3' DEBRIS COLLECTION DEVICE

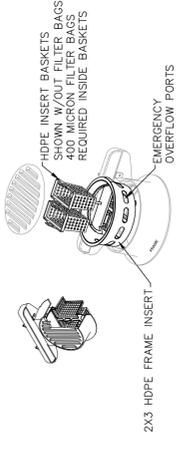
AS MANUFACTURED BY ROYAL ENVIRONMENTAL SYSTEMS



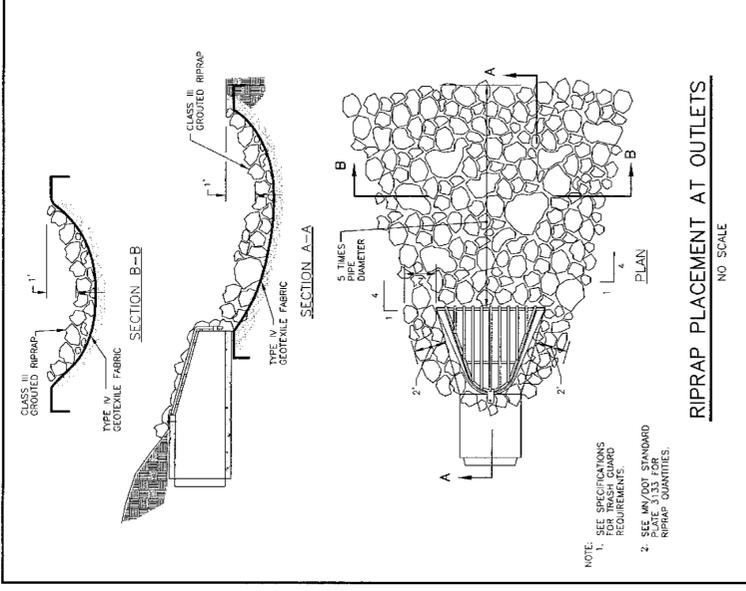
- MEETS MN/DOT SPECIFICATION 38891.F
 - STORM DRAIN INLET PROTECTION — FILTER BAG INSERT*
 - DESIGNED FOR NEENAH R-3067 OR R-3290 SERIES

INFRA SAFE — 27" DEBRIS COLLECTION DEVICE

AS MANUFACTURED BY ROYAL ENVIRONMENTAL SERVICES

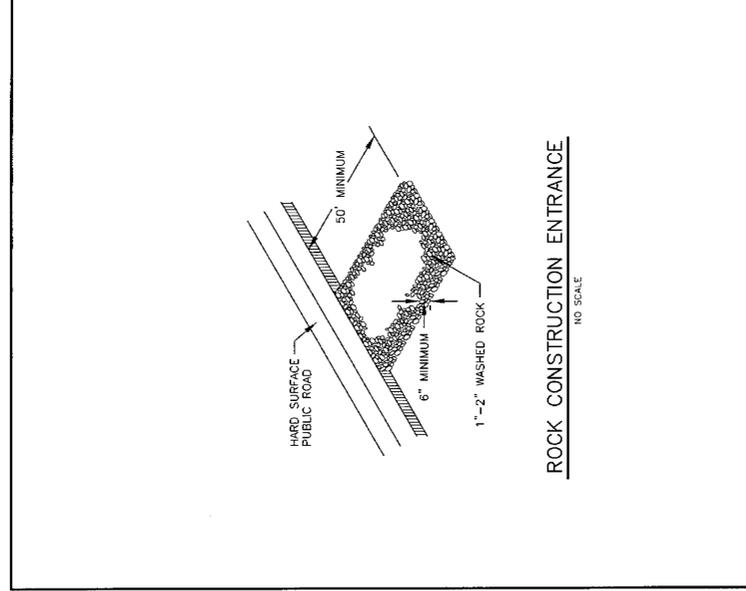


- MEETS MN/DOT SPECIFICATION 38891.F
 - STORM DRAIN INLET PROTECTION — FILTER BAG INSERT*
 - DESIGNED FOR NEENAH R-3250-A OR R-3250-I (MNDOT 801)
 - FRAME CASTING



RIPRAP PLACEMENT AT OUTLETS
NO SCALE

APPROVED	3-02-05	CITY OF EAST BETHEL	STANDARD PLATE NO. 500
REVISION			



ROCK CONSTRUCTION ENTRANCE
NO SCALE

APPROVED	3-02-05	CITY OF EAST BETHEL	STANDARD PLATE NO. 505
REVISION			

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 ENGINEERING
 SURVEYING
 ENVIRONMENTAL

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Revisions:
1.

EAST BETHEL 648-1, LLC
 14015 Sunfish Lake Blvd. NW, Suite 400
 Ramsey, MN 55303

VIKING MEADOWS
 East Bethel, MN

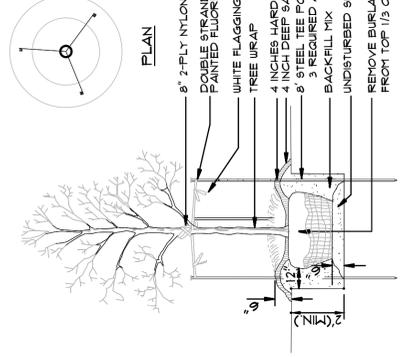
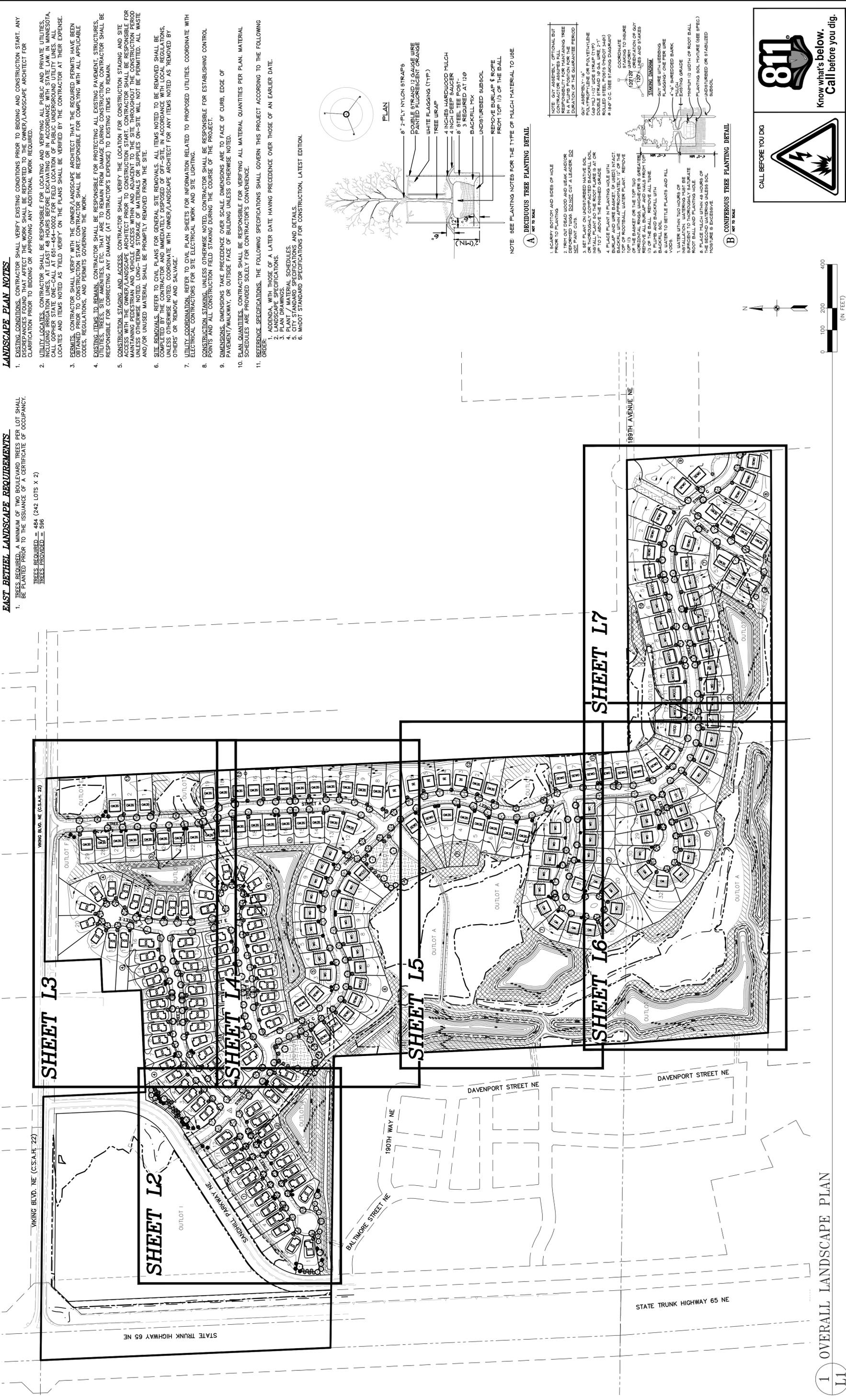
DETAILS

EAST BETHEL LANDSCAPE REQUIREMENTS

1. TREES REQUIRED: A MINIMUM OF TWO BOULEVARD TREES PER LOT SHALL BE PLANTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. TREES REQUIRED = 484 (242 LOTS X 2)
TREES PROVIDED = 586

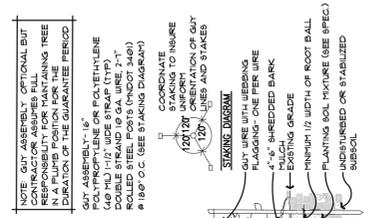
LANDSCAPE PLAN NOTES

1. EXISTING CONDITIONS, CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION START. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER/LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING OR APPROVING ANY ADDITIONAL WORK REQUIRED.
2. UTILITY LOCATES, CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL PUBLIC AND PRIVATE UTILITIES. CONTRACTOR SHALL CALL 800-4-A-SHIELD (4-7243) FOR FIELD LOCATION OF PUBLIC UNDERGROUND UTILITY LINES. ALL LOCATES AND ITEMS NOTED AS FIELD VERIFY ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR AT THEIR EXPENSE.
3. PERMITS, CONTRACTOR SHALL VERIFY WITH THE OWNER/LANDSCAPE ARCHITECT THAT THE REQUIRED PERMITS HAVE BEEN OBTAINED AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
4. EXISTING ITEMS TO REMAIN, CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING PAVEMENT, STRUCTURES, UTILITIES, TREES, SITE AMENITIES, ETC. THAT ARE TO REMAIN FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DAMAGE (AT CONTRACTOR'S EXPENSE) TO EXISTING ITEMS TO REMAIN.
5. CONSTRUCTION STAGING AND ACCESS, CONTRACTOR SHALL VERIFY THE LOCATION FOR CONSTRUCTION STAGING AND SITE ACCESS WITH THE OWNER/LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND ACCESS TO THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND VERIFYING ALL NECESSARY PERMITS AND ACCESS TO THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND VERIFYING ALL NECESSARY PERMITS AND ACCESS TO THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND VERIFYING ALL NECESSARY PERMITS AND ACCESS TO THE SITE.
6. SITE REMOVALS, REFER TO CIVIL PLANS FOR GENERAL SITE REMOVALS. ALL ITEMS NOTED TO BE REMOVED SHALL BE REMOVED FROM THE SITE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND VERIFYING ALL NECESSARY PERMITS AND ACCESS TO THE SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND VERIFYING ALL NECESSARY PERMITS AND ACCESS TO THE SITE.
7. UTILITY COORDINATION, REFER TO CIVIL PLAN SHEETS FOR INFORMATION RELATED TO PROPOSED UTILITIES. COORDINATE WITH ELECTRICAL CONTRACTORS FOR SITE ELECTRICAL WORK AND SITE LIGHTING.
8. CONSTRUCTION STAKING, UNLESS OTHERWISE NOTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING CONTROL POINTS AND ALL CONSTRUCTION FIELD STAKING DURING THE COURSE OF THE PROJECT.
9. DIMENSIONS, DIMENSIONS TAKE PRECEDENCE OVER SCALE. DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT/WALKWAY, OR OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
10. PLANT QUANTITIES, CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL MATERIAL QUANTITIES PER PLAN. MATERIAL SCHEDULES ARE PROVIDED SOLELY FOR CONTRACTOR'S CONVENIENCE.
11. REFERENCE SPECIFICATIONS, THE FOLLOWING SPECIFICATIONS SHALL GOVERN THIS PROJECT ACCORDING TO THE FOLLOWING ORDER:
 1. ADEQUA, WITH THOSE OF A LATER DATE HAVING PRECEDENCE OVER THOSE OF AN EARLIER DATE.
 2. LANDSCAPE SPECIFICATIONS.
 3. PLAN DRAWINGS.
 4. PLANT / MATERIAL SCHEDULES AND DETAILS.
 5. CITY STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION.
 6. MIDDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, LATEST EDITION.



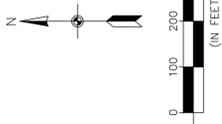
A DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

1. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
2. TRIM OUT DEAD WOOD AND WEAK BRANCHES. DEFORMED TWIGS SHOULD CUT AT A LEADER. EG. SEE PLAN FOR DETAILS.
3. UNLESS OTHERWISE NOTED, SOIL ON THOROUGHLY COMPACTED BACKFILL SOIL UP TO 7\"/>



B CONIFEROUS TREE PLANTING DETAIL
NOT TO SCALE

1. WATER WITHIN TWO HOURS OF PLANTING.
2. PLACE MULCH WITHIN 48 HOURS OF PLANTING.
3. WATER TO SETTLE PLANTS AND FILL VIDS.
4. WATER TO SETTLE PLANTS AND FILL VIDS.
5. WATER TO SETTLE PLANTS AND FILL VIDS.
6. WATER TO SETTLE PLANTS AND FILL VIDS.
7. WATER TO SETTLE PLANTS AND FILL VIDS.
8. WATER TO SETTLE PLANTS AND FILL VIDS.
9. WATER TO SETTLE PLANTS AND FILL VIDS.
10. WATER TO SETTLE PLANTS AND FILL VIDS.



OVERALL LANDSCAPE PLAN
L1

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Print Name: Ryan J. Buttger, RLA
Signature: *[Signature]*
Date: 11/14/23 License #: 56346

Drawn: RJR
Designed: RJR
Date: 11/14/23

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14015 Sunfish Lake Blvd. NW, Suite 400
Ramsey, MN 55303

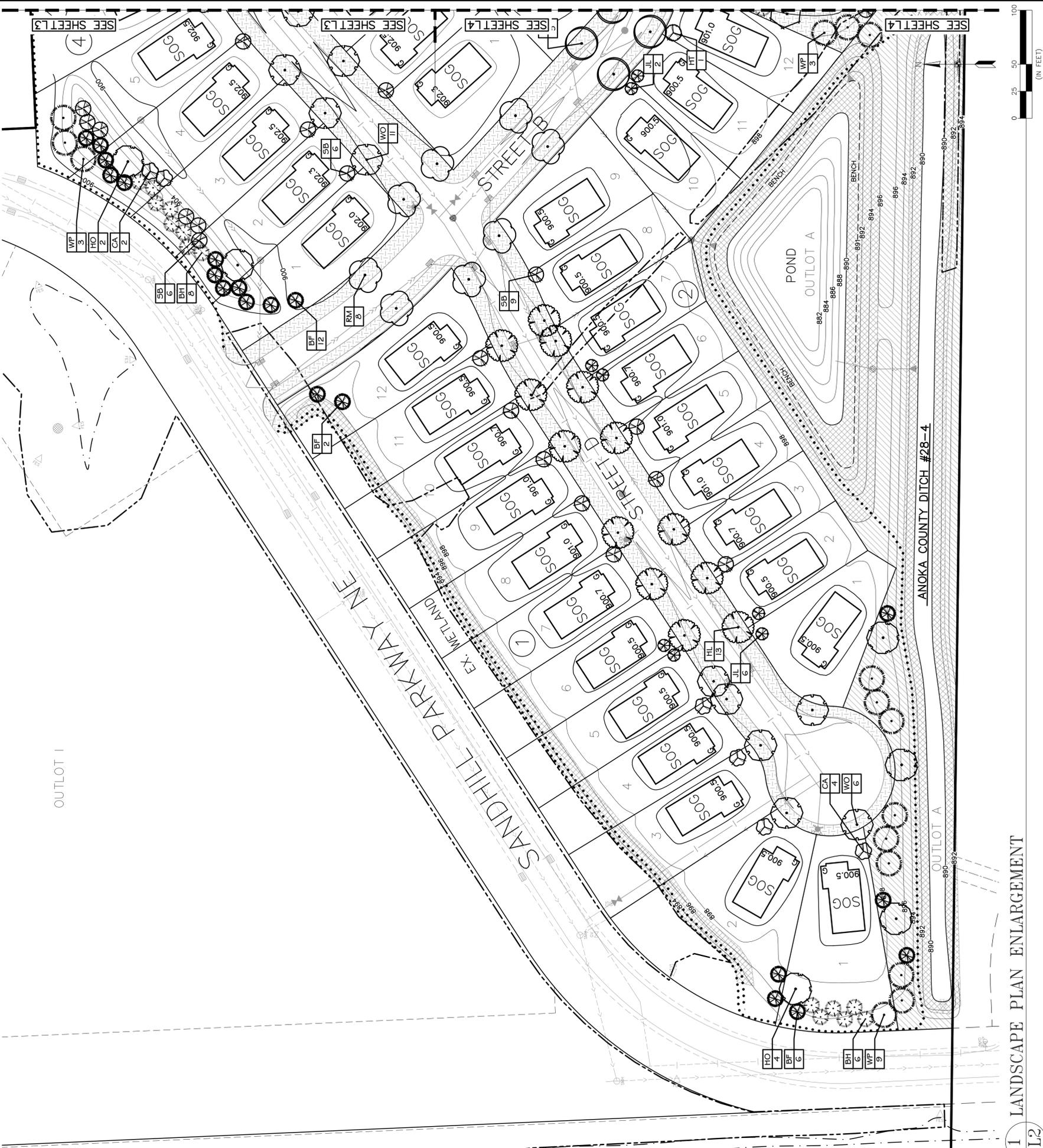
VIKING MEADOWS
East Bethel, MN

PRELIMINARY LANDSCAPE PLAN

L1 of 7

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
TREES						
	RM	40	Acer rubrum 'Northwood'	Northwoods Red Maple	2.5' Cal.	B&B
	FM	36	Acer x freemanii 'Sienna'	Sienna Glen Maple	2.5' Cal.	B&B
	RB	7	Betula nigra Clump Form, 2.5' Cal Equivalent	River Birch Multi-Trunk	10' Ht.	B&B
	HB	33	Celtis occidentalis	Common Hackberry	2.5' Cal.	B&B
	HL	20	Gleditsia triacanthos inermis 'Harve'	Northern Acclaim Thornless Honey Locust	2.5' Cal.	B&B
	KC	22	Gymnocladus dioica 'Espresso'	Kentucky Coffeetree	2.5' Cal.	B&B
	WO	43	Quercus bicolor	Swamp White Oak	2.5' Cal.	B&B
	HO	11	Quercus x macdaniellii 'Clemens' TM	Heritage Oak	2.5' Cal.	B&B
	BL	44	Tilia americana 'Boulevard'	Boulevard Linden	2.5' Cal.	B&B
	AE	32	Ulmus americana 'Princeton'	American Elm	2.5' Cal.	B&B
CONIFEROUS TREES						
	BF	24	Abies balsamea	Balsam Fir	6' Ht.	B&B
	BH	24	Picea glauca densata	Black Hills Spruce	6' Ht.	B&B
	WP	23	Pinus strobus	White Pine	6' Ht.	B&B
ORNAMENTAL TREES						
	SB	67	Amelanchier x grandiflora 'Autumn Brilliance' Clump Form, 1.5' Cal Equivalent	Autumn Brilliance Serviceberry	7' Ht.	B&B
	BB	23	Corylus caroliniana Native	Blue Beech	1.5' Cal.	B&B
	PD	12	Cornus alternifolia 'Westeckman' Pale Yellow Flowers, Maroon Fall Color	Golden Shadows Pagoda Dogwood	1.5' Cal.	B&B
	HT	35	Crataegus crus-galli 'Inermis'	Thornless Hawthorn	1.5' Cal.	B&B
	CA	40	Malus x 'Prairifire' Red Flowers	Prairifire Crabapple	1.5' Cal.	B&B
	IW	18	Ostrya virginiana Native	Ironwood	1.5' Cal.	B&B
	JL	42	Syringa reticulata 'Ivory Silk' White Flowers	Ivory Silk Japanese Tree Lilac	1.5' Cal.	B&B
GROUND COVERS						
	TI	377,208 sf	Type I - Turf Seed Mix Refer to notes for acceptable seeding methods. Seeding Rate 180 lb/ac	MnDOT Seed Mix 25-151	seed	
	TIi	483,225 sf	Type II - Stormwater Pond Pollinator Seed Mix Refer to notes for acceptable seeding methods. Seeding Rate 47.5 lb/ac	BWSR Stormwater Pond Pollinator NE	seed	
	TIii	279,000 sf	Type III - Native Seed Mix Refer to notes for acceptable seeding methods. Seeding Rate 50.0 lb/ac	MnDOT Seed Mix 35-241	seed	



LANDSCAPE PLAN ENLARGEMENT

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Designed: RJR
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Revisions:
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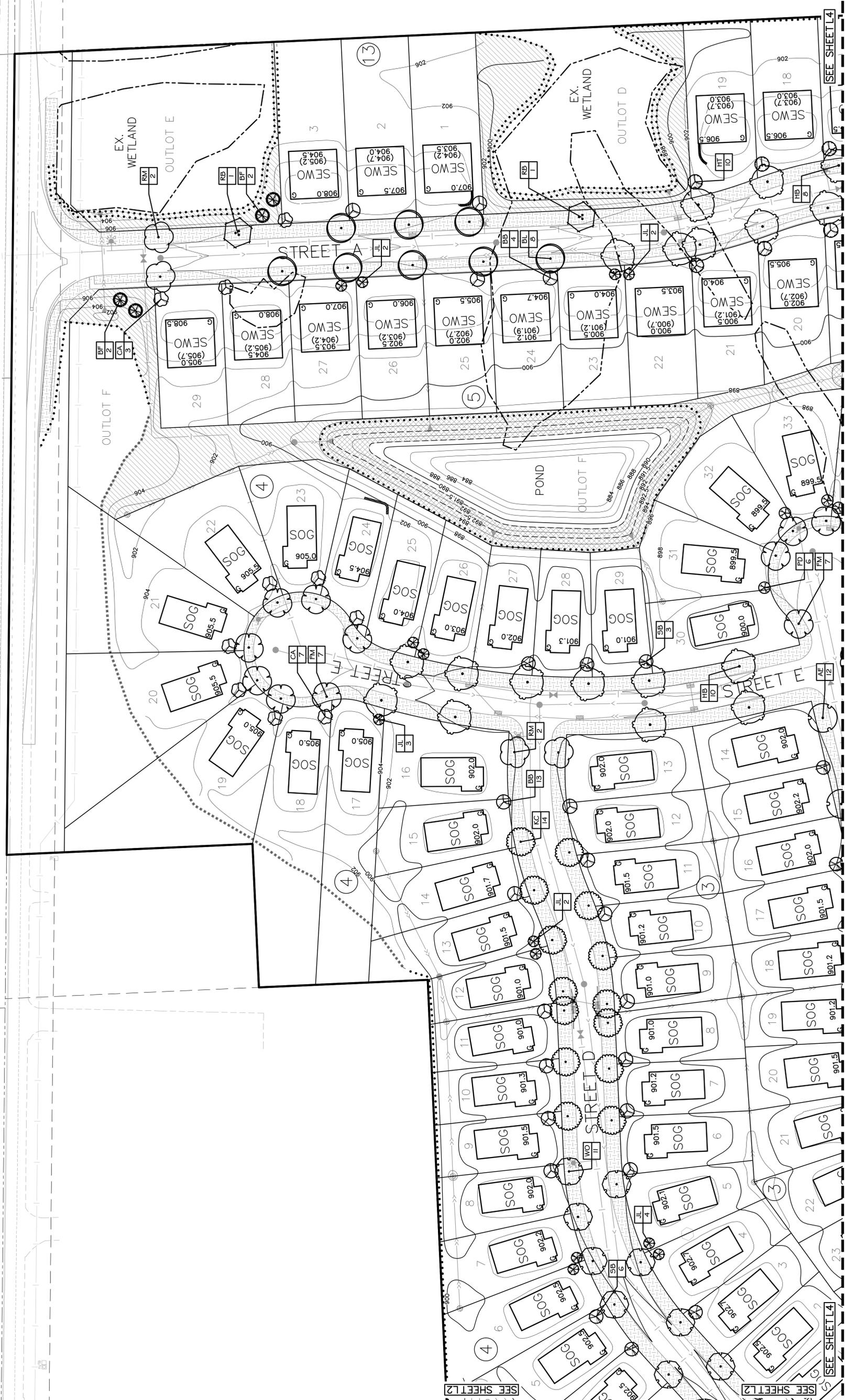
VIKING MEADOWS
East Bethel, MN

EAST BETHEL 648-1, LLC
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PRELIMINARY LANDSCAPE PLAN

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10242-03

VIKING BLVD. NE (C.S.A.H. 22)



1 LANDSCAPE PLAN ENLARGEMENT
L3

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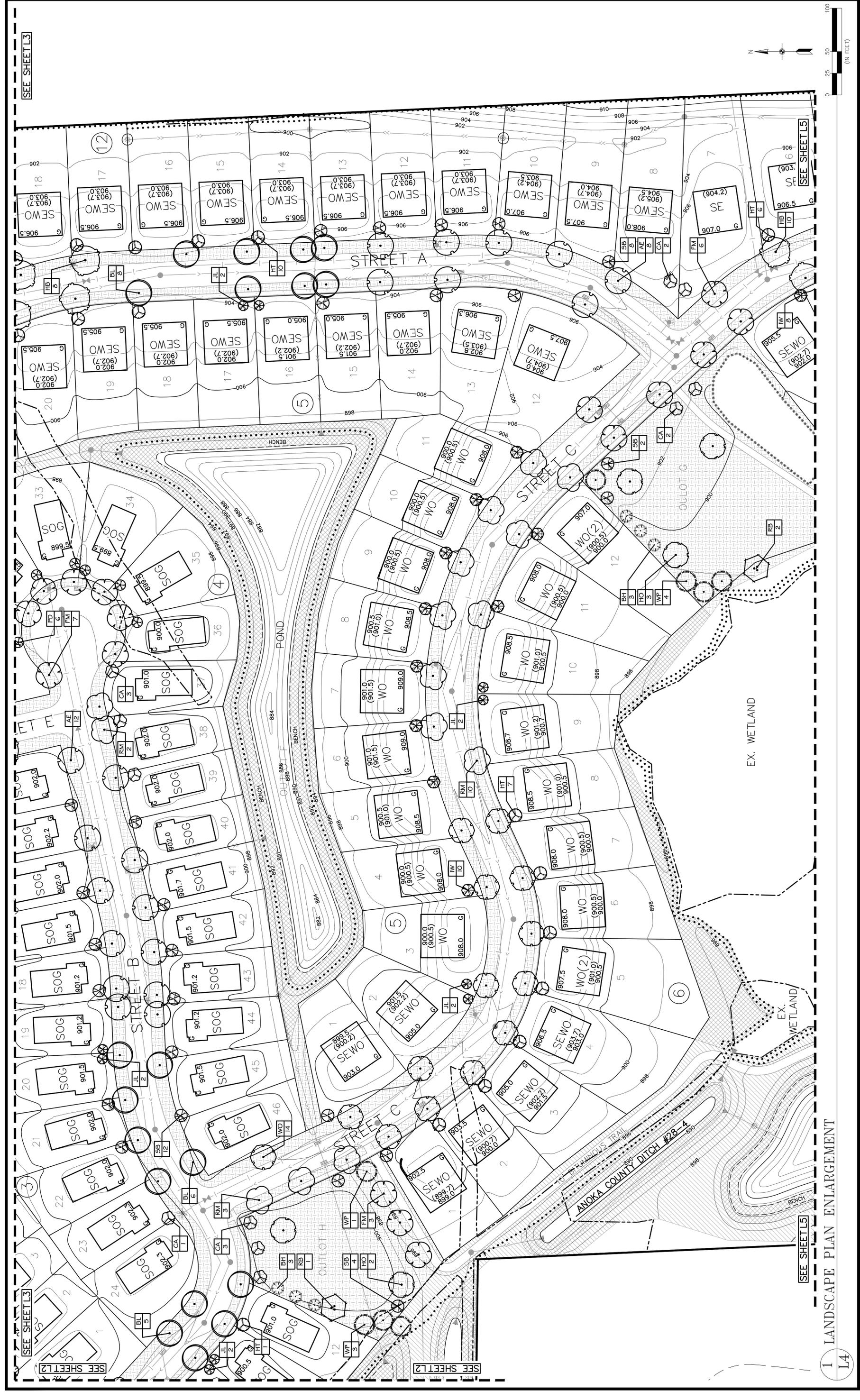
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VIKING MEADOWS
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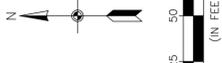
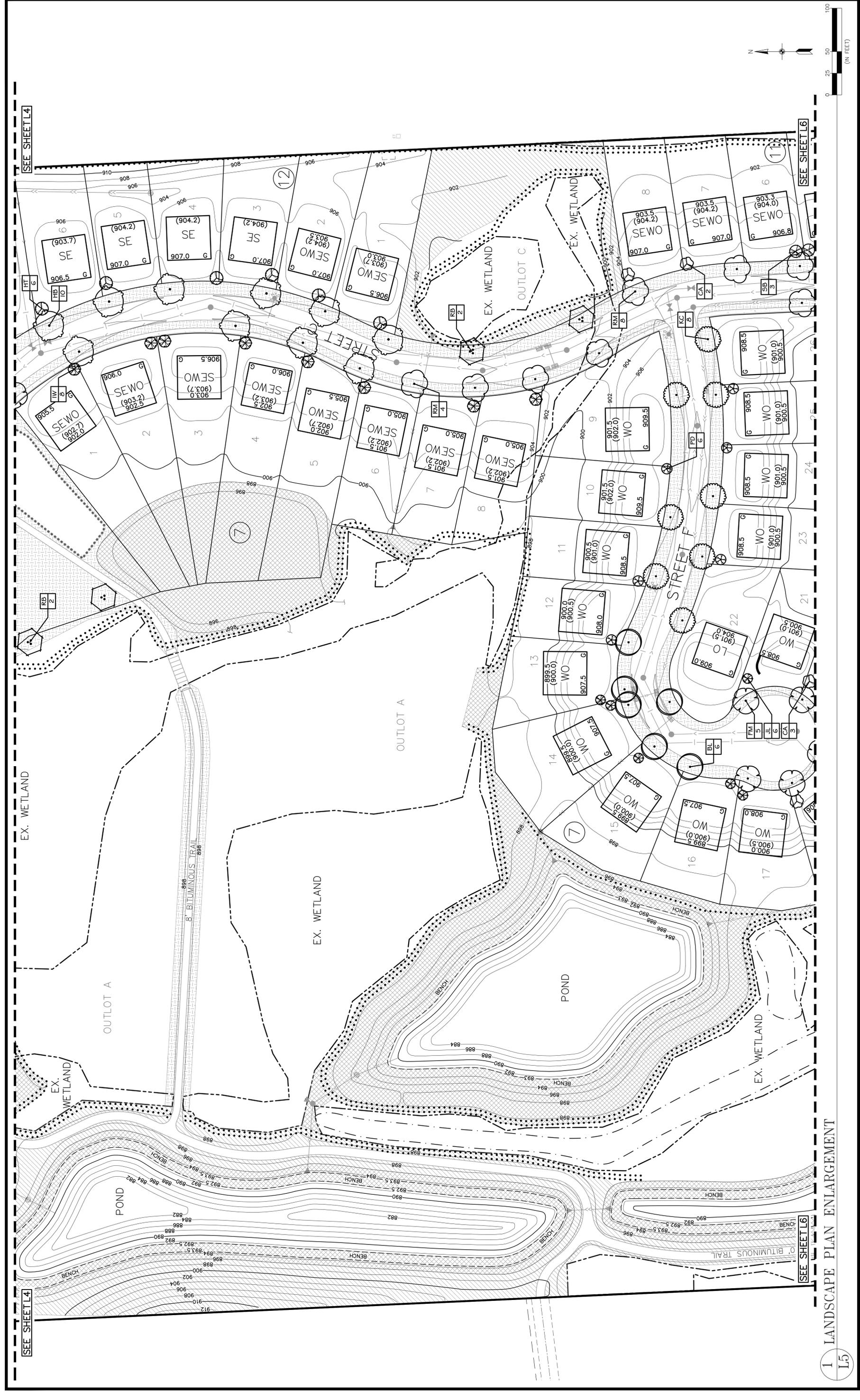
PRELIMINARY LANDSCAPE PLAN
L3 of 7
#10242-03



LANDSCAPE PLAN ENLARGEMENT

1 L4

<p>CARLSON MCCAIN ENGINEERING SURVEYING ENVIRONMENTAL</p>	<p>3890 PHEASANT RIDGE DR NE BLAINE, MN 55449 TEL 763.489.7900 FAX 763.489.7959 CARLSONMCCAIN.COM</p>	<p>I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.</p> <p>Print Name: Ryan J. Buttger, RLA Signature: Date: 11/14/23 License #: 56346</p>	<p>Revisions: 1.</p> <p>Drawn: RJR Designed: RJR Date: 11/14/23</p>
<p>PRELIMINARY LANDSCAPE PLAN</p>		<p>VIKING MEADOWS East Bethel, MN</p>	
<p>EAST BETHEL 648-1, LLC 14015 Sunfish Lake Blvd. NW, Suite 400 Ramsey, MN 55303</p>		<p>L4 of 7 #10242-03</p>	



SEE SHEET L4

SEE SHEET L6

SEE SHEET L4

SEE SHEET L6

1 LANDSCAPE PLAN ENLARGEMENT
L5

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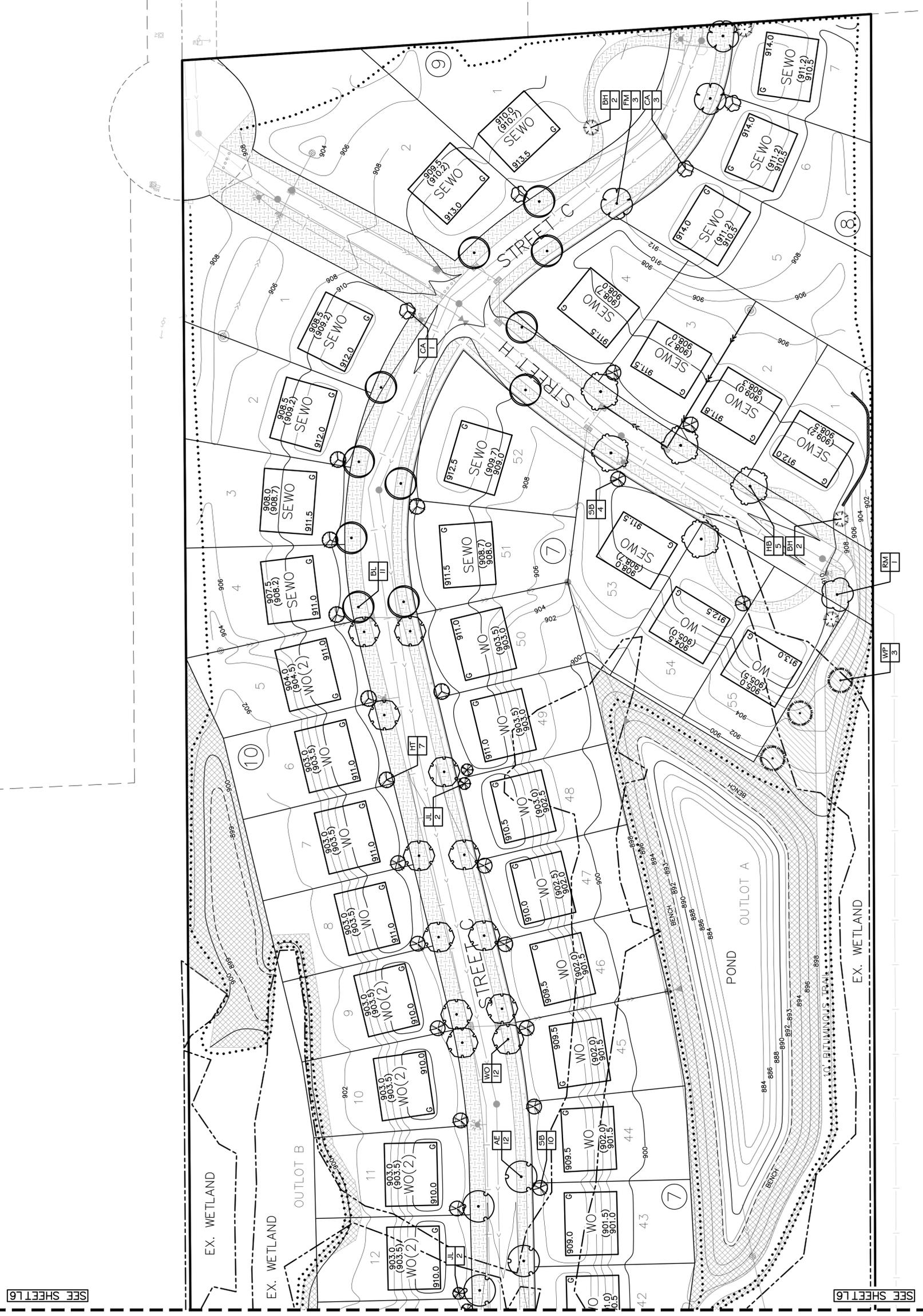
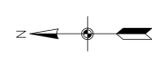
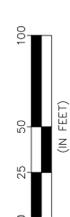
VIKING MEADOWS
East Bethel, MN

PRELIMINARY
LANDSCAPE PLAN

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#10242-03

LANDSCAPE SPECIFICATIONS

1. TREE PROTECTION. ALL TREES NOT SPECIFICALLY NOTED OR MARKED ON SITE FOR REMOVAL SHALL REMAIN PROTECTED AND UNDISTURBED DURING CONSTRUCTION. TREE PROTECTION SHALL EXTEND TO THE DRIP LINE, WITHIN WHICH NO CONSTRUCTION ACTIVITY, MATERIAL STORAGE, OR VEHICLE PARKING SHALL BE PERMITTED. TREE PROTECTION FENCING SHALL BE ERRECTED PRIOR TO CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. FENCING SHALL CONSIST OF 4" TALL HEAVY DUTY ORANGE CONSTRUCTION FENCING WITH 6" STEEL FENCE POSTS SPACED 6' O.C. MAX.
2. EROSION CONTROL. REFER TO CIVIL PLAN SHEETS FOR STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND EROSION CONTROL MEASURES. ALL DISTURBED AREAS SHALL RECEIVE PERMANENT ROCK CONSTRUCTION ENTRANCE. ALL DISTURBED AREAS SHALL RECEIVE PERMANENT STABILIZATION IN ACCORDANCE WITH THE LANDSCAPE PLAN WITHIN 7 DAYS AFTER CONSTRUCTION ACTIVITY IN THE DISTURBED AREA HAS CEASED. WEEDING AND STABILIZATION MUST BE IMPLEMENTED WITHIN 7 DAYS USING RAPID STABILIZATION METHOD 3.
3. CLEARING AND GRUBBING. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING AND GRUBBING ALL EXISTING VEGETATION AND OBSTRUCTIONS FROM THE SITE. ALL GRUBBING SHALL INCLUDE REMOVAL AND DISPOSAL OF ALL TREES, STUMPS, BRUSH, GRASS, ROOTS AND OTHER ORGANIC MATERIAL AT AN APPROVED OFF-SITE DISPOSAL LOCATION.
4. SOIL PREPARATION. REFER TO GEOTECHNICAL REPORT FOR ANY REQUIRED SOIL CORRECTIONS, AMENDMENTS OR ADDITIONAL INFORMATION (IF APPLICABLE). EXISTING TOPSOIL SHALL BE STRIPPED FROM ALL DISTURBED AREAS AND STOCKPILED IN AN APPROVED LOCATION FOR RE-SPREAD. ALL AREAS WHERE SOIL HAS BEEN COMPACTED BY CONSTRUCTION ACTIVITY AND THAT ARE INDICATED TO BE SOILED, SEEDING OR PLANNING BED SHALL BE COMPACTED TO THE ORIGINAL FINISHED GRADE AND SHALL BE TRUE TO GRADIENTS SHOWN ON PLANS. REFER TO CIVIL PLAN SHEETS FOR FILTRATION BASIN SOIL REQUIREMENTS.
5. TOPSOIL MATERIAL. ALL EXISTING, AMENDED OR IMPORTED TOPSOIL SHALL MEET THE REQUIREMENTS OF MDOT TOPSOIL TYPE A. A MINIMUM 4" INCH DEPTH OF TOPSOIL SHALL BE PLACED WITHIN ALL PLANTING BED AREAS. ALL TOPSOIL SHALL BE FINE GRADED TO A MINIMUM OF 1/4" PARTICLE SIZE. ALL PLANTING BED AREAS SHALL BE FINE GRADED WITHIN 1 FEET OF INDICATED FINISHED GRADE AND SHALL BE TRUE TO GRADIENTS SHOWN ON PLANS. REFER TO CIVIL PLAN SHEETS FOR FILTRATION BASIN SOIL REQUIREMENTS.
6. SEEDING AND TURE ESTABLISHMENT. CONTRACTOR SHALL OBTAIN OWNER/LANDSCAPE ARCHITECT APPROVAL FOR ALL SEEDING AND TURE ESTABLISHMENT. SEEDING SHALL BE PERFORMED MANUALLY 10-10-10 TYPE 1 STARTER FERTILIZER AT A RATE OF 200 LBS PER ACRE PRIOR TO SEEDING. SEEDS SHALL BE SOWED AT THE INDICATED RATE, VIA BROADCAST SPREADER, DROP SEEDER OR DRILL SEEDER. FOLLOWING SEED APPLICATION, INSTALL CATEGORY 20 - STRAW EROSION CONTROL BRANES WITH NATURAL FIBER 3" HIGH (NCS) GREATER THAN 1" IN AN AREA AT A RATE OF 2 TONS PER ACRE. SOIL SHALL BE KEPT MOIST DURING ESTABLISHMENT WITH ADDITIONAL RE-SEEDING AS NECESSARY TO ACHIEVE A HEALTHY, UNIFORM STAND OF GRASS, FREE OF WEEDS AND WITH COVERAGE EXCEEDING 75% IN ANY 10'x10' AREA PRIOR TO FINAL ACCEPTANCE.
7. PLANT MATERIAL. ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK", ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS. OWNER/LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REJECT ANY PLANTS WHICH DO NOT MEET THE ABOVE QUALITY REQUIREMENTS. ALL PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. PLANT MATERIAL SUBSTITUTIONS. ALL REQUESTS FOR PLANT SUBSTITUTIONS SHALL BE MADE IN WRITING TO THE OWNER/LANDSCAPE ARCHITECT AND MUST BE APPROVED BY THE CITY.
9. PLANT INSTALLATION AND ESTABLISHMENT. REFER TO STANDARD PLANTING DETAILS. CONTRACTOR SHALL STAKE TREE LOCATIONS FOR APPROVAL BY OWNER/LANDSCAPE ARCHITECT PRIOR TO PLANTING. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO THE GUARANTEE PERIOD) SHALL BE REPLACED WITH THE SAME SPECIES, QUANTITY, AND SIZE.
10. MULCH MATERIAL. DOUBLE SHREDDED HARDWOOD MULCH OR ROCK MULCH AS INDICATED ON PLANS SHALL BE APPLIED TO ALL PLANTING AREAS. MULCH SHALL BE APPLIED TO A MINIMUM OF 2" DEPTH. MULCH SHALL BE HELD BACK FROM PLANT STEMS/TRUNKS A MINIMUM OF 3". WOOD MULCH SHALL BE PLACED AROUND INDIVIDUAL TREES TO A 4" MINIMUM DIAMETER. MULCH SHALL BE INSTALLED WITHIN 48-HOURS OF PLANT INSTALLATION.
11. MAINTENANCE. MAINTENANCE SHALL BEGNN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE. INSPECTION HAS BEEN MADE AND PLANTINGS ARE ACCEPTED. CONTRACTOR SHALL MAINTAIN MULCH AND WEED CONTROL THROUGHOUT THE GUARANTEE PERIOD. FERTILIZING, WEED AND PESTICIDE CONTROL, MULCHING, REMOVAL OF DEAD MATERIALS, RE-SETTING PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE COMPLETION OF THE WARRANTY PERIOD.
12. WATERING. UPON ESTABLISHMENT OF SEED AND INSTALLATION OF PLANTS, CONTRACTOR SHALL WATER PLANTS AND SEEDS AT A MINIMUM OF ONCE A WEEK. MORE FREQUENT WATERING MAY BE REQUIRED DURING PERIODS OF HOT, DRY WEATHER. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER, IN THE ABSENCE OF PERMANENT IRRIGATION. TEMPORARY IRRIGATION, TREE WATERING BAGS, OR HAND-WATERING ARE ACCEPTABLE.
13. NATIVE PLANT ESTABLISHMENT. THIS PROJECT INCLUDES ONE OR MORE NATIVE PLANT SEED MIXES CONSISTING OF A VARIETY OF GRASSES, SEDGES AND FLOWERING FORBS. BECAUSE THESE PLANTS TYPICALLY HAVE A LONGER GERMINATION PERIOD, A COVER CROP SPECIES IS TO BE PLANTED IN THESE AREAS TO PROVIDE COVER FOR THE NATIVE PLANTS. THESE AREAS IS CRITICAL DURING THE FIRST SEVERAL YEARS TO ESTABLISH A SUCCESSFUL NATIVE PLANT COMMUNITY. SEEDING AREAS SHALL BE MOWED / WEED-WHIPPED TO A HEIGHT OF 6-10 INCHES IN MID-JULY AND EARLY SEPTEMBER DURING THE FIRST 2-3 YEARS OF ESTABLISHMENT. IN ADDITION, ALL NON-NATIVE SPECIES WEEDS SHALL BE SPOT SEEDING AS NECESSARY TO MAINTAIN A NATIVE PLANT COMMUNITY. SEEDING SHALL BE CONSIDERED SUCCESSFULLY ESTABLISHED NO SOONER THAT 3 YEARS AFTER INITIAL SEEDING - ONCE THE COVER CROP HAS BEEN SUFFICIENTLY REPLACED BY NATIVE PLANTS AND THE AREA IS FREE OF WEEDS. WEED-WHIPPING TO A HEIGHT OF 6-10 INCHES SHALL BE PERFORMED IN EARLY MOWING / WEED-WHIPPING TO A HEIGHT OF 6-10 INCHES ONCE A YEAR IN EARLY SEPTEMBER AND SPOT SPRAYING OF HERBACIDE ONLY AS NEEDED.
14. FINAL ACCEPTANCE. UPON SUBSTANTIAL COMPLETION OF THE WORK, CONTRACTOR SHALL SUBMIT A WRITTEN PUNCH LIST TO THE OWNER/LANDSCAPE ARCHITECT. IF ANY WORK IS FOUND TO BE INCOMPLETE OR UNSATISFACTORY IN THE OPINION OF THE OWNER/LANDSCAPE ARCHITECT, A WRITTEN PUNCH LIST WILL BE PREPARED LISTING ALL ITEMS THAT REQUIRE COMPLETION OR CORRECTING BEFORE FINAL ACCEPTANCE.
15. WARRANTY. ALL PLANTS, MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND MATERIAL.



SEE SHEET L6

SEE SHEET L6

LANDSCAPE PLAN ENLARGEMENT

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 Ramsey, MN 55303

VIKING MEADOWS
 East Bethel, MN

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Revisions:
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PRELIMINARY LANDSCAPE PLAN

L7 of 7
 # 10242-03

VIKING MEADOWS

Liberty Homes

BARRETT

3 BED | 2 BATH | 2 STALL GARAGE
1,719 SQ. FT.

BECKER

3 BED | 3 BATH | 2 STALL GARAGE
2,087 SQ. FT.

BISCAY

4 BED | 3 BATH | 2 STALL GARAGE
2,425 SQ. FT.

BROOKSTON

5 BED | 2 BATH | 2 STALL GARAGE
2,824 SQ. FT.

Multi-Level Single Family Homes

PRIMROSE III

3 BED | 2 BATH | 3 STALL GARAGE
1,609 SQ. FT. | 2,579 TOTAL SQ. FT.

NEWPORT

3 BED | 2 BATH | 3 STALL GARAGE
1,655 SQ. FT. | 2,668 TOTAL SQ. FT.

Rambler Single Family Homes

CEDAR II (45)

2 BED | 2 BATH | 3 STALL GARAGE
1,630 SQ. FT. | 2,872 TOTAL SQ. FT.

ASHTON

3 BED | 2 BATH | 3 STALL GARAGE
1,468 SQ. FT. | 2,538 TOTAL SQ. FT.

Split Entry Single Family Homes

CHEYENNE IV (45)

3 BED | 2 BATH | 3 STALL GARAGE
1,589 SQ. FT. | 2,691 TOTAL SQ. FT.

ROCKPORT III

3 BED | 2 BATH | 3 STALL GARAGE
1,291 SQ. FT. | 2,255 TOTAL SQ. FT.

Two-Story Single Family Homes

MULBERRY III (40)

4 BED | 3 BATH | 2 STALL GARAGE
2,601 SQ. FT. | 3,561 TOTAL SQ. FT.

CREEKVIEW III

4 BED | 3 BATH | 3 STALL GARAGE
2,471 SQ. FT. | 3,395 TOTAL SQ. FT.

WATERSTONE II

5 BED | 3 BATH | 3 STALL GARAGE
3,401 SQ. FT. | 4,731 TOTAL SQ. FT.

BROOKVIEW III

4 BED | 3 BATH | 3 STALL GARAGE
2,788 SQ. FT. | 4,194 TOTAL SQ. FT.

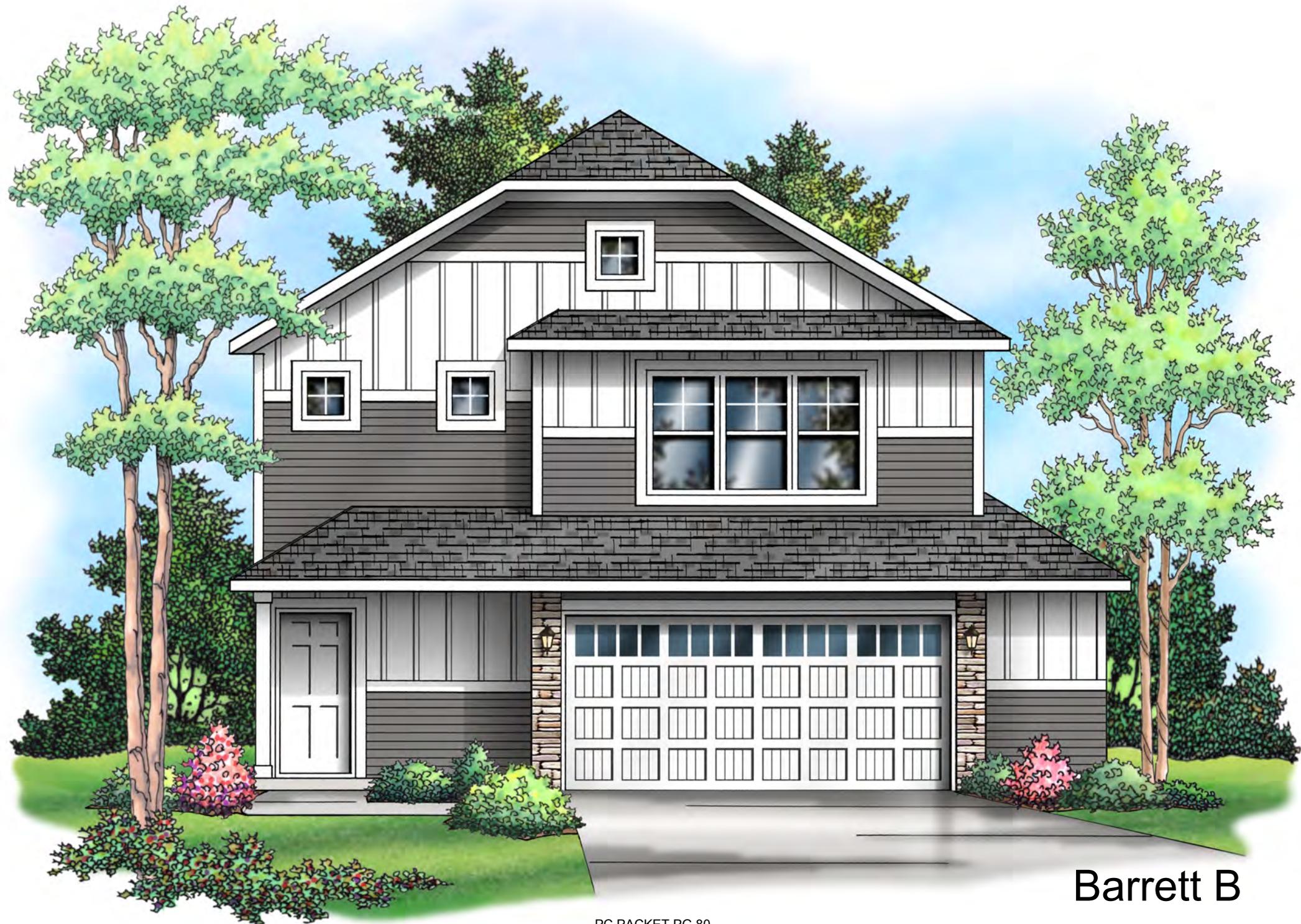
PATTERSON

3 BED | 3 BATH | 3 STALL GARAGE
2,173 SQ. FT. | 2,925 TOTAL SQ. FT.

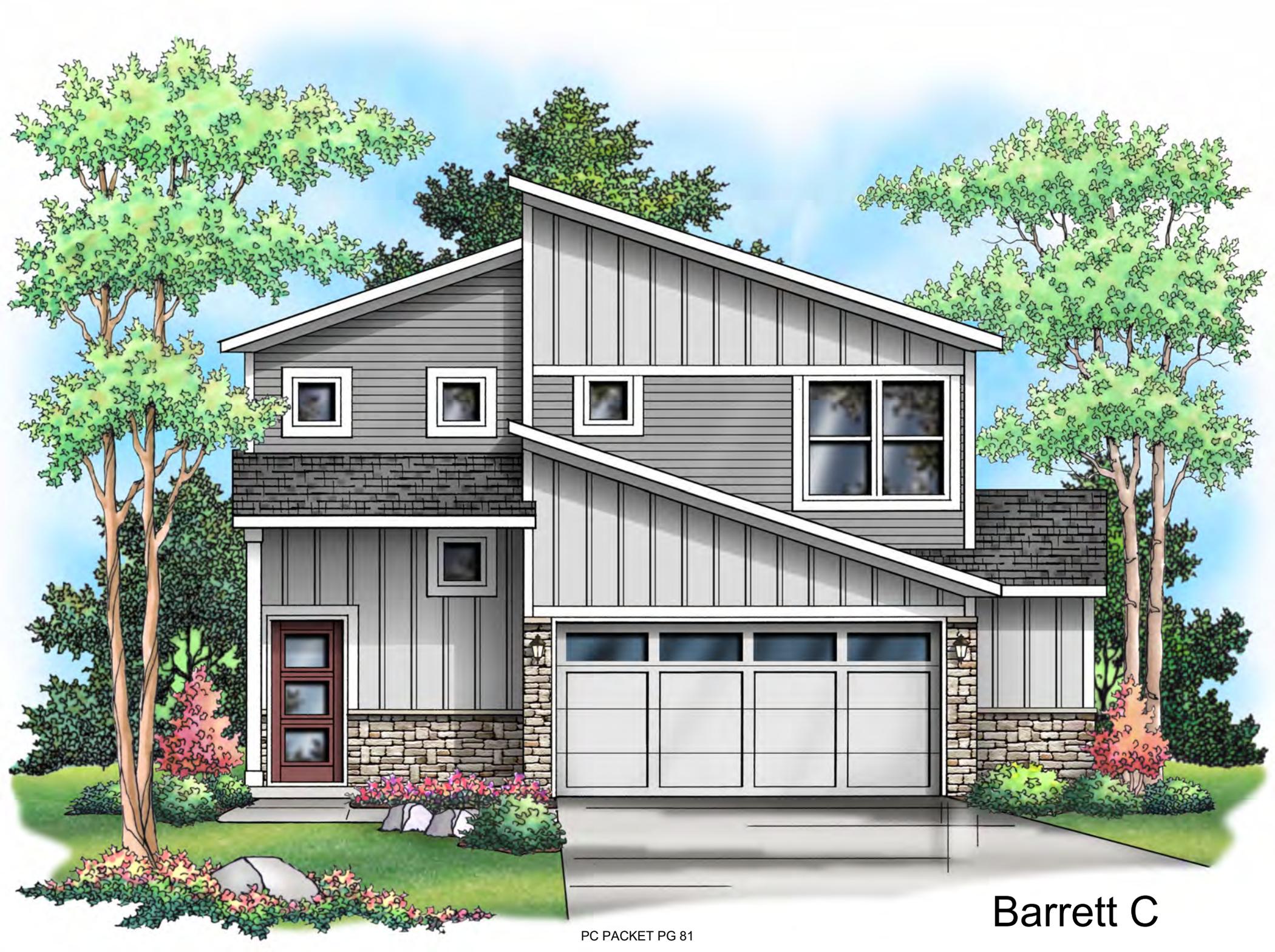
CAPSTONE
— H O M E S —



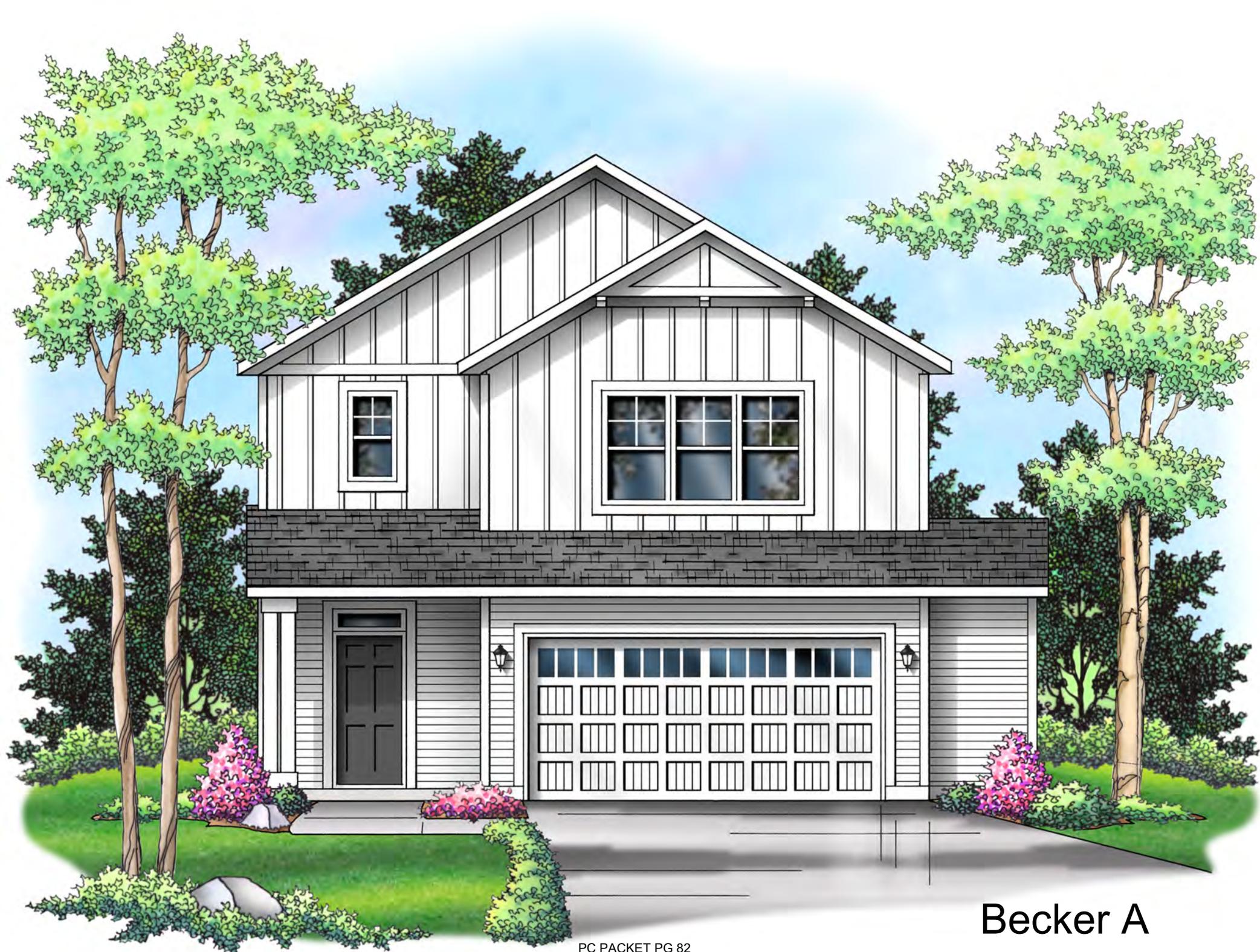
Barrett A



Barrett B



Barrett C



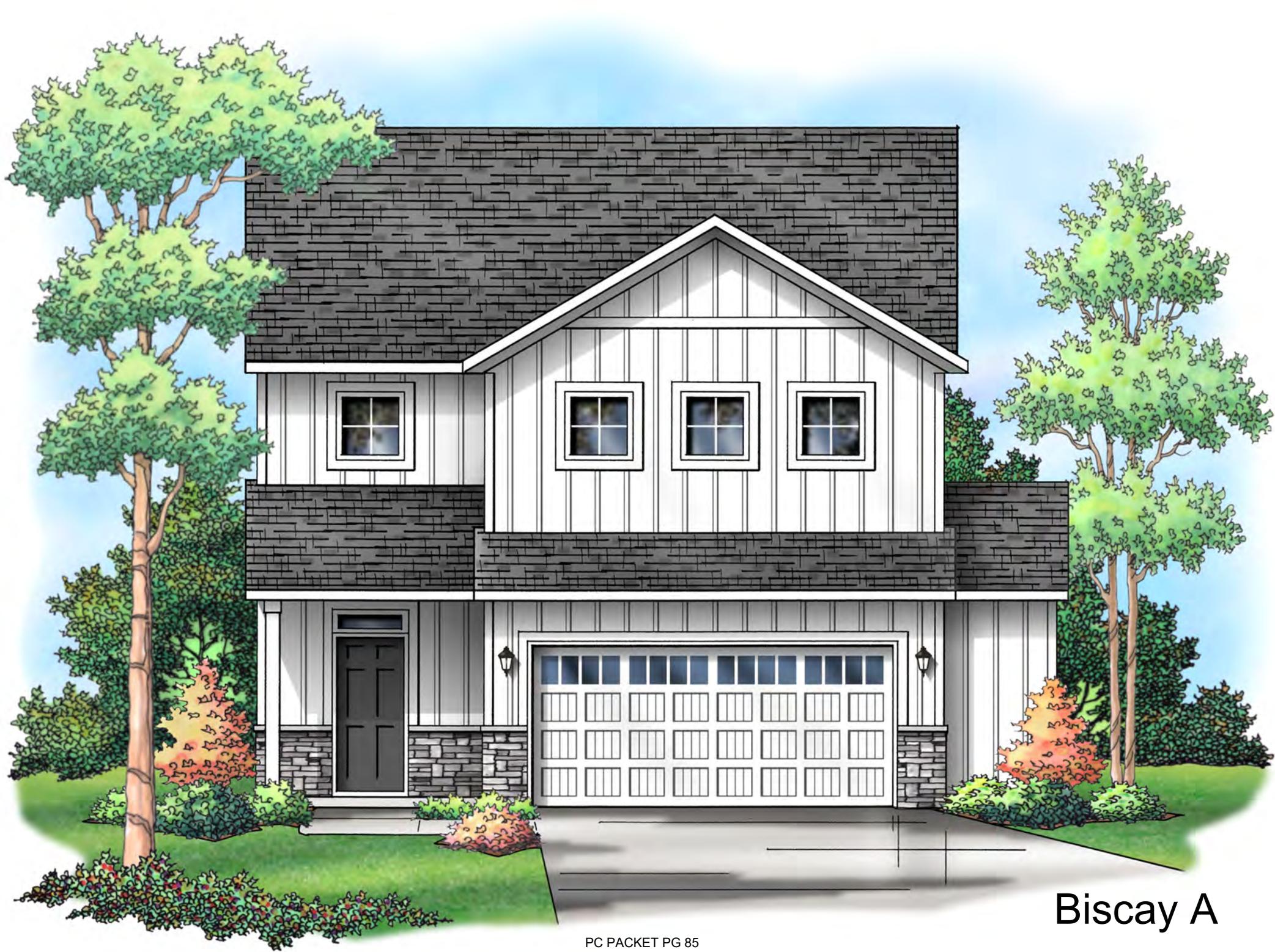
Becker A



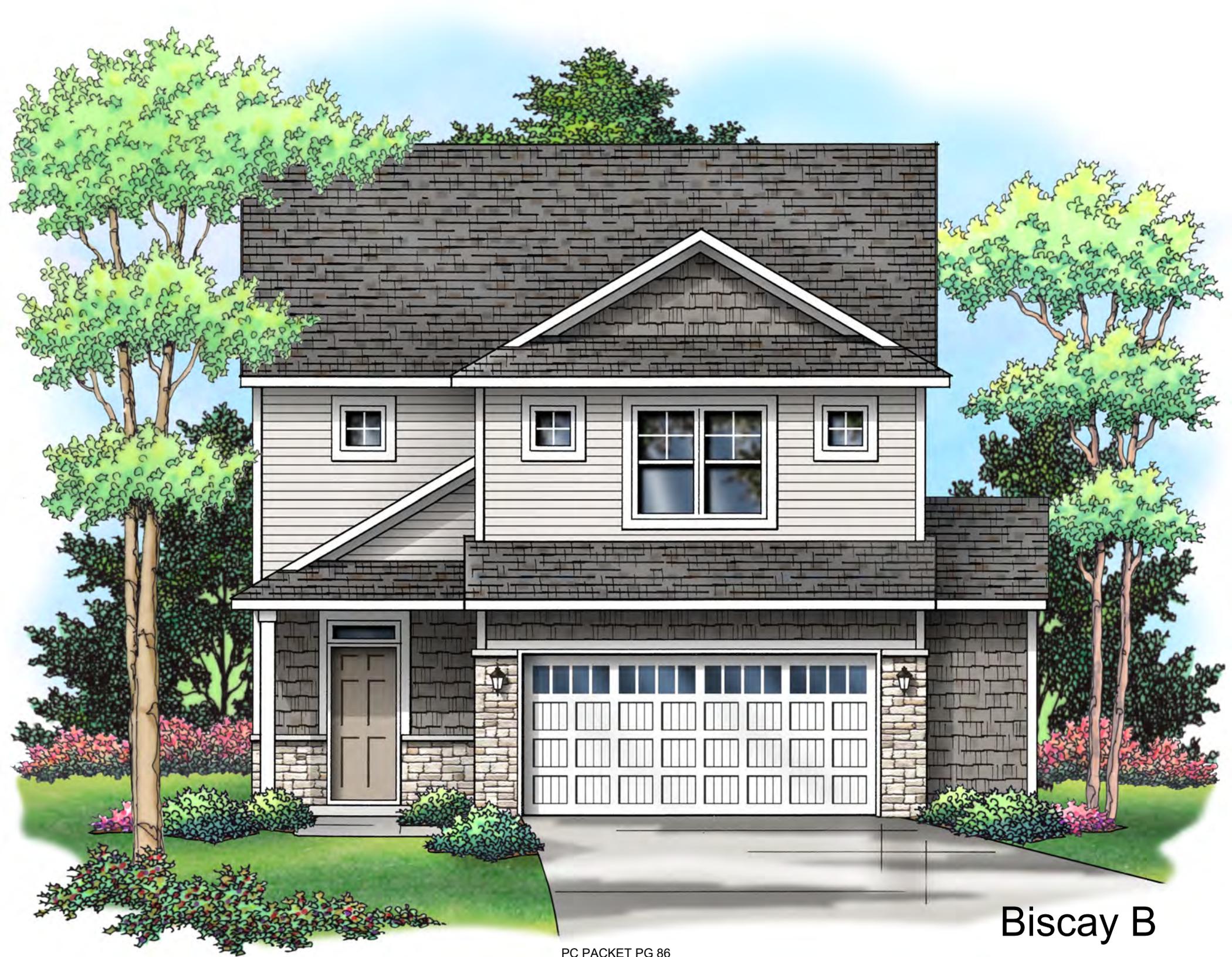
Becker B



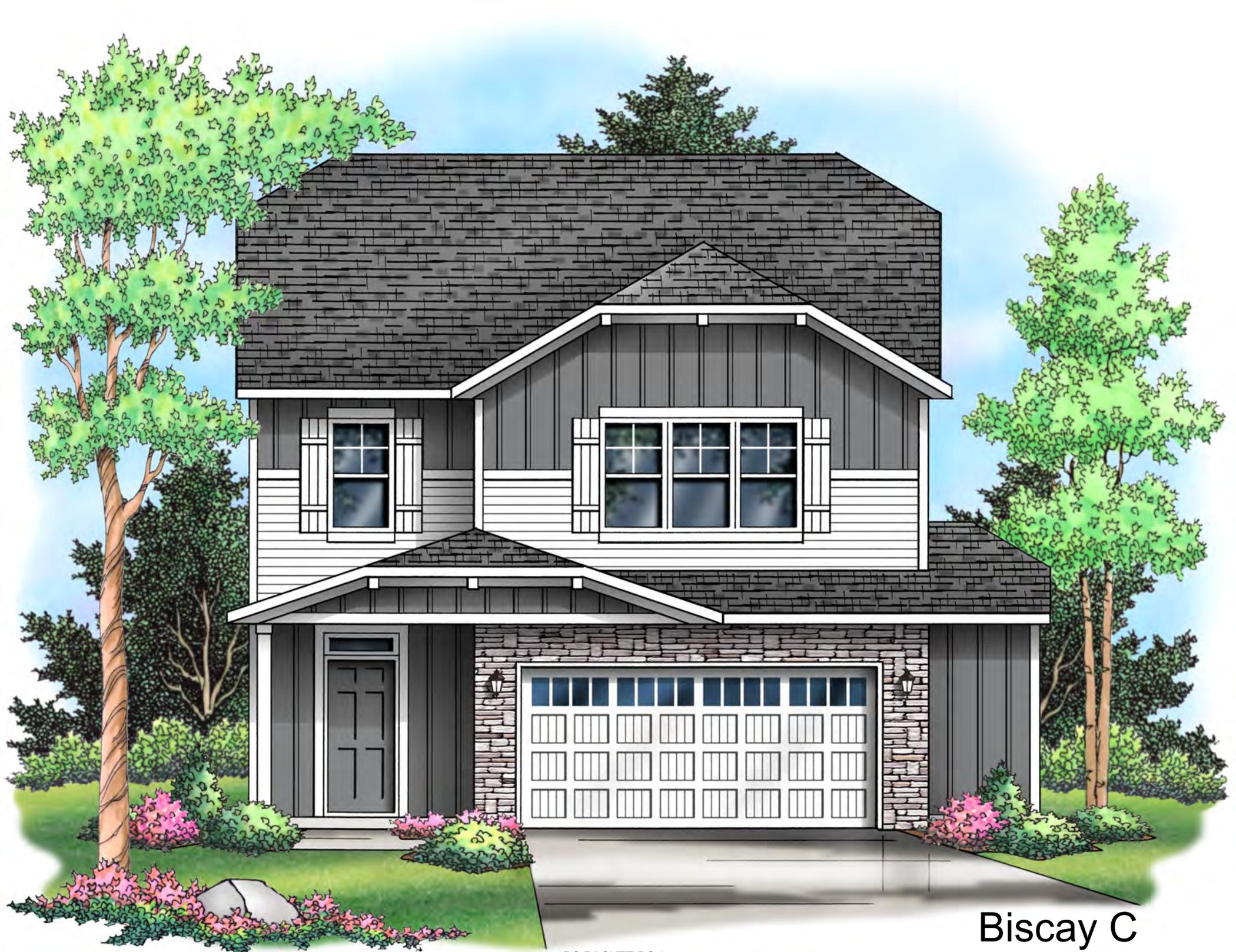
Becker C



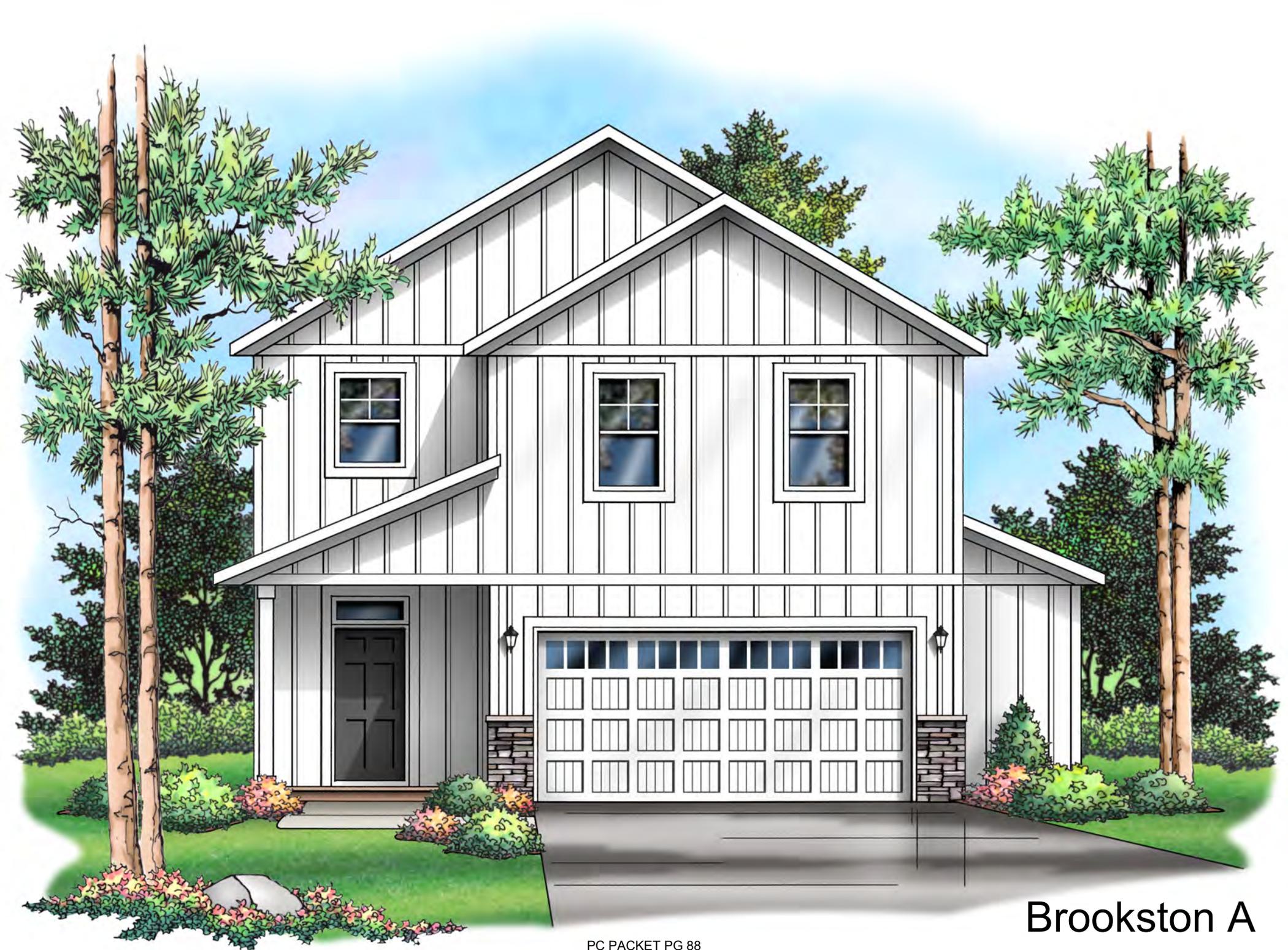
Biscay A



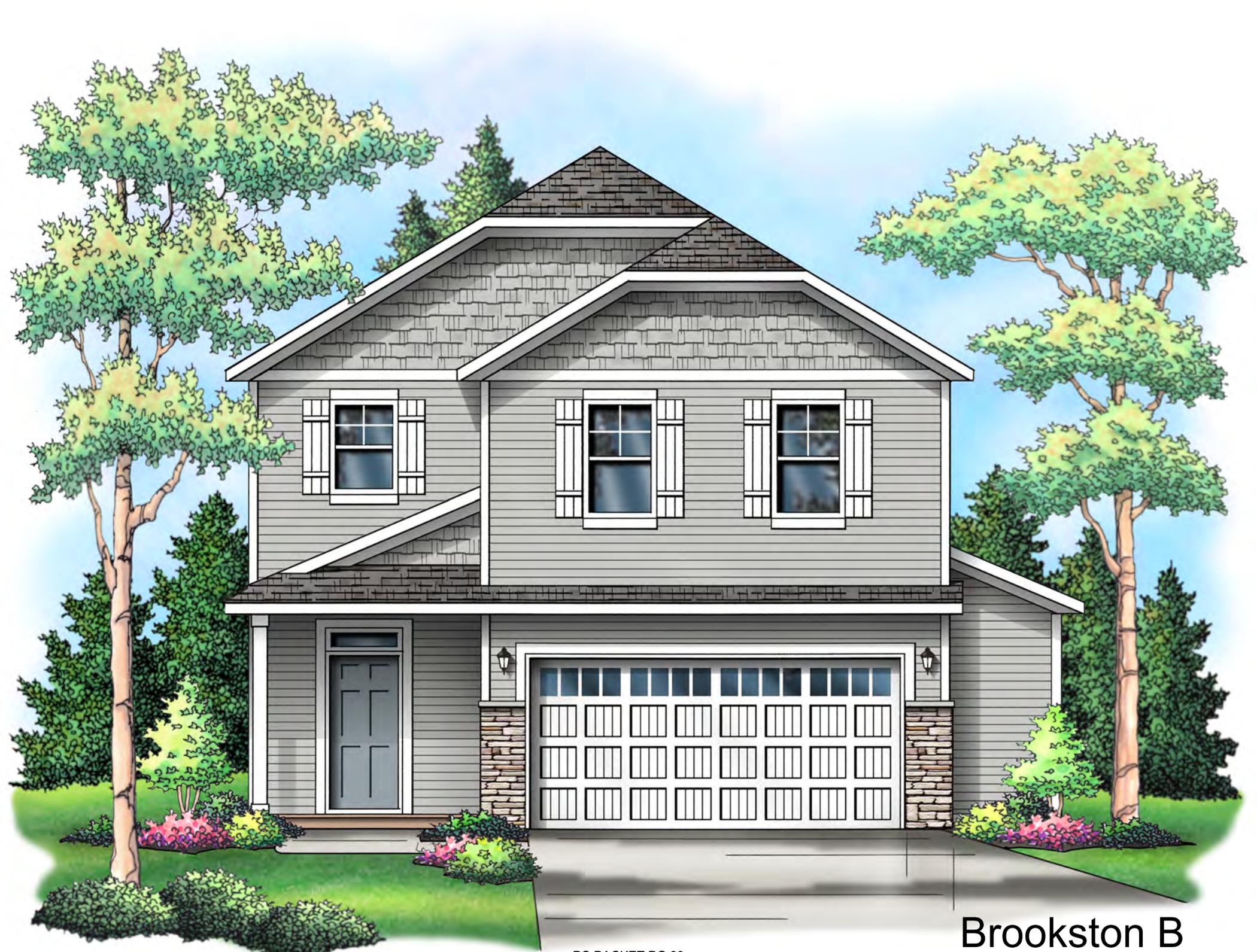
Biscay B



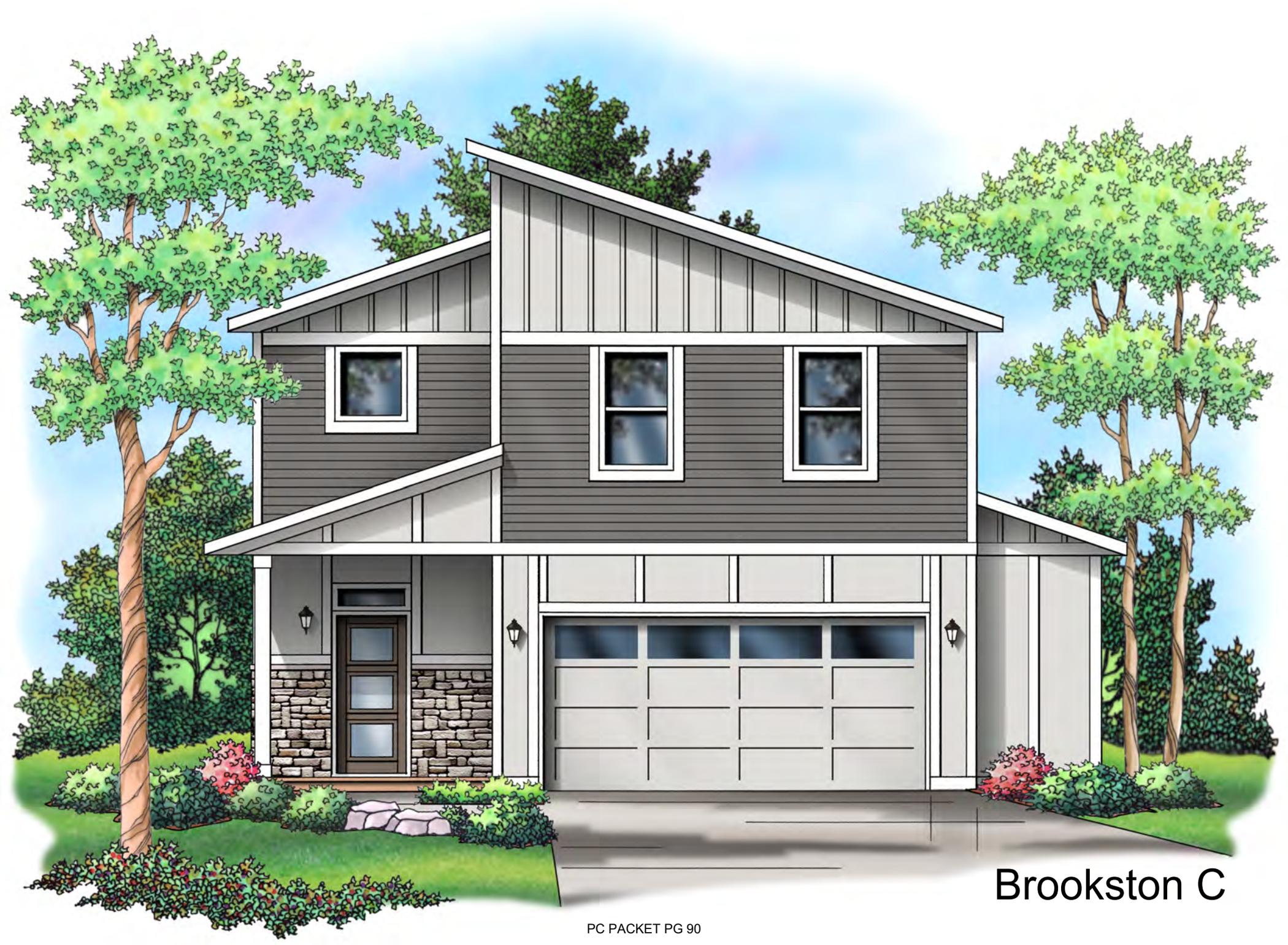
Biscay C



Brookston A



Brookston B



Brookston C

— CEDAR II —

RAMBLER

2 BED | 2 BATH | 3 STALL GARAGE | 1,630 SQ FT LIVING SPACE



ELEVATION A



ELEVATION B



ELEVATION C

CAPSTONE
— H O M E S —

763-427-3090 | CAPSTONEHOMES-MN.COM

Floor plans, materials, products and options are subject to change without notice. Floor plans are renderings and may vary slightly from actual homes. Landscaping packages will depend on community. MN Bldr Lic BC637318



— ASHTON —

RAMBLER

3 BED | 2 BATH | 3 STALL GARAGE | 1,468 SQ FT LIVING SPACE



ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D

CAPSTONE
— H O M E S —

763-427-3090 | CAPSTONEHOMES-MN.COM

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— PRIMROSE III —

MULTI LEVEL

3 BED | 2 BATH | 3 STALL GARAGE | 1,609 SQ FT LIVING SPACE



ELEVATION A



ELEVATION B



ELEVATION C

CAPSTONE
— H O M E S —

763-427-3090 | CAPSTONEHOMES-MN.COM

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— NEWPORT —

MULTI LEVEL

3 BED | 2 BATH | 3 STALL GARAGE | 1,655 SQ FT LIVING SPACE



ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D

CAPSTONE
— H O M E S —

763-427-3090 | CAPSTONEHOMES-MN.COM

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— CHEYENNE IV —

SPLIT LEVEL

3 BED | 2 BATH | 3 STALL GARAGE | 1,589 SQ FT LIVING SPACE



ELEVATION A



ELEVATION B



ELEVATION C

CAPSTONE
— H O M E S —

763-427-3090 | CAPSTONEHOMES-MN.COM

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— ROCKPORT III —

SPLIT LEVEL

3 BED | 2 BATH | 2 STALL GARAGE | 1,283 SQ FT LIVING SPACE



ELEVATION A



ELEVATION B



ELEVATION C

CAPSTONE
— H O M E S —

763-427-3090 | CAPSTONEHOMES-MN.COM

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— PATTERSON —

TWO STORY

3 BED | 3 BATH | 3 STALL GARAGE | 2,173 SQ FT LIVING SPACE



ELEVATION A



ELEVATION B



ELEVATION C

CAPSTONE

— H O M E S —

763-427-3090 | CAPSTONEHOMES-MN.COM

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— BROOK VIEW III —

TWO STORY

4 BED | 3 BATH | 3 STALL GARAGE | 2,788 SQ FT LIVING SPACE



ELEVATION A



ELEVATION B



ELEVATION C

CAPSTONE
— H O M E S —

763-427-3090 | CAPSTONEHOMES-MN.COM

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— WATER STONE II —

TWO STORY

5 BED | 3 BATH | 3 STALL GARAGE | 3,401 SQ FT LIVING SPACE



ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D

CAPSTONE
— H O M E S —

763-427-3090 | CAPSTONEHOMES-MN.COM

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— CREEK VIEW III —

TWO STORY

3 BED | 3 BATH | 3 STALL GARAGE | 2,471 SQ FT LIVING SPACE



ELEVATION A



ELEVATION B



ELEVATION C

CAPSTONE
— H O M E S —

763-427-3090 | CAPSTONEHOMES-MN.COM

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— MULBERRY III —

TWO STORY

4 BED | 3 BATH | 3 STALL GARAGE | 2,607 SQ FT LIVING SPACE



ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D

CAPSTONE
— H O M E S —

763-427-3090 | CAPSTONEHOMES-MN.COM

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